AIA Document G714 – 2017

Construction Change Directive

PROJECT: (name and address)	CONTRACT INFORMATION:	CCD INFORMATION:
Highland Township Fire Station 1 - PIA	Contract For: General Construction	Directive Number: 003
18-122A	D (E 1 19 2020	D (11 20 2020
	Date: February 18, 2020	Date: July 30, 2020
OWNER: (name and address)	ARCHITECT: (name and address)	CONTRACTOR: (name and address)
Highland Township	PARTNERS in Architecture, PLC	Axiom Construction Services Group, LLC
250 W. Livingston Road	65 Market Street	10638 Rushton Road
Highland, MI 48357	Mount Clemens, MI 48043	South Lyon, MI 48178

The Contractor is hereby directed to make the following change(s) in this Contract: (Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

Exhibit A: Training Deck Column Detail - Reference Sheets A3-01, A3-20, A6-01, and A6-11 in the bidding document set.

- Change 4"x4" wood post to 6"x6" wood post per Highland Township Building Department requirements.
- Change 8"x8" wood member to 8"x10" wood member due to increase in column size.
- Revise stone sill, steel plate, and other finish materials based on increase of size.

Exhibit B: PPE Charging Station - Reference Sheets A3-01, and A6-11 in the bidding document set.

- Revise Design on counter based on feedback from the owner.
- Change stainless steel countertop to Solid Surface.
- Add second Solid Surface shelf below.
- Change electrical to two Quadplex Receptacle mounted on CMU.

Refer to attached Exhibits 'A' & 'B'

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum decrease of \$0.00
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee: (Insert a definition of, or method for determining, cost)
 - As follows: These changes will result in an increase to the contract. The final amount is to be determined. An adjustment will be made to the contract amount, afterwards, via Change Order.
- 2. The Contract Time is proposed to remain unchanged. The proposed adjustment, if any, is (0 days).

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

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When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

PARTNERS in Architecture, PLC

ARCHITECT (Firm name)

PRINTED NAME AND TITLE

2020

Andrew Markle

DATE

SIGNATURE

Highland Township

OWNER (Firm name)

SIGNATURE

Ken Chapman, Fire Chief PRINTED NAME AND TITLE

DATE

Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Axiom Construction Services Group, LLC

CONTRACTOR (Firm name)

SIGNATURE Deib Mougrabi, Director of Field Operations PRINTED NAME AND TITLE

DATE

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