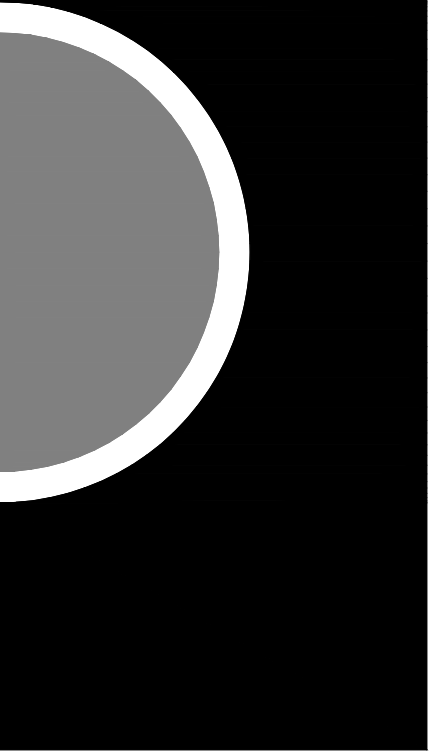


City Hall Renovations

City of Dexter

3515 Broad St. Dexter, MI 48130

PARTNERS



Architect:

PARTNERS in Architecture, PLC

65 Market Street
Mount Clemens, MI 48043
586-469-3600

Owner:

City of Dexter

8140 Main Street
Dexter, MI 48130
734-580-2234

Mechanical / Electrical Engineer:

MA Engineering

400 S. Old Woodward Ave
Birmingham, MI 48009
248-258-1610

Structural Engineer:

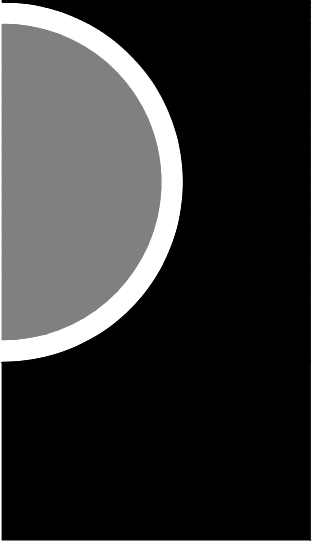
Shymanski & Associates, LLC.

33426 Five Mile Rd.
Livonia, MI 48154
734-855-4810

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A0-03	Schedules And Frame, Door, & Wall Types
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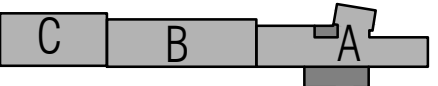
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CONSULTANT

KEY PLAN



OWNER

City of Dexter

PROJECT NAME

City Hall Renovations

3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

TEMP. OCC. PERMIT	9/13/2021
New Elevator- Ref Only	12/22/2021
Bidding Construction	12/22/2021

DRAWN BY

AR / CWP

CHECKED BY

SL

APPROVED BY

DWG

SHEET NAME

COVER SHEET

SHEET NO.

A0-00

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<h2>Text Symbols</h2> <table border="0"> <tr> <td>△</td> <td>ANGLE</td> <td>R</td> <td>PLATE</td> </tr> <tr> <td>△</td> <td>CENTERLINE</td> <td>Ø</td> <td>ROUND / DIAMETER</td> </tr> <tr> <td>⌊</td> <td>CHANNEL</td> <td>&</td> <td>AND</td> </tr> <tr> <td>⊥</td> <td>PERPENDICULAR</td> <td>@</td> <td>AT</td> </tr> </table>	△	ANGLE	R	PLATE	△	CENTERLINE	Ø	ROUND / DIAMETER	⌊	CHANNEL	&	AND	⊥	PERPENDICULAR	@	AT	<h2>Line Type Designation</h2> <table border="0"> <tr> <td>_____</td> <td>EXISTING ITEM TO REMAIN</td> </tr> <tr> <td>----</td> <td>EXISTING ITEM TO BE REMOVED</td> </tr> <tr> <td>_____</td> <td>NEW ITEM AS NOTED</td> </tr> </table>	_____	EXISTING ITEM TO REMAIN	----	EXISTING ITEM TO BE REMOVED	_____	NEW ITEM AS NOTED
△	ANGLE	R	PLATE																				
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----	EXISTING ITEM TO BE REMOVED																						
_____	NEW ITEM AS NOTED																						

	CONCRETE (SECTION)		GYPSUM WALL BOARD		WOOD/SOLID SPECIES (FINISH MATERIAL) (NOTE MATERIAL)
	CONC. STONE, PLASTER (ELEVATION) (NOTE MATERIAL)		PLASTER GYPSUM/ CEMENTITIOUS ON METAL LATH (NOTE MATERIAL)		WOOD (CONTINUOUS BOOKING)
	STONE (MARBLE, STONE) (GRANITE, ETC.) (SECTION/ELEVATION) (NOTE MATERIAL)		INSULATION ACOUSTIC/THERMAL (NOTE TYPE) RIGID /SEMI-RIGID		SHIM MATERIAL (WOOD, METAL, ETC.) (NOTE MATERIAL)
	GRAVEL/STONE (GRANULAR MATERIAL)		JOINT FILLER		PLYWOOD / PARTICLE BOARD (VENEER FINISH) (NOTE MATERIAL)
	SAND/GRAVEL (SUB-BASE MATERIAL)		C.M.U. / MASONRY BLOCK (CONCRETE BLOCK)		SOLID BLOCK BLOCK GROUTED SOLID
			BRICK		INSULATION ACOUSTIC/THERMAL (NOTE TYPE) BATT OR BLANKET
			STEEL/COPPER, METAL, ALUMINUM, ETC. (NOTE MATERIAL)		

WALL MOUNTED ACCESSORIES				PLUMBING FIXTURES AND TOILET ACCESSORIES				
<p>W1</p> <p>B.F. TELEPHONE</p>	<p>W2</p> <p>FIRE EXTINGUISHER CABINET</p>	<p>W3</p> <p>FIRE VALVE CABINET</p>	<p>W4</p> <p>FIRE HOSE RACK and FIRE EXTINGUISHER WALL BRACKET</p>	<p>P1</p> <p>WATER CLOSET</p>	<p>P2</p> <p>URINAL</p>	<p>P3</p> <p>WALL MOUNTED LAVATORY</p>	<p>P4</p> <p>HI-LOW / DRINKING FOUNTAIN</p>	<p>P5</p> <p>Coordinate Flush Valve Access Panel and Toilet Paper Dispenser with grab bar per codes</p>
<p>W5</p> <p>KEY SWITCH or PUSH BUTTON</p>	<p>W6</p> <p>FIRE ALARM PULL BOX</p>	<p>W7</p> <p>LOUD SPEAKER</p>	<p>W8</p> <p>SIGNAGE</p>	<p>P6</p> <p>BF GRAB BAR AT SIDE WALL</p>	<p>P7</p> <p>TOILET TISSUE DISP. AT SIDE WALL</p>	<p>P8</p> <p>BF GRAB BAR AT SHOWER</p>	<p>P9</p> <p>SAN. NAPIKIN DISPOSAL AT GRAB BAR</p>	<p>P10</p> <p>SAN. NAPIKIN DISPOSAL AT SIDE WALL</p>
<p>W9</p> <p>CARD READER</p>	<p>W10</p> <p>LIGHT SWITCH or DIMMER</p>	<p>W11</p> <p>TELE. WALL JACK and DUPLEX OUTLET</p>	<p>W12</p> <p>HVAC CONTROLS</p>	<p>P11</p> <p>SANITARY NAPIKIN DISPENSER</p>	<p>P12</p> <p>PAPER TOWEL DISP. and WASTE RECEPT.</p>	<p>P13</p> <p>WALL MOUNTED SOAP DISPENSER</p>	<p>P14</p> <p>SURFACE MOUNTED MIRROR</p>	<p>P15</p> <p>TOWEL BAR and/or SHELF</p>
<p>W13</p> <p>ELEVATOR CALL BUTTON / SIGNAGE</p>	<p>W14</p> <p>ELEVATOR HALL LANTERN</p>	<p>W15</p> <p>FIRE EXIT SIGN at ELEVATORS</p>	<p>W16</p> <p>ELECTRIC PANEL</p>	<p>P16</p> <p>SOAP DISH AT SHOWER</p>	<p>P17</p> <p>TOILET STALL ACCESS PANEL</p>	<p>P18</p> <p>UNDER LAVATORY ACCESS PANEL</p>	<p>P19</p> <p>SHOWER HEAD and CONTROL AREA</p>	<p>P20</p> <p>SEAT / SHOWER SEAT</p>
<p>W17</p> <p>EXIT LIGHT and CLOCK</p>	<p>W18</p> <p>TYPICAL WALL ITEM ALIGNMENT</p>	<p>W19</p> <p>CUP and FACIAL TISSUE DISPENSER</p>	<p>W20</p> <p>HOOKS</p>	<p>P21</p> <p>PLUMBING FIXTURE</p>	<p>P22</p> <p>MEDICINE CABINET</p>	<p>P23</p> <p>SHOWER CURTAIN ROD</p>	<p>P24</p> <p>HAND and HAIR DRYER</p>	<p>P25</p> <p>HAND and HAIR DRYER</p>



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City of Dexter

PROJECT NO.

21-113

New Elevator- Ref Only	12/22/2021
Bidding Construction	12/22/2021

AR

SL

DWG

GENERAL INFORMATION

A0-01

BUILDING CODE ANALYSIS

PROJECT INFORMATION:

OWNER: CITY OF DEXTER
PROJECT: NEW CITY HALL RENOVATIONS
ADDRESS: 3515 BROAD ST, DEXTER, MI 48130
GOVERNING CODES:
2015 MICHIGAN REHABILITATION CODE (MRC)
2015 MICHIGAN BUILDING CODE (MBC)
2012 LIFE SAFETY CODE (LSG) WITH AMENDMENTS
2012 NFPA 5000
2006 FIRE CODE
2015 MICHIGAN MECHANICAL CODE
2015 MICHIGAN PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE

MICHIGAN BUILDING CODE SUMMARY:

USE GROUP: UNSEPARATED MIXED USE, B- BUSINESS, S-1 STORAGE, A-3 ACCESSORY
CONSTRUCTION TYPE: 5B
FIRE SUPPRESSION: ---
BUILDING AREA/S: --- NEW
12,894 TOTAL AREAS 'A', 'B', + 'C' EXIST
--- TOTAL
BUILDING HEIGHT: --- FT. 2 STORIES

HEIGHT & AREA ALLOWANCES (N/A EXISTING):

ALLOWABLE BUILDING HEIGHT (TABLE 504.3 &4): --- FT. --- STORIES
ALLOWABLE BUILDING AREA (TABLE 506.2): --- SQ. FT.

BASIS OF ALLOWABLE (506.2.3):
SINGLE OCCUP./ONE STORY: ---
MIXED OCCUP./ONE STORY: ---
SINGLE OCCUP./MULTI-STORY: X
MIXED OCCUP./MULTI-STORY: ---

AREA INCREASE DUE TO FRONTAGE (506.3.3): 6,300 SQ. FT. FOR B
TOTAL ALLOWABLE AREA: 15,300 SQ. FT. MAX. FOR B

AREA INCREASE DUE TO FRONTAGE (506.3.3): 6,300 SQ. FT. FOR S-1
TOTAL ALLOWABLE AREA: 15,300 SQ. FT. MAX. FOR S-1

AREA INCREASE DUE TO FRONTAGE (506.3.3): 4,200 SQ. FT. FOR A-3
TOTAL ALLOWABLE AREA: 10,200 SQ. FT. MAX. FOR A-3

FIRE SEPARATIONS (TABLE 508.4): REQ'D. X NOT REQ'D.
OCCUPANCIES: --- SEPARATED X NON-SEPARATED
INCIDENTAL USES (TABLE 509): --- ROOM/AREA, --- HR SEPARATION

BUILDING ELEMENTS FIRE RESISTANCE RATINGS: (TABLE 601)

STRUCTURAL FRAME: 0 HRS
BEARING WALLS
EXTERIOR: 0 HRS
INTERIOR: 0 HRS

NON-BEARING WALLS
EXTERIOR: 0 HRS
INTERIOR: 0 HRS
FLOOR CONSTRUCTION: 0 HRS
ROOF CONSTRUCTION: 0 HRS

FIRE SEPARATION DISTANCES (TABLE 602)
X<5'-0": --- HRS
5'-0"≤X<10'-0": --- HRS
10'-0"≤X<30'-0": --- HRS
X≥30'-0": 0 HRS

FIRE/SMOKE PROTECTION FEATURES (N/A EXISTING):

MAX. AREA OF WALL OPENINGS (TABLE 507.8)
X<3'-0": --- HRS
3'-0"<X≤5'-0": --- HRS
5'-0"<X≤10'-0": --- HRS
10'-0"<X≤15'-0": --- HRS
15'-0"<X≤20'-0": --- HRS
20'-0"<X≤25'-0": --- HRS
25'-0"<X≤30'-0": --- HRS
X>30'-0": --- HRS

(713.4) SHAFT ENCLOSURES: --- HRS, ---<---> 4 STORIES

OPENING FIRE PROTECTION ASSEMBLY RATINGS (TABLE 716.5):
*MAXIMUM AREA TESTED

2 HR FIREWALLS: --- HR DRS, --- SQ.IN. VISION PNL., --- HRS. SIDELITES
2 HR. SHAFTS: --- HR DRS, --- SQ.IN. VISION PNL., --- SIDELITES
2 HR. HORIZ. EXITS: --- HR DRS, --- SQ.IN. VISION PNL., --- HRS. SIDELITES
1 HR FIRE BARRIERS: --- HR DRS, --- VISION PNLS., --- HR. SIDELITES
1 HR FIRE PARTITIONS: --- HRS. DRS, --- VISION PNLS., --- HR. SIDELITES
1 HR. CORRIDORS: --- HR DRS, --- VISION PNLS., --- HR. SIDELITES
1 HR. EXTERIOR WALLS: --- HR DRS, --- VISION PNLS., --- HR. SIDELITES
1 HR. SMOKE BARRIERS: --- HR DRS, --- VISION PNLS., --- HR. SIDELITES

FIRE WINDOW ASSEMBLIES (TABLE 716.6):

FIRE WALLS, ALL: NP

FIRE BARRIER, > 1 HR RATED: --- HR GLASS

FIRE PARTITION, 1 HR RATED: --- HR GLASS

0.5 HR RATED: --- HR GLASS

SMOKE BARRIER, 1 HR RATED: --- HR GLASS

EXTERIOR WALLS, --- HR RATED: --- HR GLASS

INTERIOR WALL AND CEILING FINISHES (N/A/ EXISTING):

REQUIRED MATERIALS CLASS (TABLE 803.1.1):

STAIRWAYS: CLASS ---

EXIT PASSAGEWAYS: CLASS ---

CORRIDORS: CLASS ---

ROOMS: CLASS ---

(804.4.2) MINIMUM CRITICAL RADIENT FLUX: CLASS ---

FIRE SUPPRESSION:

FIRE SUPPRESSION: REQUIRED, NOT REQUIRED

FIRE AREAS: --- N/A SQ. FT. MAX. ALLOW. --- N/A SQ. FT. ACTUAL

FIRE AREA OCCUP. LOAD: 49 PERSONS

FIRE EXTINGUISHER SIZES & DISTRIBUTION (TABLE 906.3(1)):

HAZARD LEVEL: --- L L/M/H

EXTINGUISHER: --- MIN. RATED

FLOOR ARE/UNIT OF A: 1,239 SQ. FT.

DISTANCE OF TRAVEL TO EXTINGUISHER: 74'-0" MAX

(907) FIRE ALARM SYSTEM: REQUIRED, NOT REQUIRED

EXCEPTIONS: NA

ACCESSIBILITY:

(1103.2.1) REQUIRED: --- Y, WHERE: EXIT

(1104.1) ACCESSIBLE ROUTE PROVIDED: Y

(1105.1) 60% OF PUBLIC ENTRANCES ACCESSIBLE: 100%

ASSEMBLY AREA SEATING:

MIN. WHEELCHAIR AREA SPACES (TABLE 1108.2.2.1):

CAPACITY: 186 OCCUPANTS: 66 REQ'D., 2 PROVIDED 2

TOILET & BATH FACILITIES:

(1109.2) NO. OF EA FIXTURE TYPE/ACCESS. TOILET: 2 MIN., 2 PROVIDED

(1109.1.2) W.C. COMPARTMENTS, MIN. 5% REQ'D.: 3 PROVIDED 4

(1109.1.3) LAVATORIES, MIN. 5% REQ'D.: 1 PROVIDED 1

(1109.3) SINKS, MIN. 5% REQ'D.: 1 PROVIDED 1

(1109.5.1) B.F. DRINKING FOUNTAINS: 1 MIN. REQ'D., 1 PROVIDED 2

OCCUPANT LOADS:

MAXIMUM FLOOR AREA ALLOWANCES (TABLE 1004.1.2):

BUSINESS: 100 SF GROSS

A-3 ASSEMBLY: 15 SF NET

S-1 STORAGE: 300 SF GROSS

OCCUPANT LOAD TOTALS:

1ST FLR: 229 ALLOW., 66 ACTUAL

2ND FLR: 61 ALLOW., 7 ACTUAL

TOTAL: 830 ALLOW., 73 ACTUAL

MEANS OF EGRESS SIZING (1005.3.1 & 2):

STAIRWAYS: --- PER OCCUPANT

OTHER ELEMENTS: --- PER OCCUPANT

MIN. NUMBER OF EXITS WITHIN MEANS OF EGRESS SYSTEM (1006.2.1):

SPACES (TABLE 1006.2.1):

OCCUPANT LOADS > 49: Y Y/N, 2 EXITS REQ'D., 2 EXITS PROVIDED

COMMON PATH OF EGRESS TRAVEL: 75 MAX., 73-9 ACTUAL

MINIMUM NUMBER OF EXITS FROM MEANS OF EGRESS SYSTEM (1006.3.1):

STORIES (TABLE 1006.3.1):

OCCUPANT LOAD: 180 PERSONS

EXITS: 2 REQ'D., 2 PROVIDED

STORIES WITH ONE EXIT (TABLE 1006.3.2(2)):

1 STORY: OCCUPANT LOAD < 59 MAX., Y Y/N

COMMON PATH OF EGRESS TRAVEL: 73-9' MAX.

DISTANCE APART OF REQUIRED EXITS (1007.1.1):

(1/3, 1/2) LENGTH OF MAX. DIAS. DIM. OF BLDG/SPACE

NO. OF ACCESSIBLE MEANS OF EGRESS (1009.1): 2 REQ'D., 2 PROVIDED

STAIRWAYS - ACCESSIBLE (1009.3): N/A

CLEAR WIDTH: 3'-6" MIN., 4'-0" ACTUAL

AREAS OF REFUGE INCORPORATED: Y Y/N

NO. OF SPACES (1009.6.3): 1 REQ'D., 1 PROVIDED

MIN. REQ'D. CLEAR DOOR WIDTH: N/A

STAIRWAYS: NON-ACCESSIBLE (1011.2): N/A

CLEAR WIDTH: --- MIN., --- ACTUAL

HANDRAILS (1014.2):

MIN. HGT.: --- REQ'D., --- ACTUAL

GUARDRAILS (1015.3):

MIN. HGT.: --- REQ'D., --- ACTUAL

EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2): --- N/A MAX., --- N/A ACTUAL

CORRIDORS:

RATINGS (TABLE 1020.1): --- HR MIN., --- HR ACTUAL

WIDTHS (TABLE 1020.2): --- MIN., --- ACTUAL

DEAD END CORRIDORS: --- MAX., --- ACTUAL

HORIZONTAL EXITS (1020.4): N/A Y/N

TYPE: --- FIREWALL, --- FIRE BARRIER

RATING: --- HR, MIN.

ASSEMBLY SPACE EXITS:

(1029.1) OCCUPANCY: 186 PERSONS

MAIN EXIT: Y Y/N

(1029.2) ADDITIONAL EXITS: Y Y/N

(1029.7) TRAVEL DIST. TO EXIT: 75'-0" MAX., 70'-8" ACTUAL

(1029.8) COMM. PATH OF EGRESS TRAVEL: 75'-0" MAX., 70'-8" ACTUAL

(1029.9) AISLE WIDTH: --- MIN., --- ACTUAL

(1029.9.5) DEAD END AISLES: --- MAX., --- ACTUAL

CONSTRUCTION TYPES:

BUILDING CONSTRUCTION TYPE: 5B

FIRE RESISTIVE RATING REQUIREMENTS (TABLE 4.1.1, PER NFPA 220):

EXTERIOR BEARING WALLS: 0 HRS

INTERIOR BEARING WALLS: 0 HRS

COLUMNS: 0 HRS

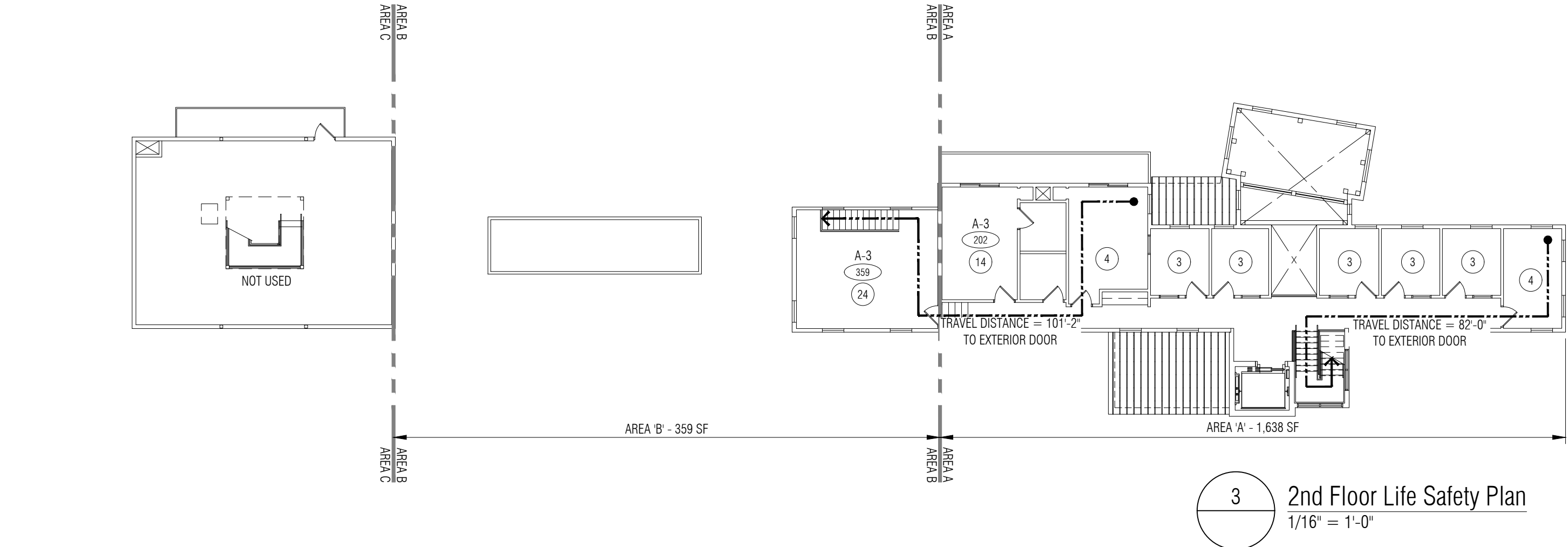
BEAMS, GIRDERS, TRUSSES: 0 HRS

FLOOR/CEILING: 0 HRS

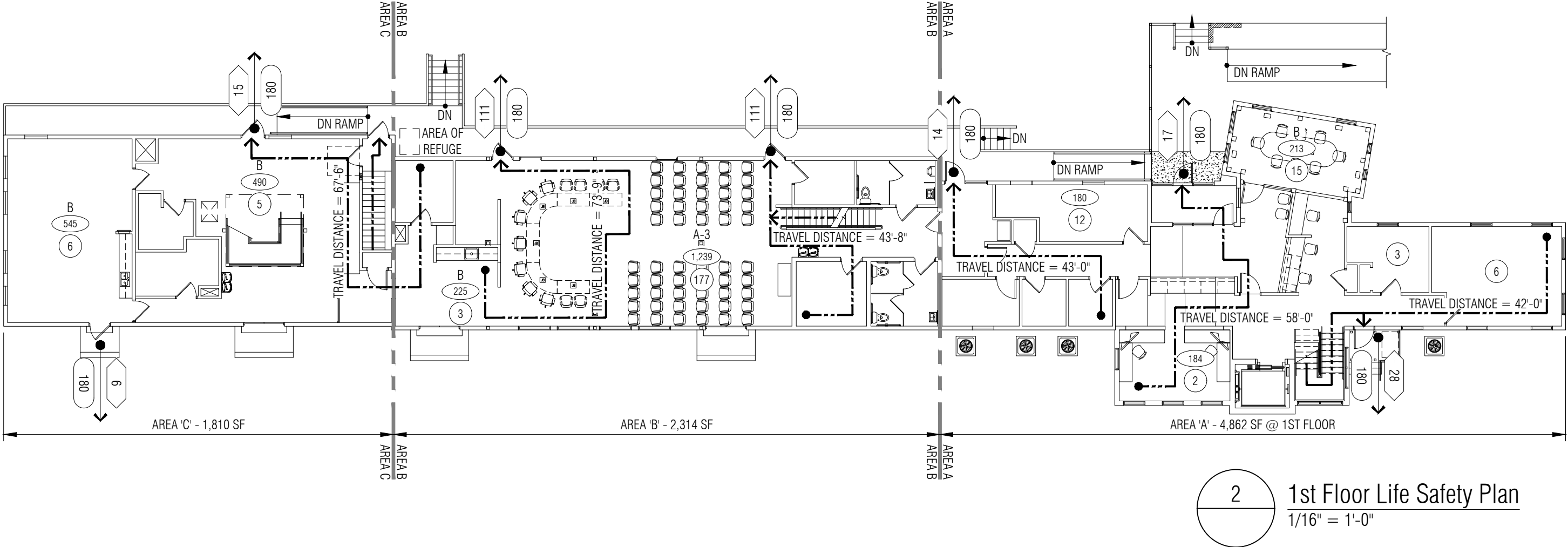
ROOF/CEILING: 0 HRS

INT. NON-LOAD BEARING: 0 HRS

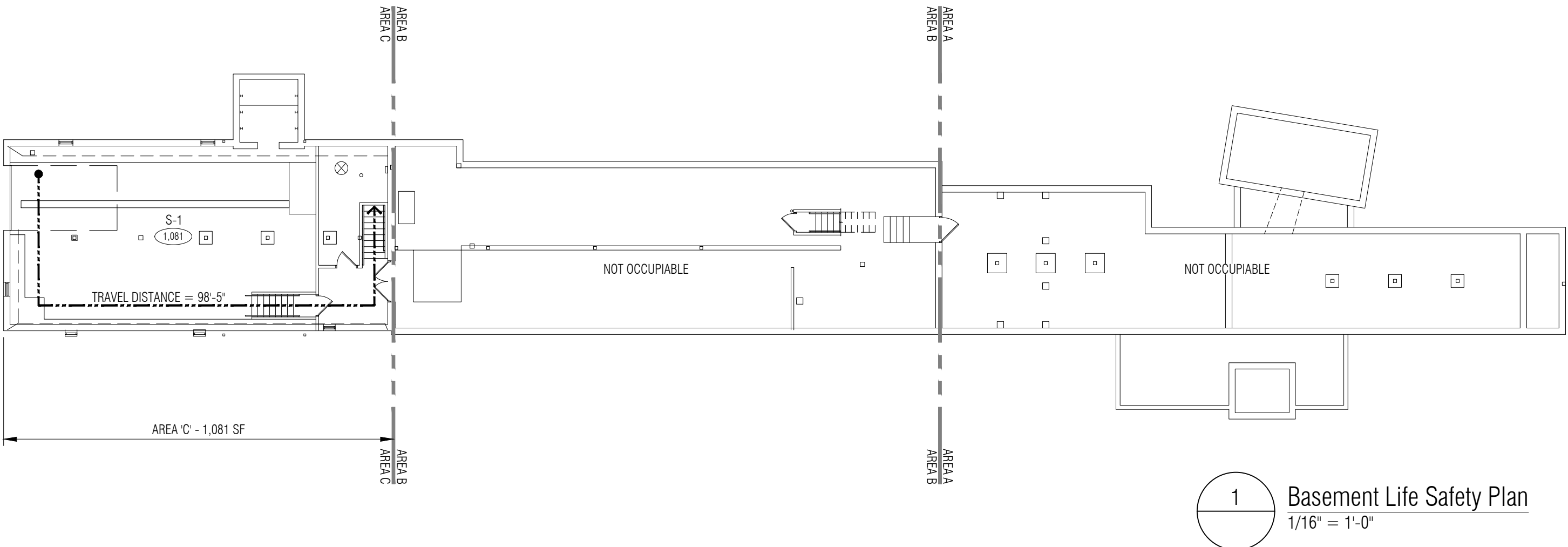
EXT. NON-LOAD BEARING: 0 HRS



3 2nd Floor Life Safety Plan
1/16" = 1'-0"

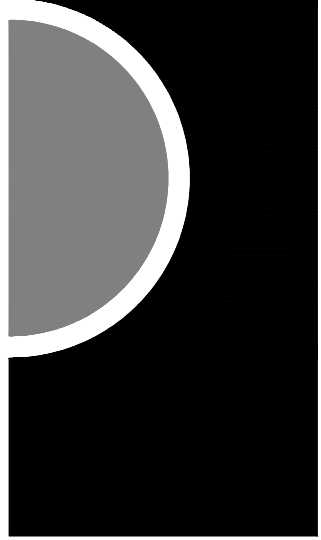


2 1st Floor Life Safety Plan
1/16" = 1'-0"



1 Basement Life Safety Plan
1/16" = 1'-0"

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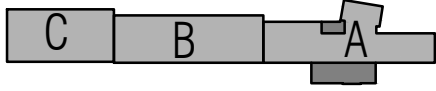
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CONSULTANT

KEY PLAN



OWNER

City of Dexter

PROJECT NAME

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3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

TEMP. OCC. PERMIT 9/13/2021
Bidding Construction 12/22/2021

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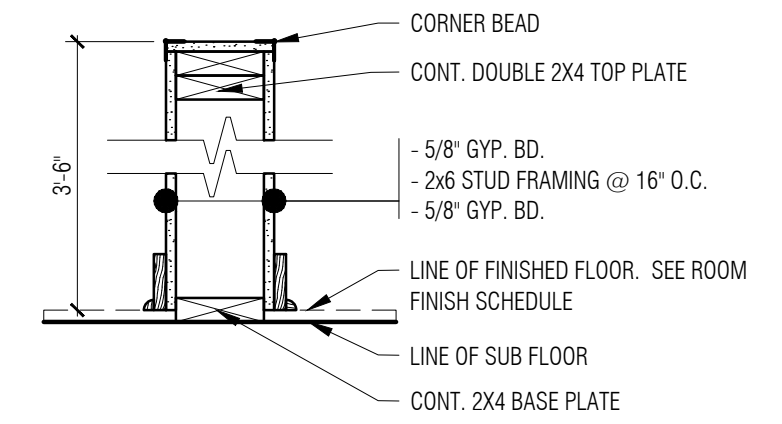
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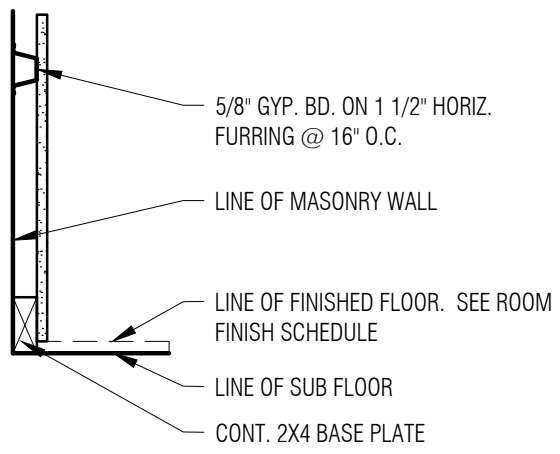
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LIFE SAFETY
PLANS

SHEET NO.

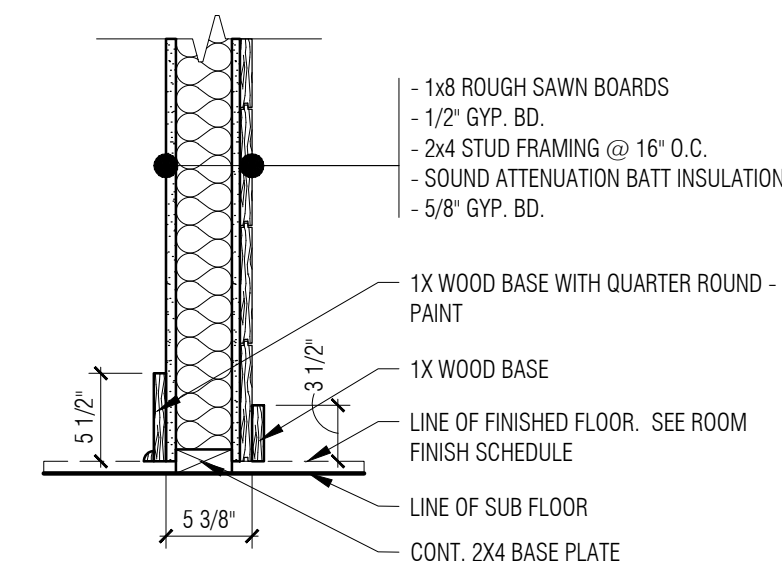
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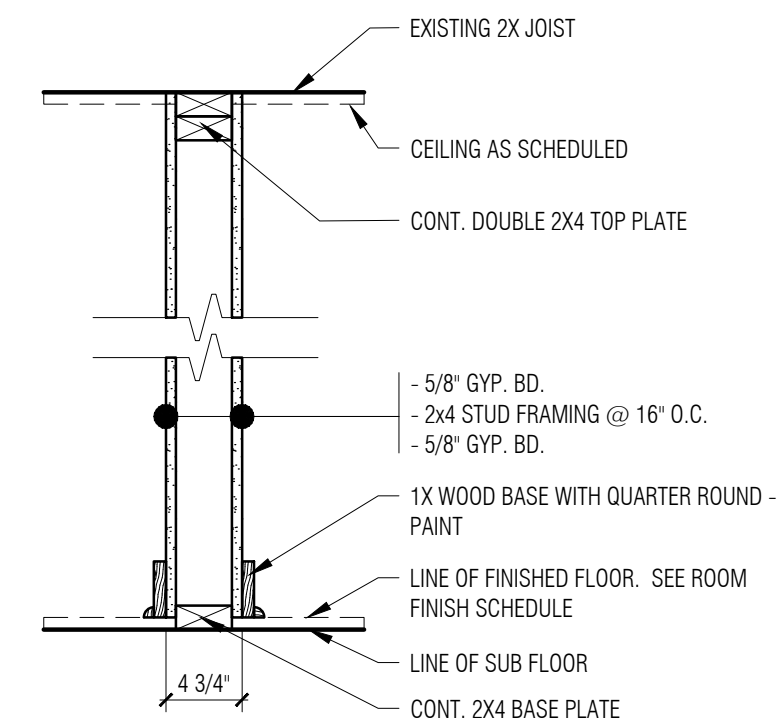
4 WALL TYPE 4
1" = 1'-0"



3 WALL TYPE 3
1" = 1'-0"



2 WALL TYPE 2
1" = 1'-0"

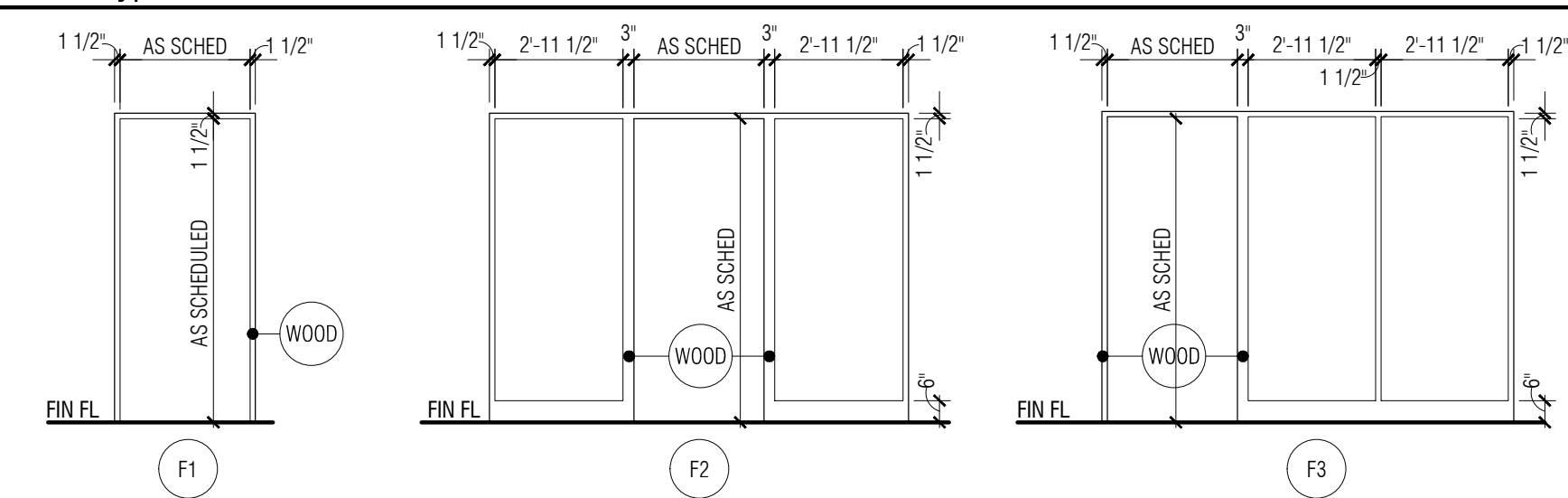


1A WALL TYPE 1A
1" = 1'-0"
WALL TYPE '1B': SAME AS TYPE '1A' BUT WITH SOUND ATTENUATION BATT INSULATION INFILL.
WALL TYPE '1C': SAME AS TYPE '1A' BUT WITH 2x6 STUD FRAMING @ 16" O.C.
WALL TYPE '1D': SAME AS TYPE '1A' BUT WITH GYP. BD. ONLY ON EXPOSED SIDE

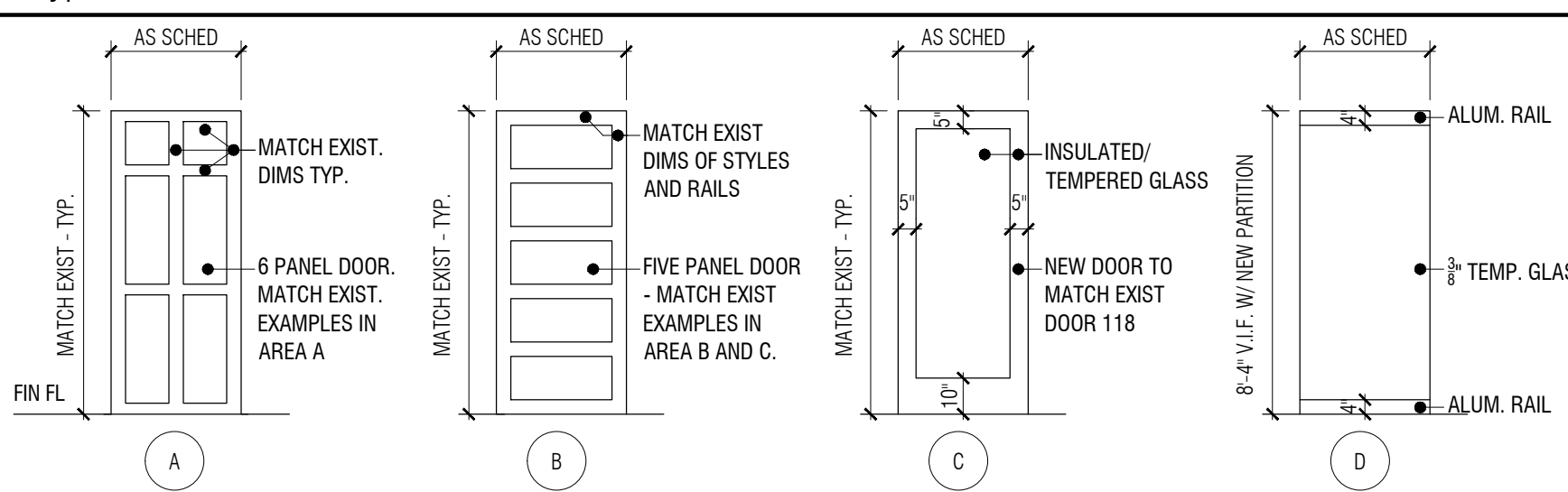
Door / Opening Schedule

DOOR NO.	DOOR / OPENING SIZE (W X H) CONTRACTOR TO VERIFY DOOR SIZE IF OPENING IS EXISTING	DOOR			FRAME			DETAIL S			HARDWARE SET #	LABEL (MIN.)	DOOR / OPENING KEY NOTES
		TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	THRES. / SILL			
101	3'-0" X 7'-0"	C	WD/GL	PNT-3	F2	ALUM	PNT-3			T5	01	-	
102	3'-0" X 7'-0"	C	WD/GL	PNT-3	F3	ALUM	PNT-3				07	-	
104	3'-0" X 7'-0"	D	WD/GL	PNT-3	-	-	-				08	-	
105	EXIST	A	WD	EXIST	EXIST	WD	EXIST				09	-	
106	EXIST	A	WD	EXIST	EXIST	WD	EXIST				10	-	
107	EXIST	A	WD	EXIST	EXIST	WD	EXIST				10	-	
108	3'-0" X 7'-0"	C	WD/GL	PNT-3	F1	WD	PNT-3				11	-	
109	3'-0" X 7'-0"	A	WD	PNT-3	F1	WD	PNT-3				02	-	
110	3'-0" X 7'-0"	A	WD	PNT-3	F1	WD	PNT-3				03	-	
112	3'-0" X 7'-0"	A	WD	PNT-3	F1	WD	PNT-3				13	-	
113	EXIST	A	WD	EXIST	EXIST	WD	EXIST				14	-	
114	EXIST	A	WD	EXIST	EXIST	WD	EXIST				14	-	
115	3'-0" X 7'-0"	A	WD	PNT-3	F1	WD	PNT-3				03	-	
116	EXIST	A	WD	EXIST	EXIST	WS	EXIST				04	-	
117	EXIST	A	WD	EXIST	EXIST	WD	EXIST				09	-	
118	3'-0" X 7'-0"	C	WD/GL	PNT-3	F2	ALUM	PNT-3				05	-	
119	EXIST	EXIST	WD	PNT-3	EXIST	WD	EXIST				15	EXIST	
120	EXIST	B	WD	EXIST	EXIST	WD	EXIST				16	-	
121	EXIST	B	WD	EXIST	EXIST	WD	EXIST				17	-	
122	EXIST	B	WD	EXIST	EXIST	WD	EXIST				16	-	
123	EXIST	B	WD	EXIST	EXIST	WD	EXIST				17	-	
124A	EXIST	EXIST	WD/GL	EXIST	EXIST	WD	EXIST				18	-	
124B	EXIST	EXIST	WD/GL	EXIST	EXIST	WD	EXIST				18	-	
127	EXIST	B	WD	EXIST	EXIST	WD	EXIST				09	-	
128	3'-0" X 7'-0" (V.I.F.)	B	WD	PNT-3	F1	WD	PNT-3				09	-	
129A	EXIST	EXIST	WD/GL	EXIST	EXIST	WD	EXIST				06	-	
129B	EXIST	B	WD	EXIST	EXIST	WD	EXIST				19	-	
130	EXIST	B	WD	EXIST	EXIST	WD	EXIST				14	-	
131	EXIST	B	WD	EXIST	EXIST	WD	EXIST				14	-	
132A	EXIST	B	WD	EXIST	EXIST	WD	EXIST				20	-	
132B	EXIST	B	WD	EXIST	EXIST	WD	EXIST				20	-	
201	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-	
202	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-	
203	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-	
204	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-	
208	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-	
209	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-	
210A	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-	
210B	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	20	-	
211	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	14	-	
212	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	14	-	
213A	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	20	-	
213B	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	20	-	
214	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	19	-	

Frame Types



Door Types



Door/ Openings General Notes:

- A. FIELD VERIFY ALL OPENINGS PRIOR TO DOOR/FRAME FABRICATION
B. FIELD VERIFY EXISTING DOORS TO REMAIN FOR NEW H.W. INSTALLATION.

Room Finish Schedule

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	ROOM FINISH KEY NOTES
				NORTH	EAST	SOUTH	WEST		
101	VESTIBULE	CPT-2	B-1	-	-	-	-	ACT-1	
102	LOBBY	PCT-1	B-1 / B-2	PNT-1	PNT-2	PNT-1 / PNT-5	PNT-1 / EXIST WD	PNT-1	2
103	HOTELING	WD-1	EXIST / B-1	PNT-2	EXIST	PNT-2	PNT-2	EXIST	
104	CONFERENCE	EXIST	EXIST / B-2	-	-	PNT-2 / -	EXIST - WD	-	
105	CLOSET	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
106	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
107	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
108	CORRIDOR	EXIST	EXIST	PNT-1	EXIST	PNT-1	-	PNT-1	
109	ELEV. LOBBY	WD-1	B-1	-	-	PNT-1	PNT-1	ACT-1	
110	CORRIDOR	WD-1	B-1	-	-	PNT-1	PNT-1	PNT-1	
111	RECEPTION OFFICE	CPNT-1	B-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
112	CORRIDOR	EXIST	EXIST / B-1	PNT-1	PNT-1	PNT-2	PNT-1	PNT-1	
113	WOMENS	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
114	MENS	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
115	ARCHIVE STORAGE	EXIST	EXIST / B-1	PNT-1	EXIST	EXIST	PNT-1	EXIST	
116	WORK ROOM	EXIST	EXIST / B-1	PNT-1	EXIST	PNT-1	PNT-1	EXIST / PNT-1 / ACT-1	
117	AV	EXIST	EXIST	EXIST	EXIST	-	EXIST	EXIST	
118	VESTIBULE	EXIST	EXIST / B-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	
119	CORRIDOR	EXIST	EXIST	PNT-1	PNT-1	PNT-1	-	EXIST	
120	WOMENS	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
121	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
122	MENS	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
123	SERVER	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
124	COUNCIL ROOM	EXIST	EXIST	PNT-1	PNT-1	PNT-1	PNT-1 / PNT-4	EXIST	3
125	KITCHENETTE	EXIST	EXIST	EXIST	PNT-1	PNT-1	PNT-1	EXIST	
126	VESTIBULE	EXIST	EXIST	PNT-1	PNT-1	PNT-1	PNT-1	EXIST	
127	ELECTRICAL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
128	CLOSET	VCT	B-1	PNT-1	PNT-1	PNT-1	PNT-1	EXIST	1
129	OPEN OFFICE	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	EXIST	
130	WOMENS	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
131	MENS	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
132	CONFERENCE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
STAIR 1	STAIR	WD	WD	-	PNT-1	PNT-1	PNT-1	PNT-1	
201	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
202	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
203	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
204	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
205	CORRIDOR	EXIST	EXIST	PNT-1	EXIST	EXIST	-	EXIST	
206	ELEVATOR LOBBY	EXIST	EXIST / B-1	-	-	PNT-1	PNT-1	PNT-1	
207	CORRIDOR	EXIST	EXIST	PNT-1	-	EXIST	-	EXIST	
208	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
209	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
210	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
211	UNISEX	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
212	UNISEX	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
213	BREAKROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
214	CONFERENCE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	

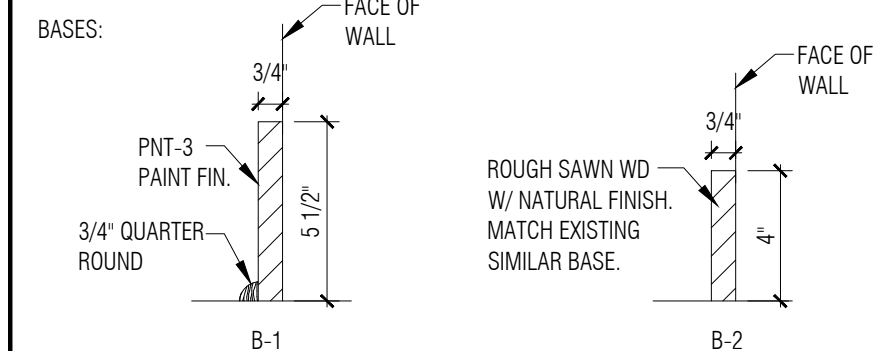
General Notes:

- A. GENERAL NOTE.

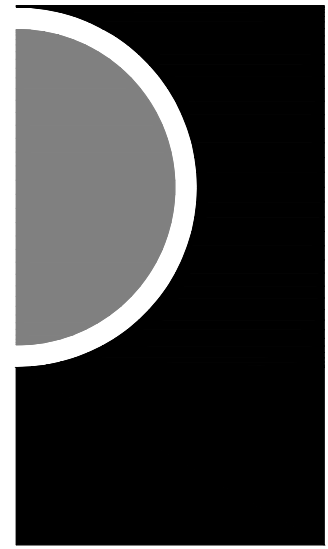
Room Finish Key Notes:

1. NEW RAMP AND LANDING FINISH CPT-2.
2. REFER TO INT. ELEVATION. PNT-5 LOCATION.
3. REFER TO PLAN FOR ACCENT COLOR LOCATION. PNT-4 LOCATION.

- FINISH KEY:
- WD-1: SALVAGE EXISTING WOOD FLOOR. REINSTALL TO MATCH AND BLEND WITH EXISTING TO REMAIN IN ADJACENT AREAS.
 - CPT-1: OFFICE CARPET - REFER TO SPECS
 - CPT-2: (WALK OFF CARPET) - REFER TO SPECS
 - PCT-1: LOBBY FLOOR TILE - REFER TO SPECS
 - PNT-1: MATCH EXISTING WALL COLOR
 - PNT-2: ACCENT WALL COLOR - "GREEN" - REFER TO SPECS
 - PNT-3: MATCH EXISTING DOOR, TRIM AND WALL BASE TRIM COLOR- REFER TO SPECS
 - PNT-4: ACCENT WALL COLOR - "COPPER" - REFER TO SPECS
 - PNT-5: ACCENT WALL COLOR - "GREY" - REFER TO SPECS



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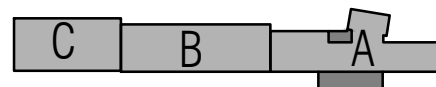
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CONSULTANT

KEY PLAN



OWNER

City of Dexter

PROJECT NAME

City Hall Renovations

3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

Bidding Construction 12/22/2021

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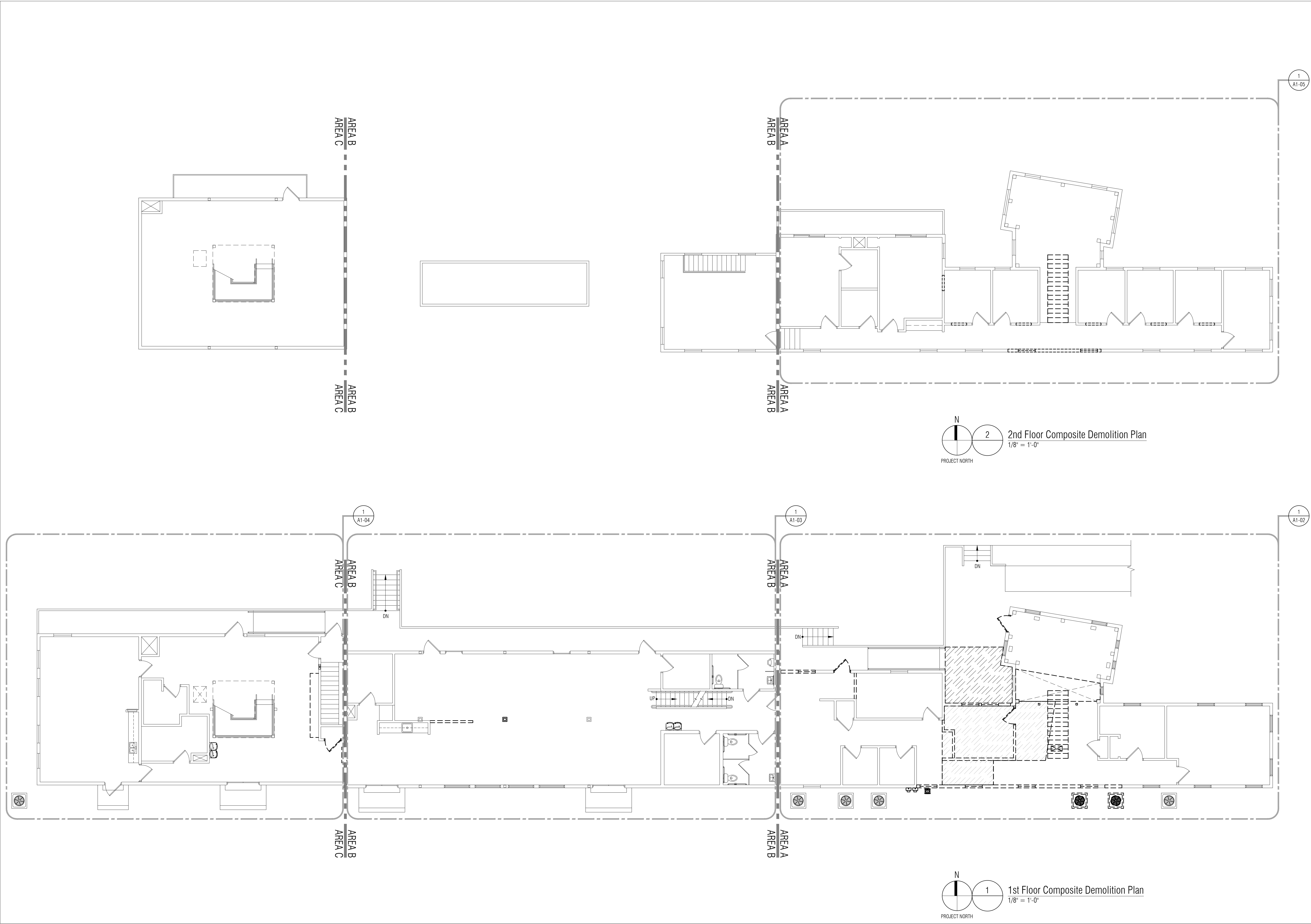
DWG

SHEET NAME

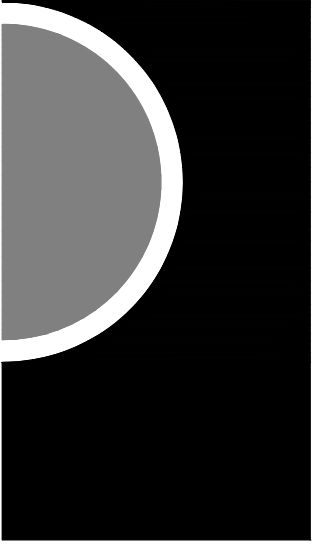
SCHEDULES AND
FRAME, DOOR, &
WALL TYPES

SHEET NO.

A0-03



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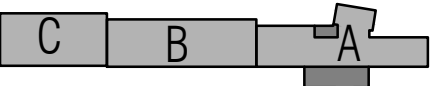
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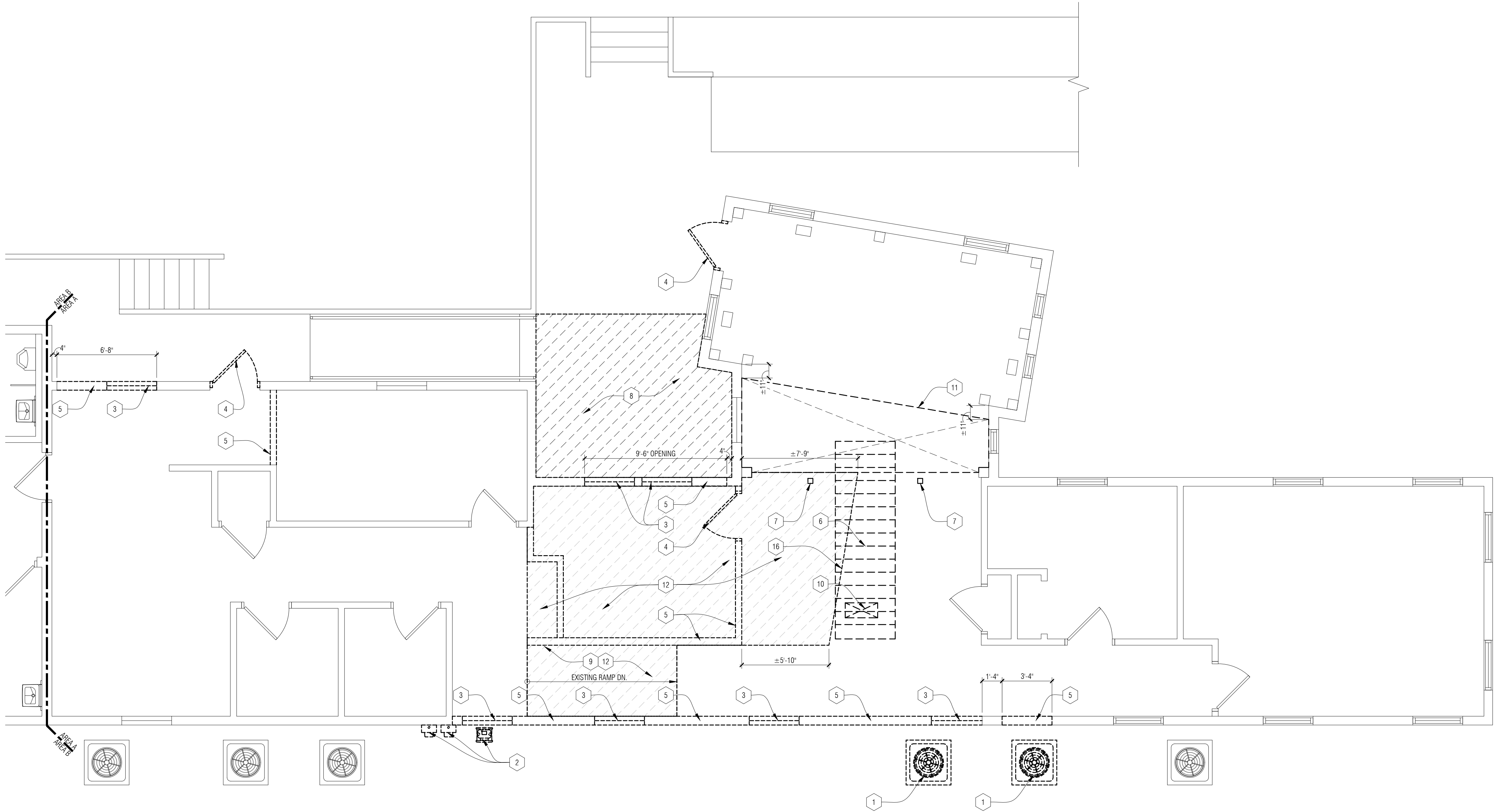
DWG

SHEET NAME

COMPOSITE
DEMOLITION
PLANS

SHEET NO.

A1-01



DEMOLITION PLAN - GENERAL NOTES:

A.

ALL DEMOLITION DRAWINGS AND DEMOLITION DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NEW WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS (AND ARE DESIGNATED WITH DASHED, HIDDEN OR STRUCK THRU LINES). COORDINATE ALL DEMOLITION WORK WITH ALL ARCHITECTURAL, CIVIL, STRUCT., MECH. AND ELEC. DRAWINGS. CONTRACTOR RESPONSIBLE TO REFERENCE ALL DRAWINGS/ SPECIFICATIONS TO CONFIRM EXTENT OF DEMOLITION WORK.

B.

ALL REMOVED ITEMS, WALLS, FLOORS CEILING, OPENINGS, ETC ARE TO BE PATCHED/REPAIRED AND PREPPED TO RECEIVE NEW WORK AND/OR FINISHES.

C.

ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

D.

WALL REMOVAL THAT TERMINATES INTO A WALL OR CEILING TO REMAIN SHALL BE COMPLETELY REMOVED FREE OF PROJECTIONS, READY TO RECEIVE NEW WORK.

E.

REMOVE ALL ITEMS PROJECTING FROM EXISTING WALLS OR FLOORS TO REMAIN (BLOCKING, SCREWS, FASTENERS, PIPES, CONDUITS, MOUNTING PLATES, FIXED EQUIPMENT, ETC). PATCH AND REPAIR FOR NEW FINISH.

F.

CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO BIDDING.

G.

CONTRACTOR SHALL PROTECT EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES. CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS IDENTIFIED BY OWNER, ARCHITECT, OR CONSTRUCTION MANAGER) AT NO ADDITIONAL COST.

H.

MAINTAIN EXISTING FIRE RATING WHERE OCCURS AND WHERE POSSIBLE DURING DEMOLITION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION AS WELL AS CONSTRUCTION MANAGER'S INSTRUCTIONS.

I.

DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF-SITE, U.O.N.

DEMOLITION PLANS - KEY NOTES:

1

AIR CONDITIONING CONDENSING UNIT TO BE RELOCATED. REFER TO ELEC.

2

UTILITY METERS TO BE RELOCATED. REFER TO MECH.

3

WINDOW UNIT TO BE REMOVED.

4

DOOR AND FRAME TO BE REMOVED.

5

STUD WALL CONSTRUCTION TO BE REMOVED.

6

STAIR CONSTRUCTION TO BE REMOVED. SALVAGE MATERIALS FOR REUSE.

7

COLUMN TO BE REMOVED. SHORE EXISTING CONSTRUCTION AS REQUIRED FOR INSTALLATION OF NEW STRUCT. REFER TO STRUCT.

8

CONCRETE WALK TO BE REMOVED.

9

REMOVE RAMP CONSTRUCTION DOWN TO SUB-FLOOR.

10

EXISTING RETURN AIR GRILLE TO BE RELOCATED. SEE MECH.

11

REMOVE EXISTING FLOOR TILE AND SETTING BED DOWN TO SUB-FLOOR.

12

REMOVE AND SALVAGE WOOD FLOORING FOR REINSTALLATION.

13

SALVAGE DOOR AND FRAME FOR REINSTALLATION AT SAME LOCATION WITH HIGHER FLOOR LINE. VERIFY DOOR, FRAME, AND NEW HEADER WILL FIT IN REDUCED HEAD SPACE FROM RAISED FLOOR PRIOR TO DEMOLITION. SEE FLOOR PLAN & WALL SECTIONS FOR MORE INFORMATION.

14

BUILT-IN WOOD AND STEEL TABLE TO BE REMOVED AND RETURNED TO OWNER. PATCH & REPAIR WALL AS REQUIRED.

15

LIMIT OF FLOORING REMOVAL TO ALIGN WITH BACK OF TOE KICK @ NEW TRANSACTION COUNTER.

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MOUNT CLEMENS, MI 48043
P 586.469.3600

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CONSULTANT

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OWNER
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PROJECT NAME
City Hall Renovations

3515 Broad St.
Dexter, MI 48130

PROJECT NO.
21-113

ISSUES / REVISIONS
Bidding Construction 12/22/2021

DRAWN BY
CWP
CHECKED BY
SL
APPROVED BY
DWG
SHEET NAME

1ST FLOOR
DEMOLITION
PLAN - AREA A

SHEET NO.
A1-02

N

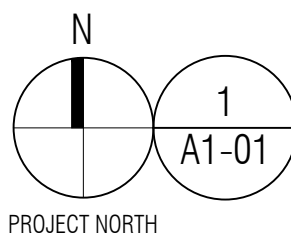
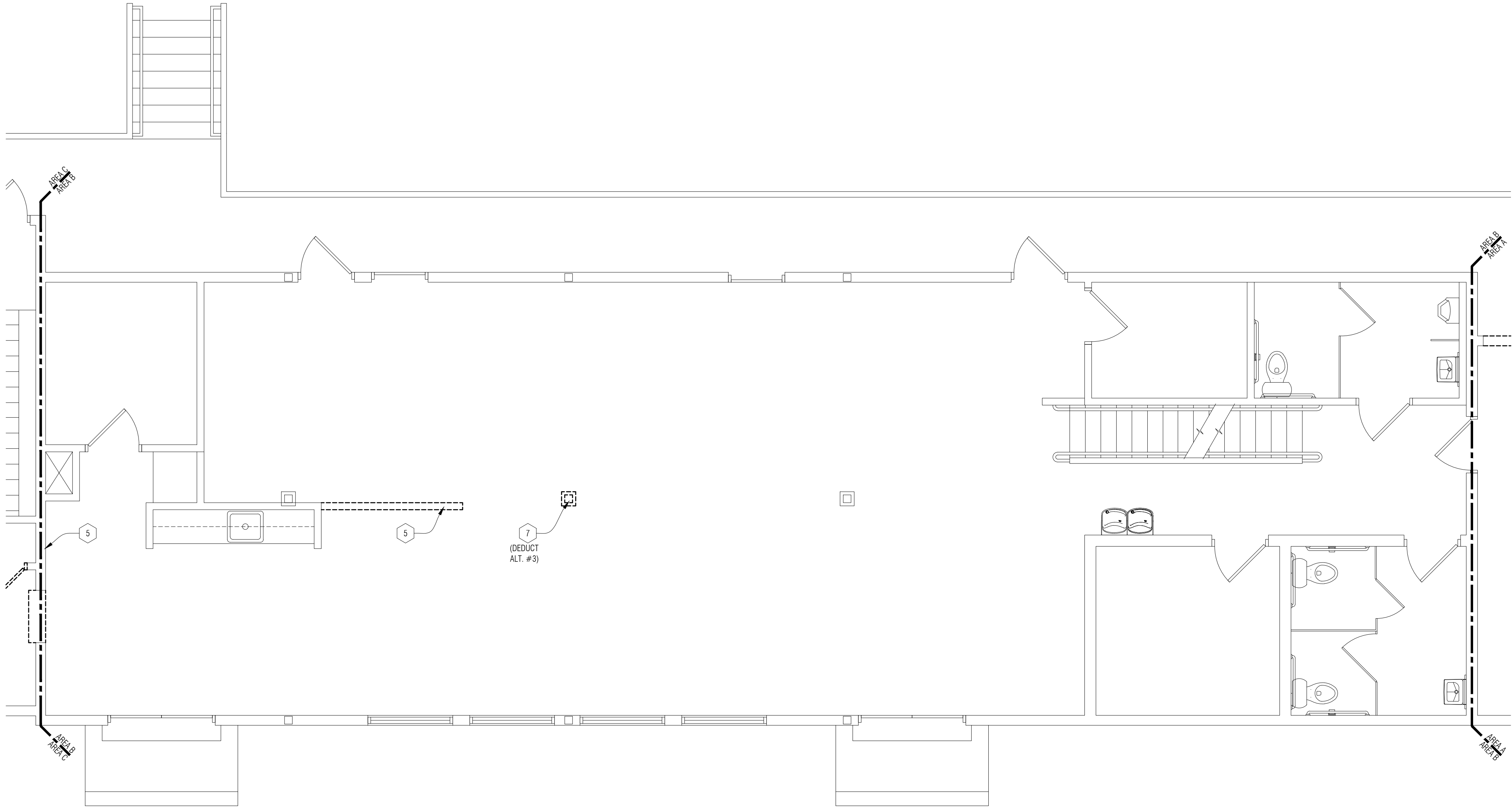
PROJECT NORTH

1

A1-01

1st Floor Demolition Plan - Area A
1/4" = 1'-0"

P:\2021\21-113-Dexter City Hall\02_CAD\A1-02- 1st Floor Demolition Plan- Area A.dwg - 12/22/2021 3:51:15 PM - Chris Prieb



1
A1-01
1st Floor Demolition Plan - Area B
1/4" = 1'-0"

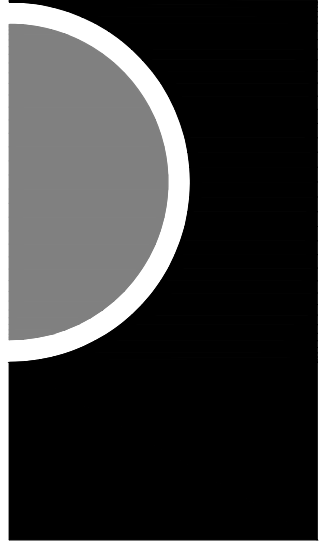
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- F. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO BIDDING.
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- H. MAINTAIN EXISTING FIRE RATING WHERE OCCURS AND WHERE POSSIBLE DURING DEMOLITION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION AS WELL AS CONSTRUCTION MANAGERS INSTRUCTIONS.
- I. DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF-SITE, U.O.N.

DEMOLITION PLANS - KEY NOTES:

- 1 AIR CONDITIONING CONDENSING UNIT TO BE RELOCATED. REFER TO ELEC.
- 2 UTILITY METERS TO BE RELOCATED. REFER TO MECH.
- 3 WINDOW UNIT TO BE REMOVED.
- 4 DOOR AND FRAME TO BE REMOVED.
- 5 STUD WALL CONSTRUCTION TO BE REMOVED.
- 6 STAIR CONSTRUCTION TO BE REMOVED. SALVAGE MATERIALS FOR REUSE.
- 7 COLUMN TO BE REMOVED. SHORE EXISTING CONSTRUCTION AS REQUIRED FOR INSTALLATION OF NEW STRUCT. REFER TO STRUCT.
- 8 CONCRETE WALK TO BE REMOVED.
- 9 REMOVE RAMP CONSTRUCTION DOWN TO SUB-FLOOR.
- 10 EXISTING RETURN AIR GRILLE TO BE RELOCATED. SEE MECH.
- 11 REMOVE EXISTING FLOOR TILE AND SETTING BED DOWN TO SUB-FLOOR.
- 12 REMOVE AND SALVAGE WOOD FLOORING FOR REINSTALLATION.
- 13 SALVAGE DOOR AND FRAME FOR REINSTALLATION AT SAME LOCATION WITH HIGHER FLOOR LINE. VERIFY DOOR, FRAME, AND NEW HEADER WILL FIT IN REDUCED HEAD SPACE FROM RAISED FLOOR PRIOR TO DEMOLITION. SEE FLOOR PLAN & WALL SECTIONS FOR MORE INFORMATION.
- 14 BUILT-IN WOOD AND STEEL TABLE TO BE REMOVED AND RETURNED TO OWNER. PATCH & REPAIR WALL AS REQUIRED.
- 15 LIMIT OF FLOORING REMOVAL TO ALIGN WITH BACK OF TOE KICK @ NEW TRANSACTION COUNTER.

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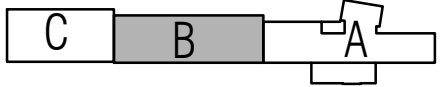
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PROJECT NO.

21-113

ISSUES / REVISIONS

Bidding Construction 12/22/2021

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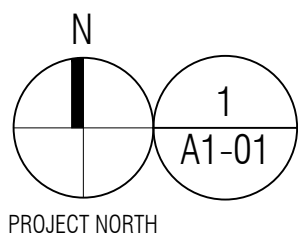
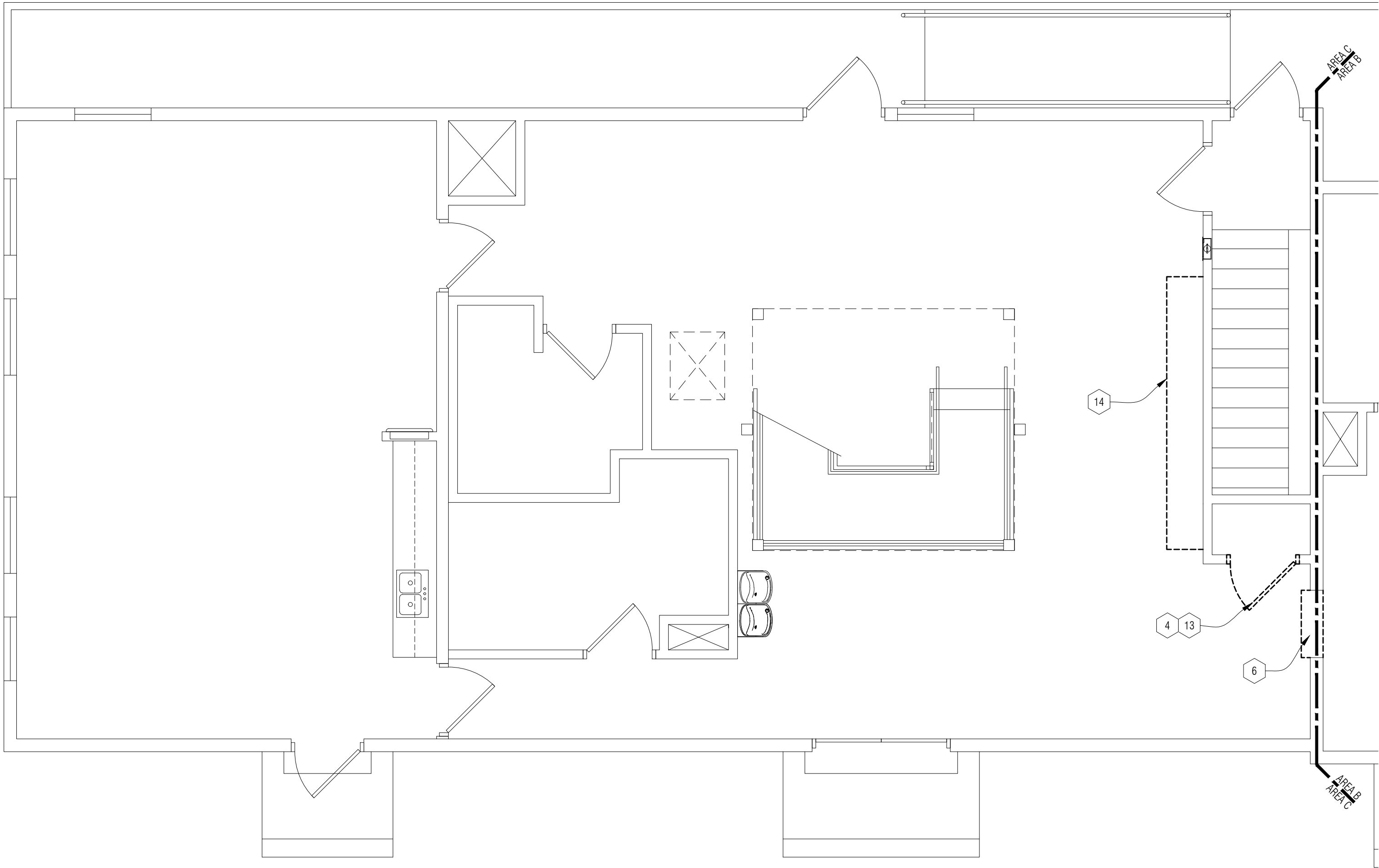
DWG

SHEET NAME

1ST FLOOR
DEMOLITION
PLAN - AREA B

SHEET NO.

A1-03



1
A1-01
1/4" = 1'-0"

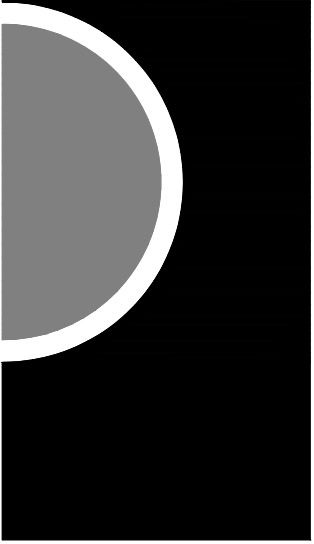
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- 9 REMOVE RAMP CONSTRUCTION DOWN TO SUB-FLOOR.
- 10 EXISTING RETURN AIR GRILLE TO BE RELOCATED. SEE MECH.
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- 12 REMOVE AND SALVAGE WOOD FLOORING FOR REINSTALLATION.
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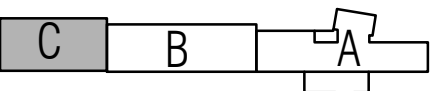
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CONSULTANT

KEY PLAN



OWNER

City of Dexter

PROJECT NAME

City Hall Renovations

3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

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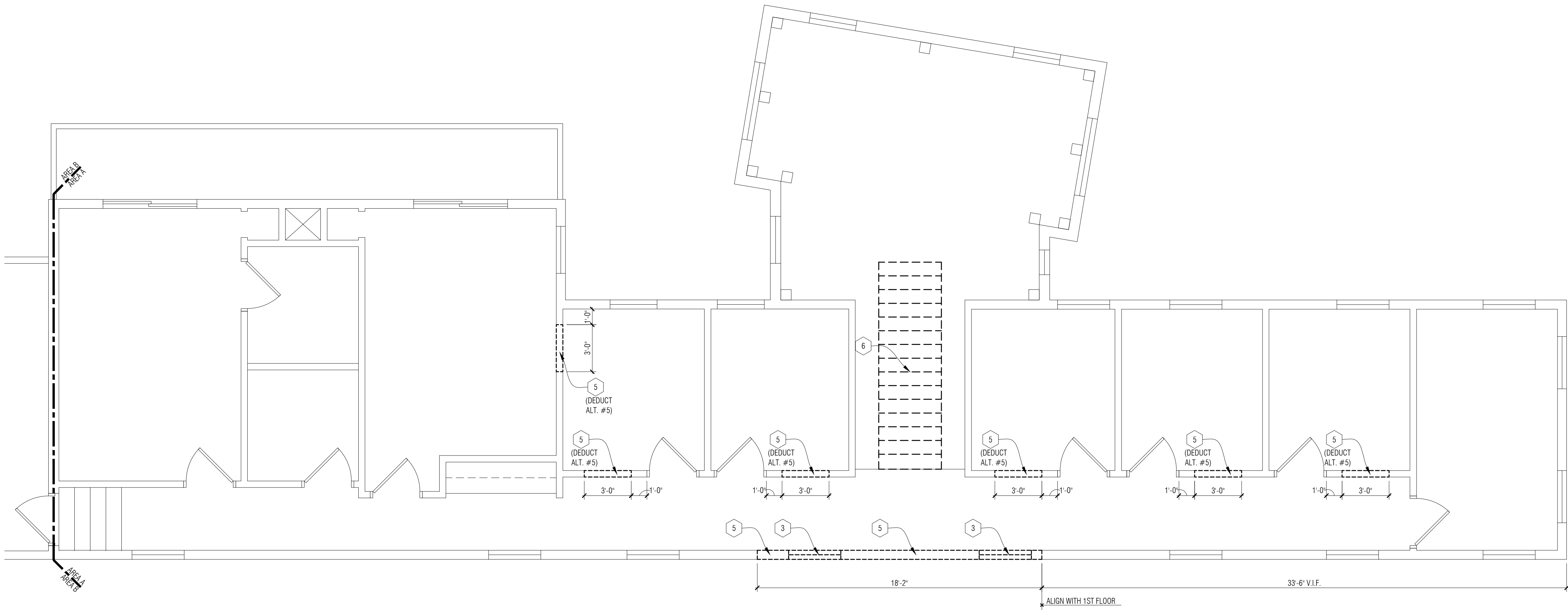
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SHEET NAME

1ST FLOOR
DEMOLITION
PLAN - AREA C

SHEET NO.

A1-04



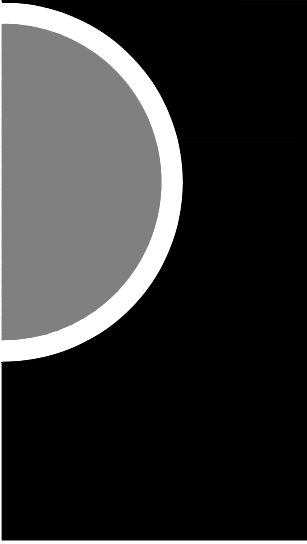
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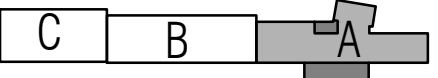
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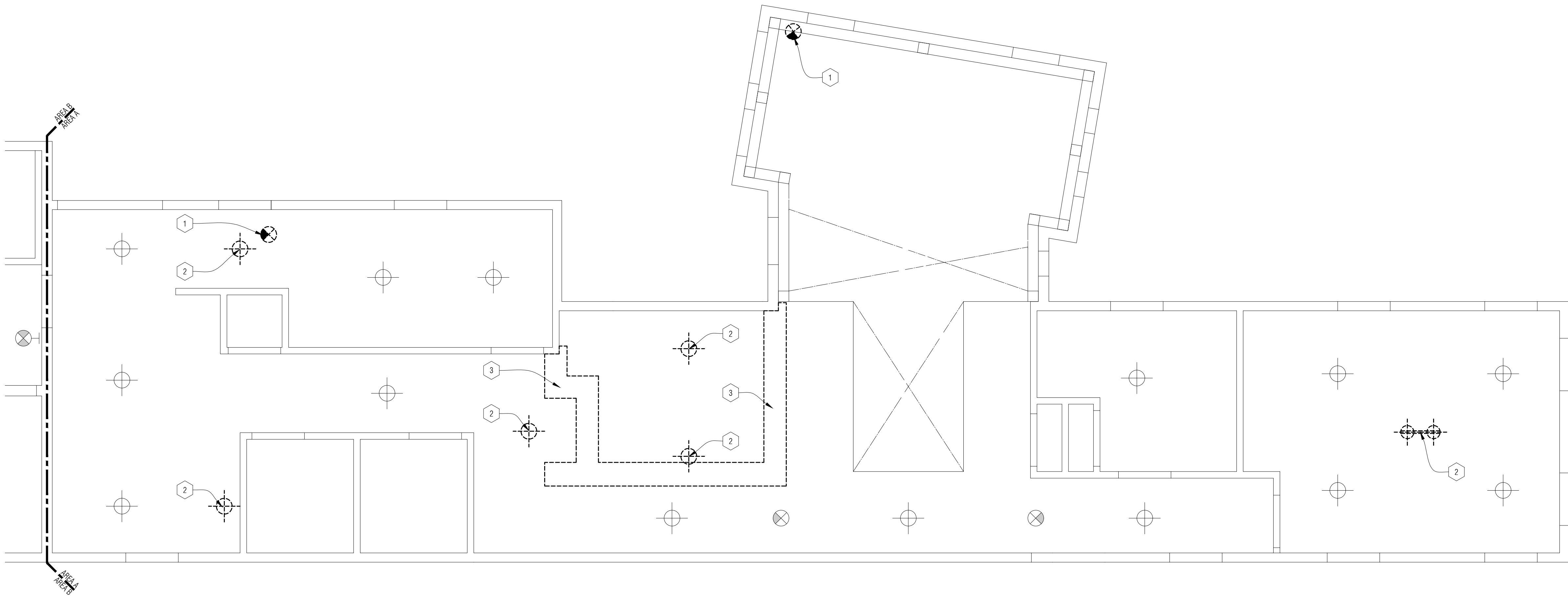
2ND FLOOR

DEMOLITION

PLAN - AREA A

SHEET NO.

A1-05



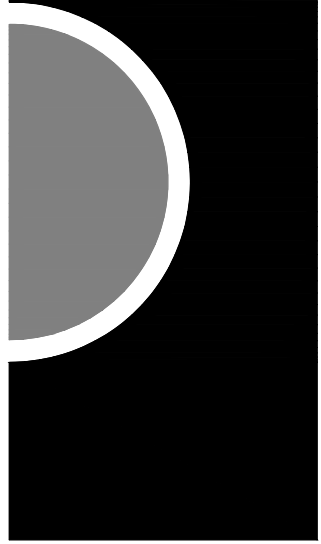
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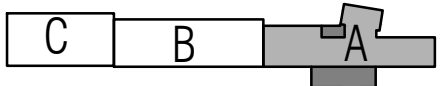
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DWG

SHEET NAME

1ST FLOOR

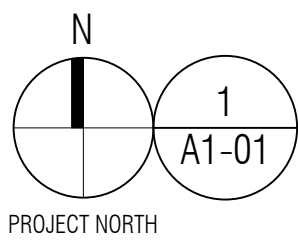
DEMOLITION

CEILING PLAN -

AREA A

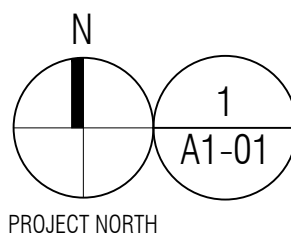
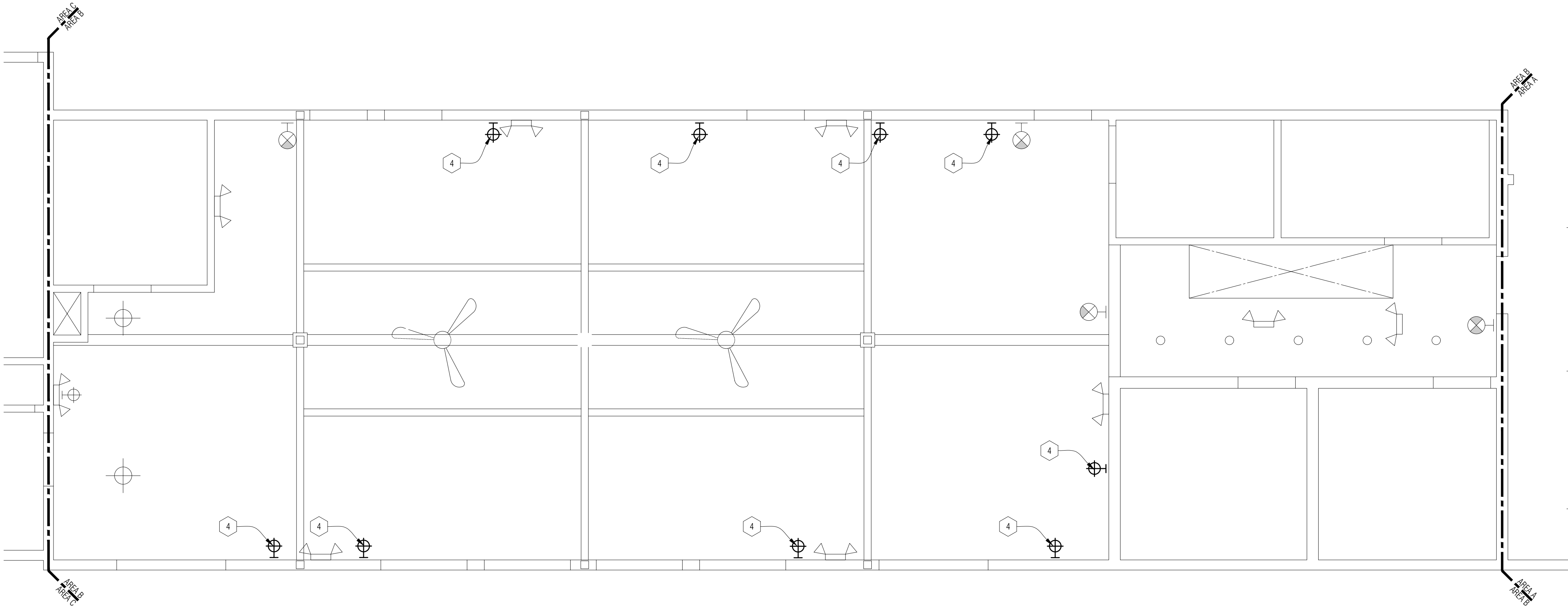
SHEET NO.

A1-10



1st Floor Demolition Ceiling Plan - Area A

1/4" = 1'-0"



1
A1-01
1st Floor Demolition Ceiling Plan - Area B
1/4" = 1'-0"

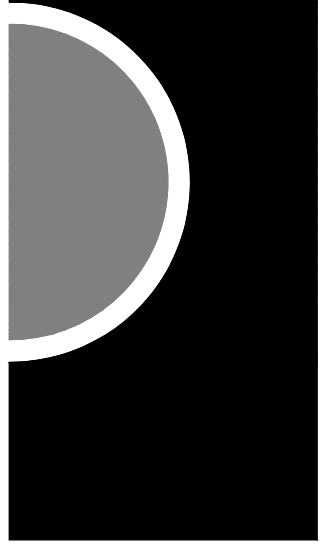
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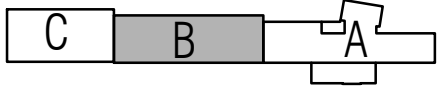
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1ST FLOOR

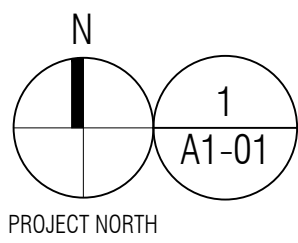
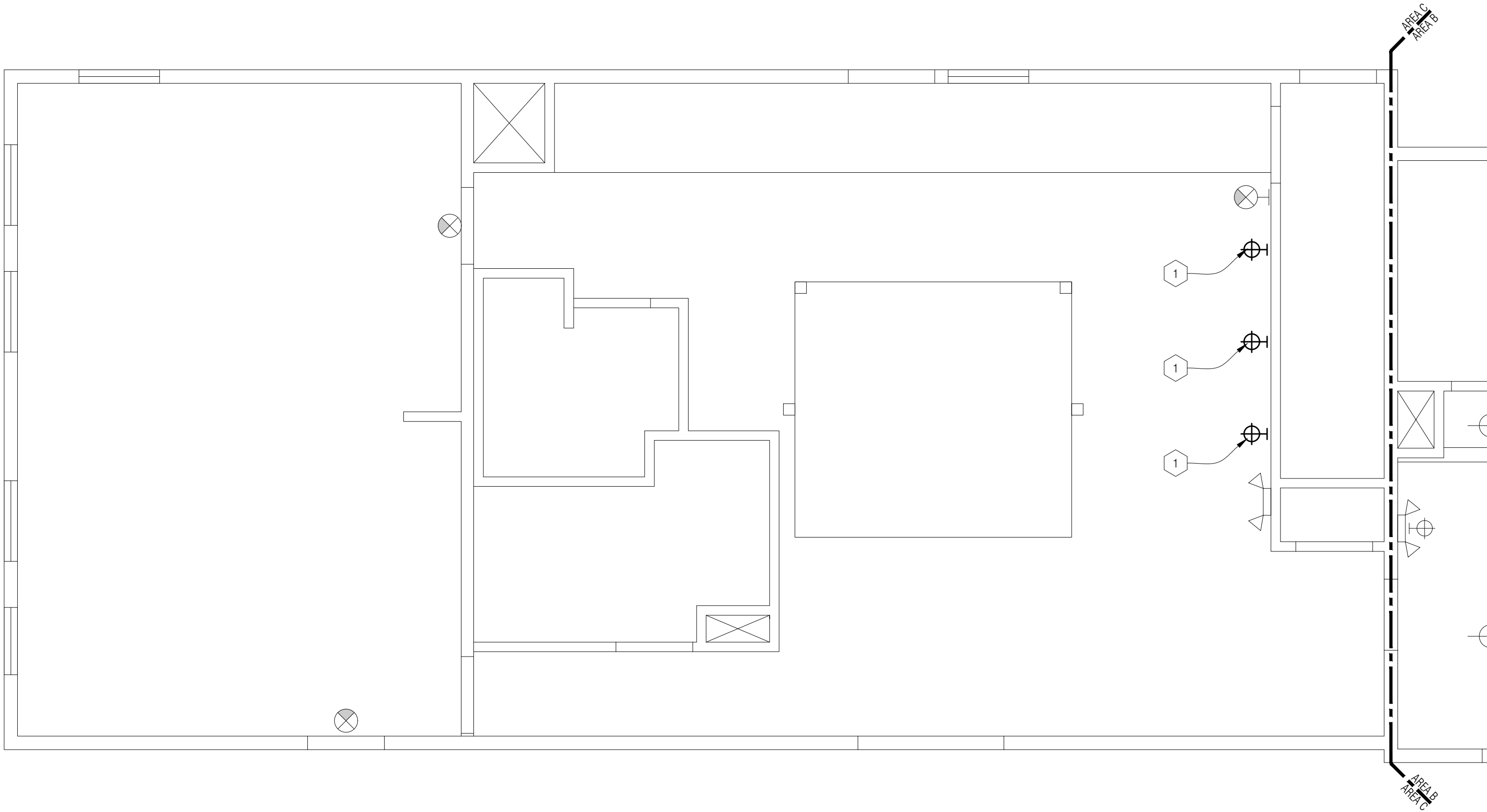
DEMOLITION

CEILING PLAN -

AREA B

SHEET NO.

A1-11



1st Floor Demolition CeilingPlan - Area C
1/4" = 1'-0"

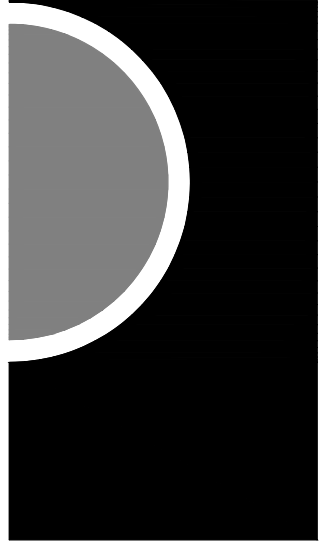
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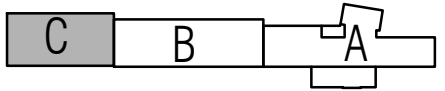
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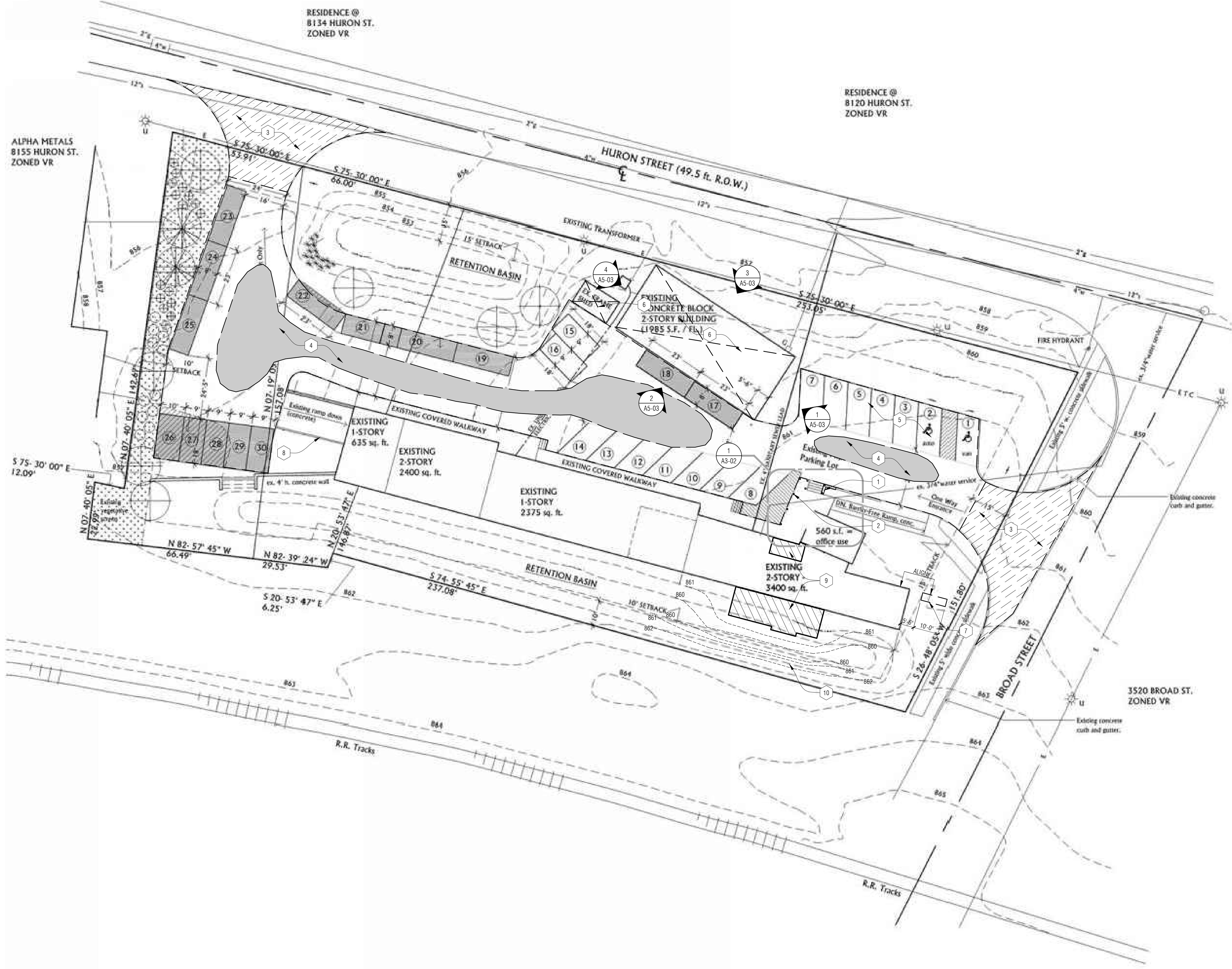
DEMOLITION

CEILING PLAN -

AREA C

SHEET NO.

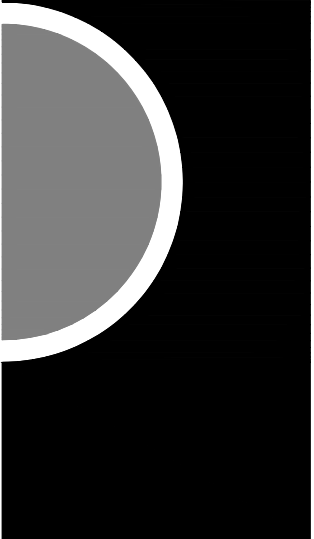
A1-12



SITE PLAN KEY NOTES:

- 1 REBUILD MASONRY RETAINING WALL CORNER AT CRACKED EXISTING ASSEMBLY. REMOVE & RESET MASONRY ALONG LENGTH OF STAIR AND FOR ±5'-0" ALONG THE NORTH ELEVATION. PROVIDE ELASTOMERIC SEALANT & BACKER ROD AT ALL CRACKS IN EXISTING CONCRETE STAIR.
- 2 REMOVE ALL CORRODED STEEL BASE PLATES ANCHOR BRACKETS AT BOTTOM OF EACH WOOD POST IN EXISTING GUARDRAIL. REMOVE RUST STAINS FROM CONCRETE. REPLACE BRACKETS WITH GALVANIZED BRACKETS OF SIMILAR DESIGN. THRU BOLT BRACKETS TO WOOD POST TO ENSURE SOLID, STABLE CONNECTION. PROVIDE ASPHALT ISOLATION BETWEEN BRACKET & CONCRETE. ANCHOR BRACKET TO CONCRETE WITH EXPANSION ANCHORS SET IN EPOXY.
- 3 ADD ALTERNATE #1: REMOVE AND REPLACE ASPHALT PAVING IN THIS AREA.
- 4 ADD ALTERNATE #1: REMOVE AND REPLACE ALL DETERIORATED & CRACKED ASPHALT AT CENTER AREAS. TYP.
- 5 ADD ALTERNATE #1: RESTRIPE PARKING SPACES AS SHOWN, INCLUDING BARRIER FREE SPACES.
- 6 ADD ALTERNATE #2: BARN AND SHED RENOVATIONS. SEE EXTERIOR ELEVATION SHEETS FOR MORE INFORMATION.
- 7 ADD ALTERNATE #3: NEW MONUMENT SIGN.
- 8 REPAINT EXISTING STEEL PIPE RAIL, COMPLETE.
- 9 BUILDING ADDITION
- 10 REGRADE ELEVATIONS @ ADDITION TO MAINTAIN GRADE LEVELS @ FACE OF BUILDING. MAINTAIN PITCH OF GRADE TO EXISTING ELEVATION @ BOTTOM OF SWALE. MAINTAIN CONTINUITY OF SWALE ELEVATIONS AROUND ADDITION AS SHOWN.

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MOUNT CLEMENS, MI 48043
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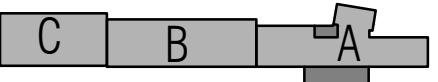
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CONSULTANT

KEY PLAN



OWNER

City of Dexter

PROJECT NAME

City Hall Renovations

3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

Bidding Construction 12/22/2021

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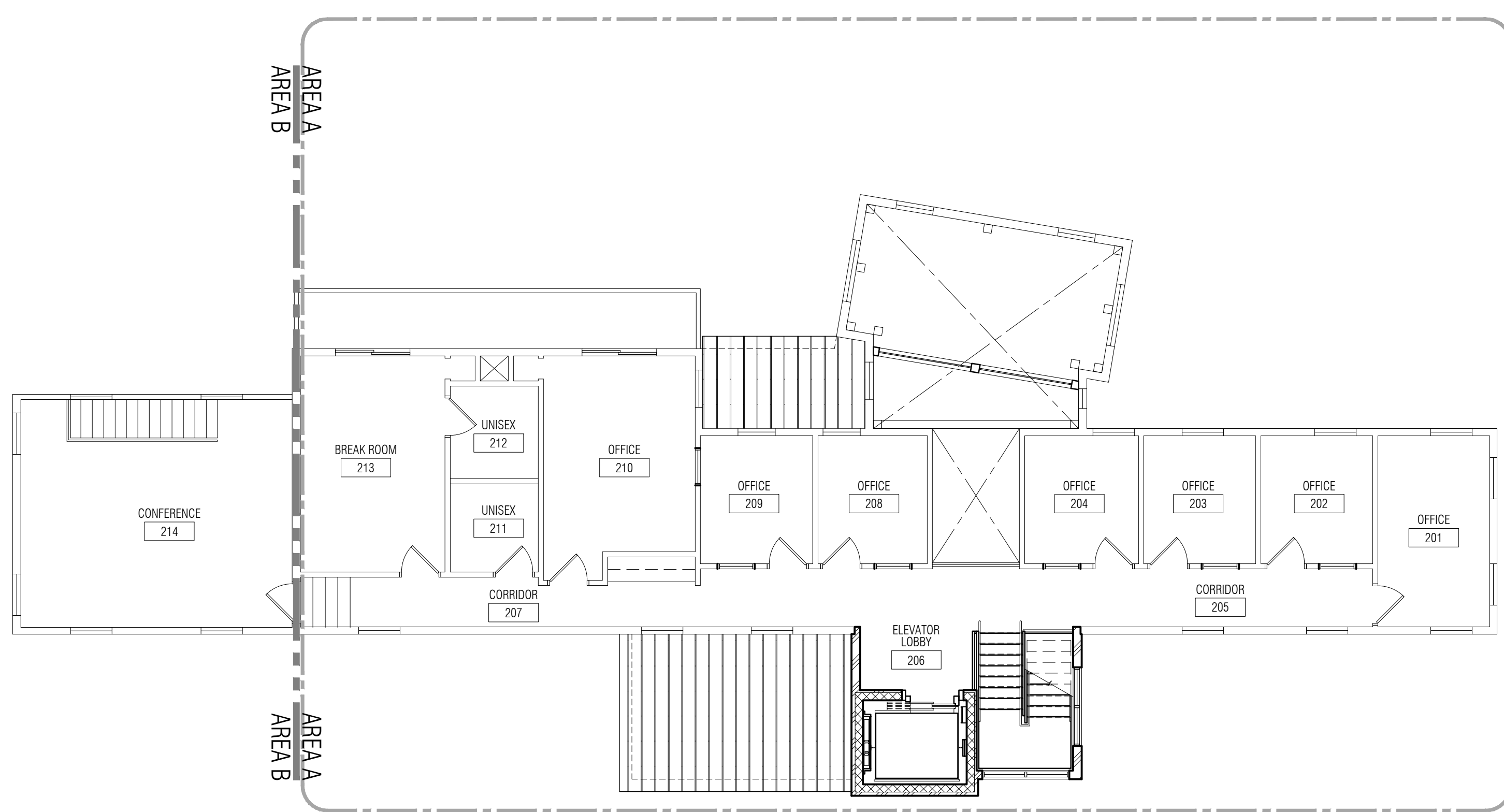
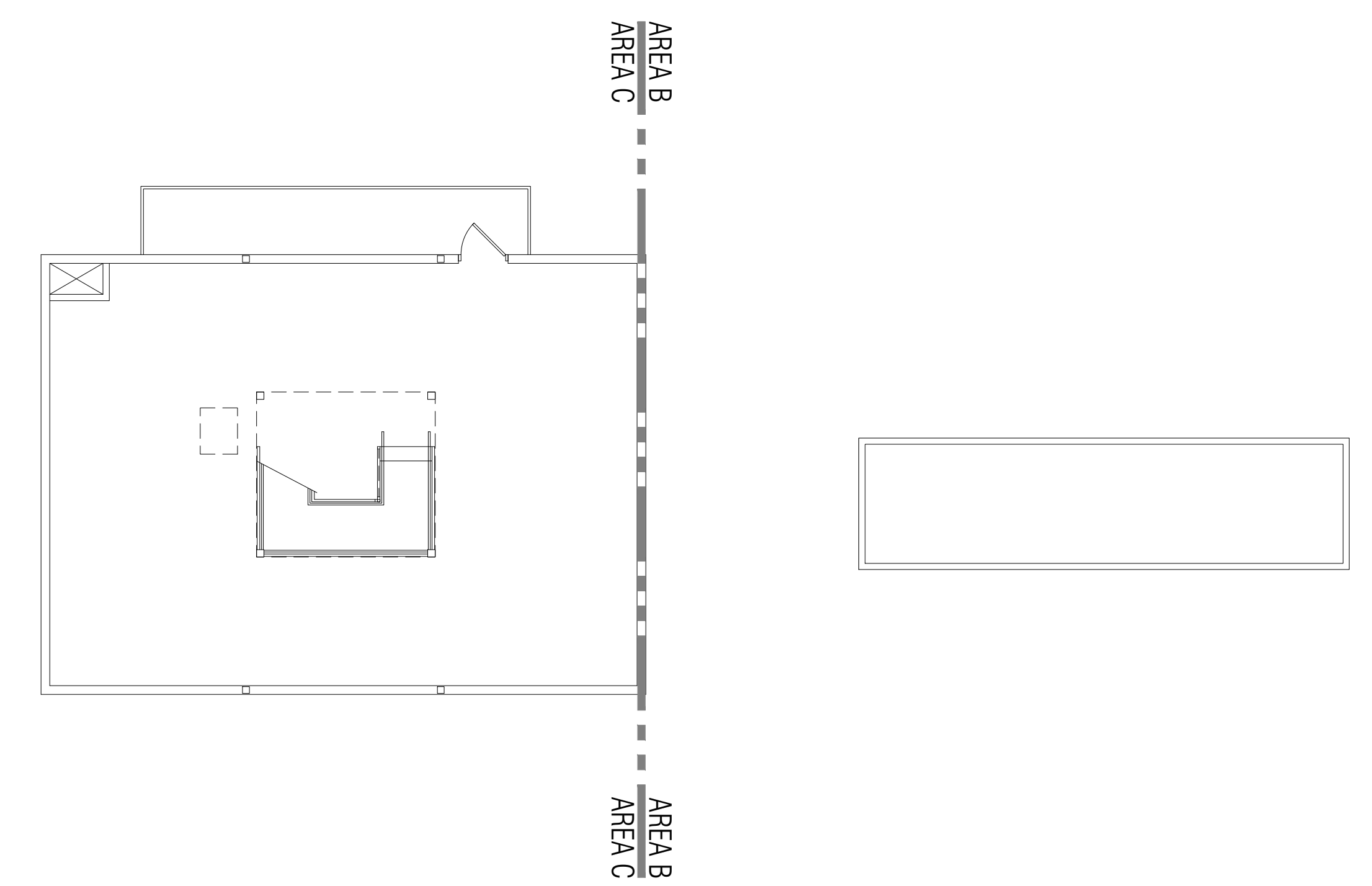
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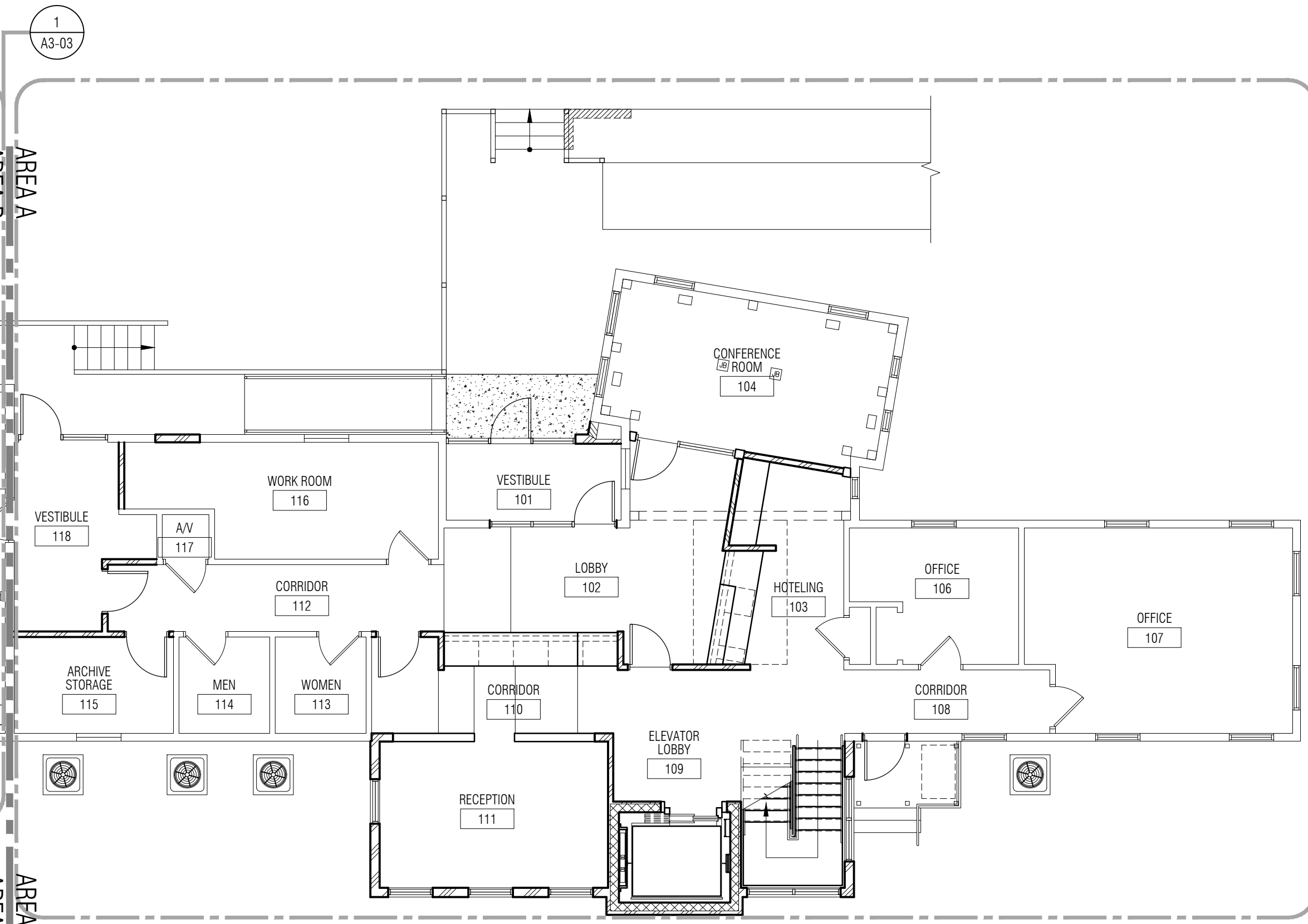
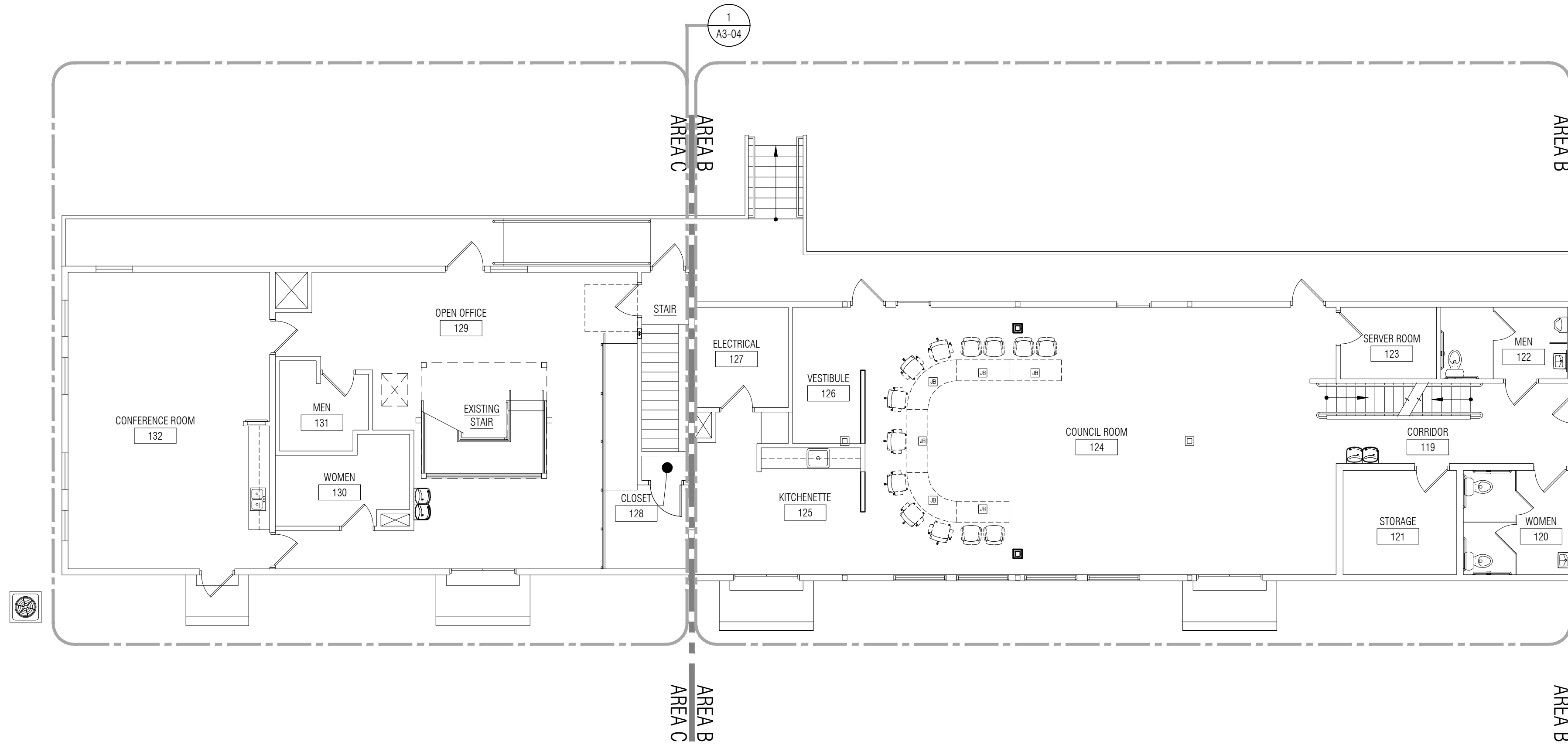
ARCHITECTURAL
SITE PLAN

SHEET NO.

A2-01

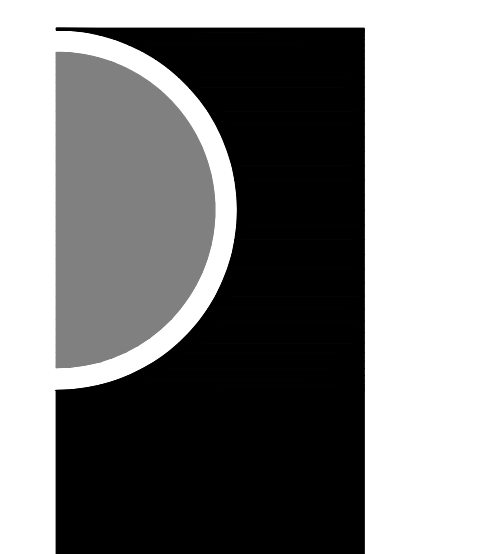


2 Composite 2nd Level Floor Plan
1/8" = 1'-0"



1 Composite 1st Level Floor Plan
1/8" = 1'-0"

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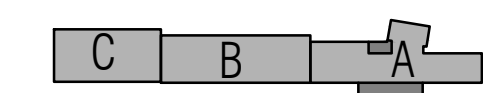
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SHEET NAME

COMPOSITE
FLOOR PLANS

SHEET NO.
A3-00

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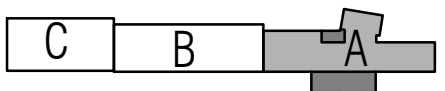
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PROJECT NO.

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SHEET NO.

A3-01

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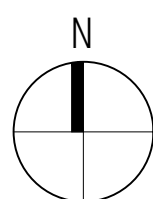
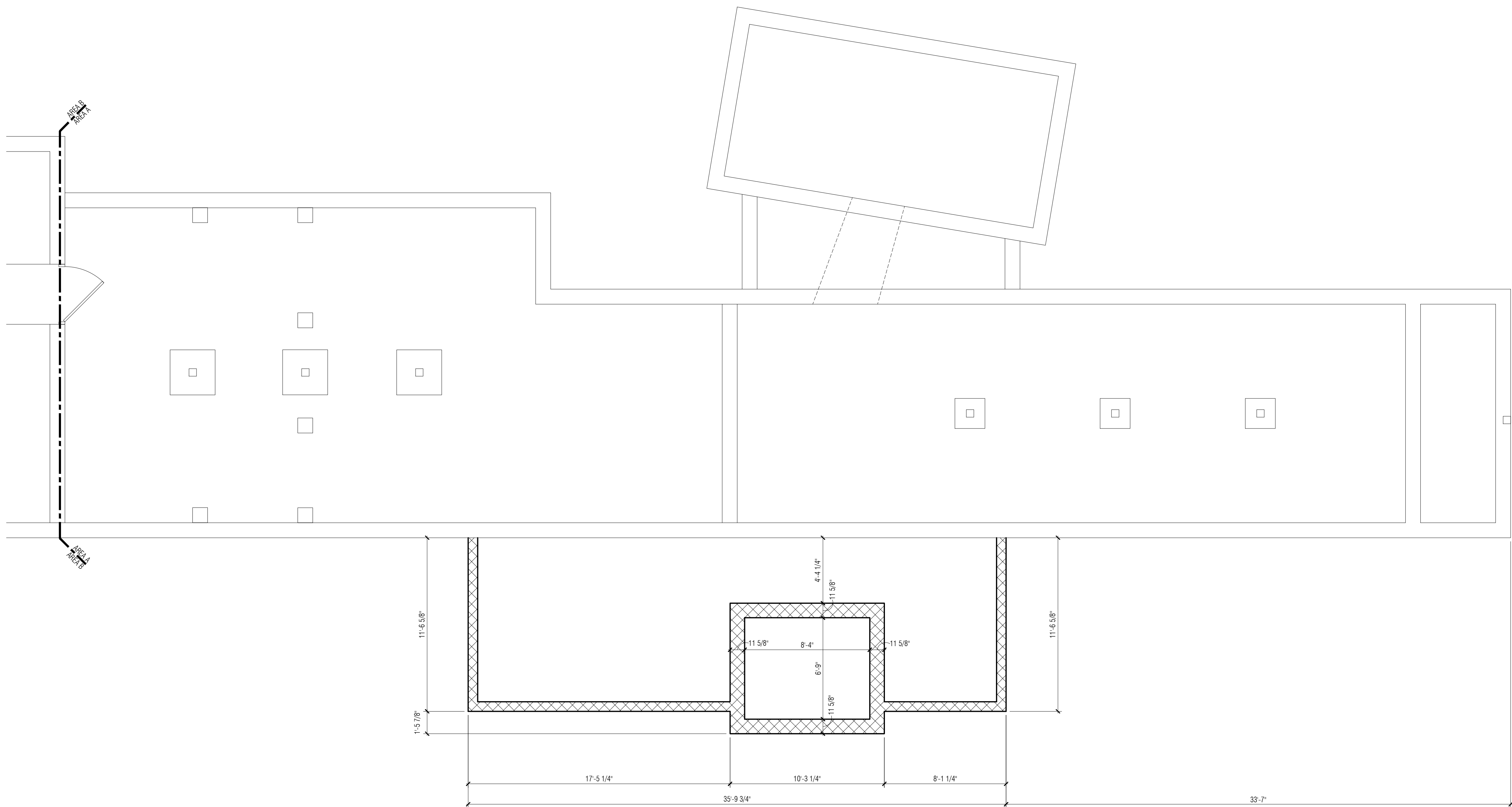
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MATCH ELEVATIONS OF ADJACENT DECK AND CONCRETE WALK.

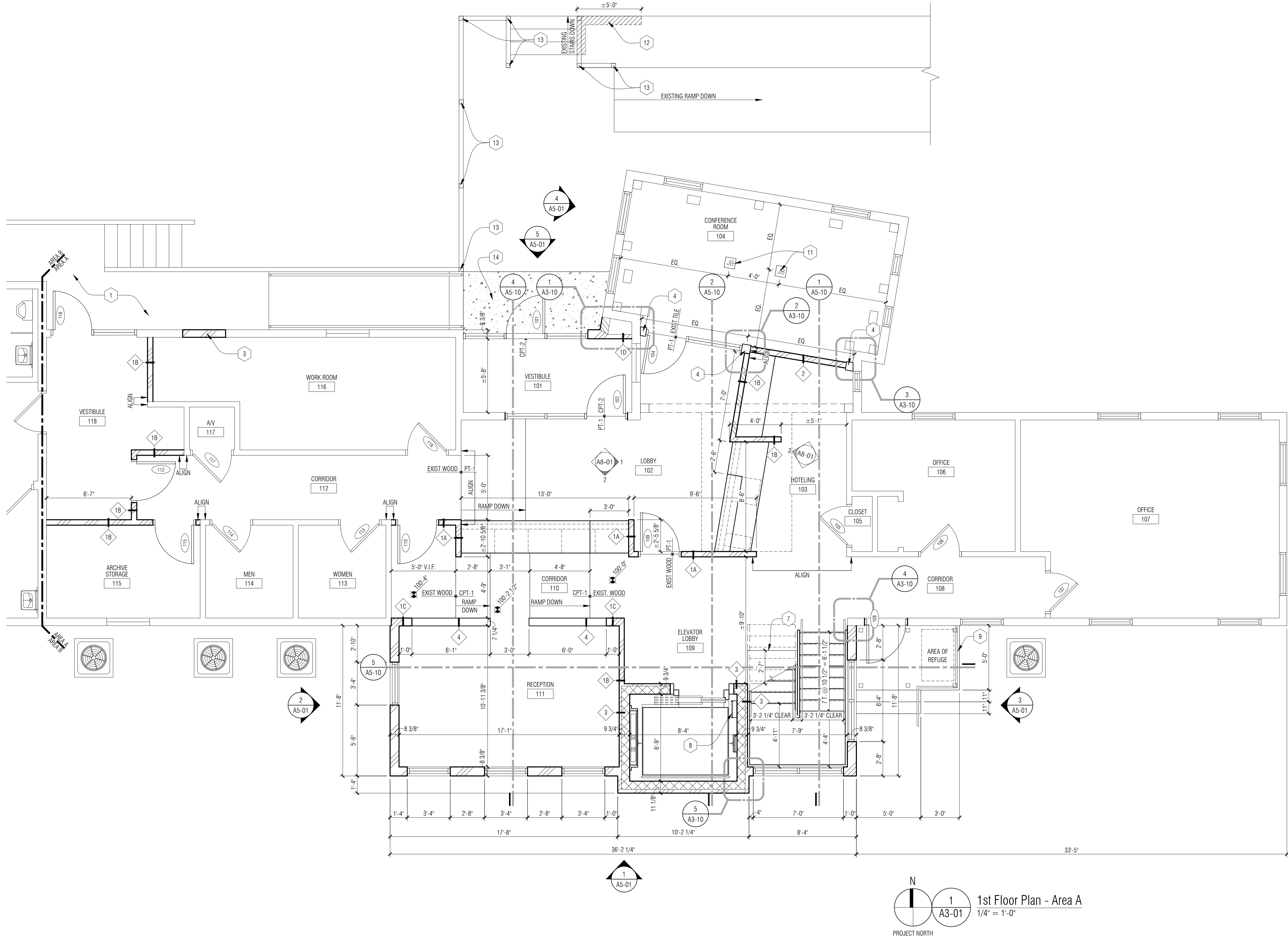
- 15 NEW WINDOW TO MATCH EXISTING EXTERIOR WINDOWS WITH FIXED SASH & SINGLE PANE GLAZING.



PROJECT NORTH

1
A3-01

1st Floor Plan - Area A
1/4" = 1'-0"



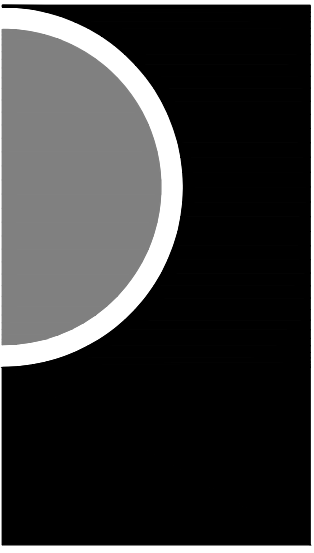
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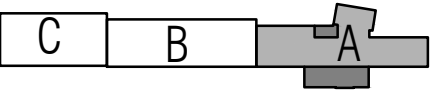
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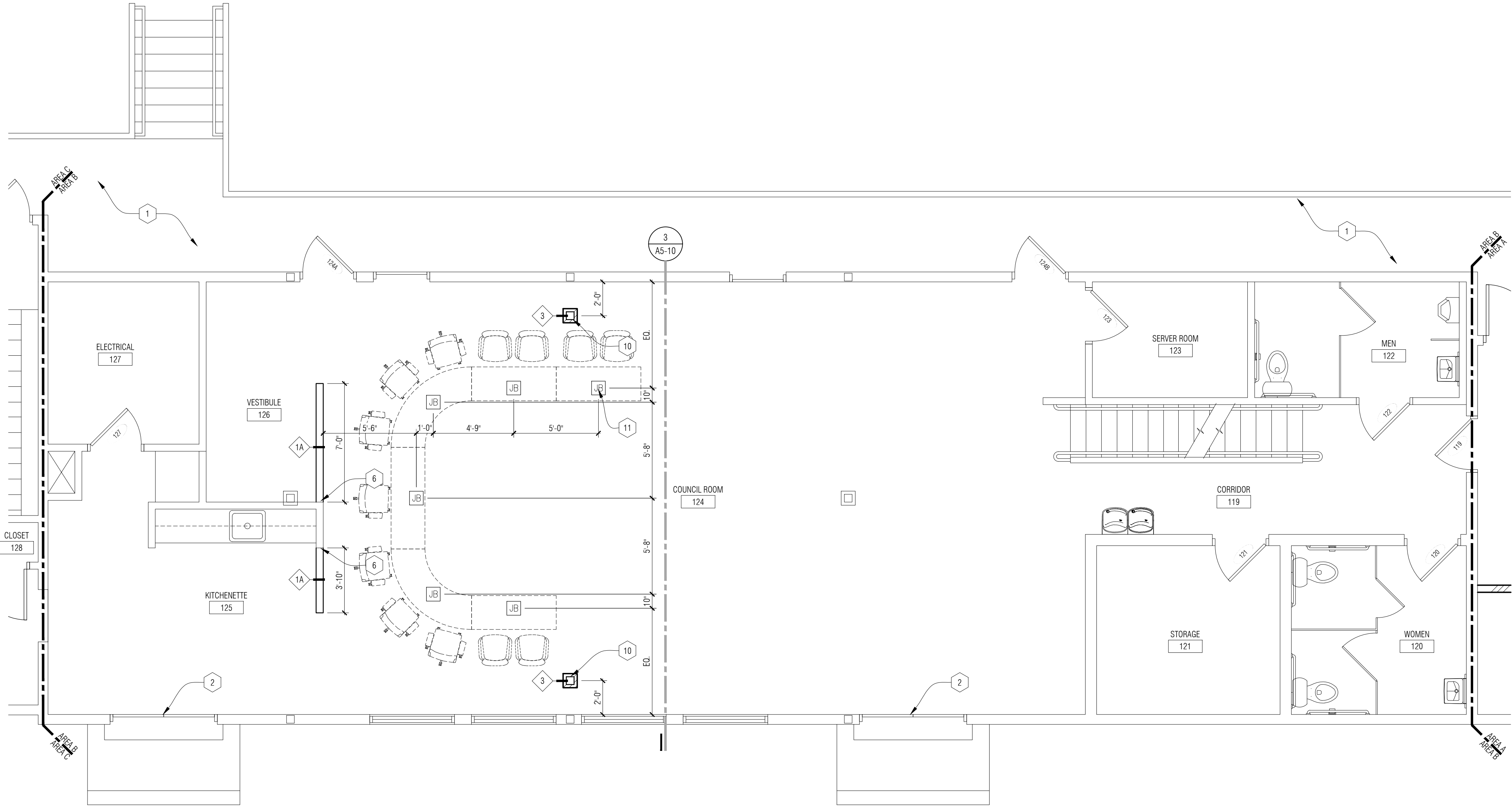
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SHEET NAME

1ST FLOOR
PLAN - AREA A

SHEET NO.

A3-02



N
PROJECT NORTH
1
A3-01
1st Floor Plan - Area B
1/4" = 1'-0"

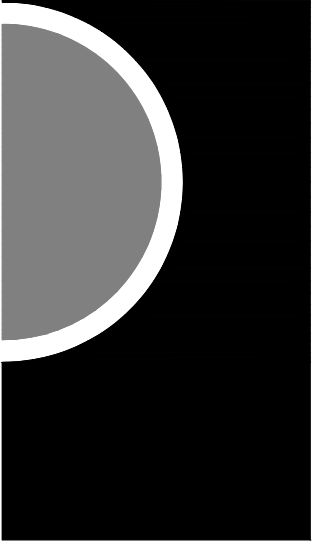
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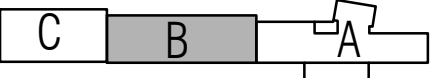
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PROJECT NO.

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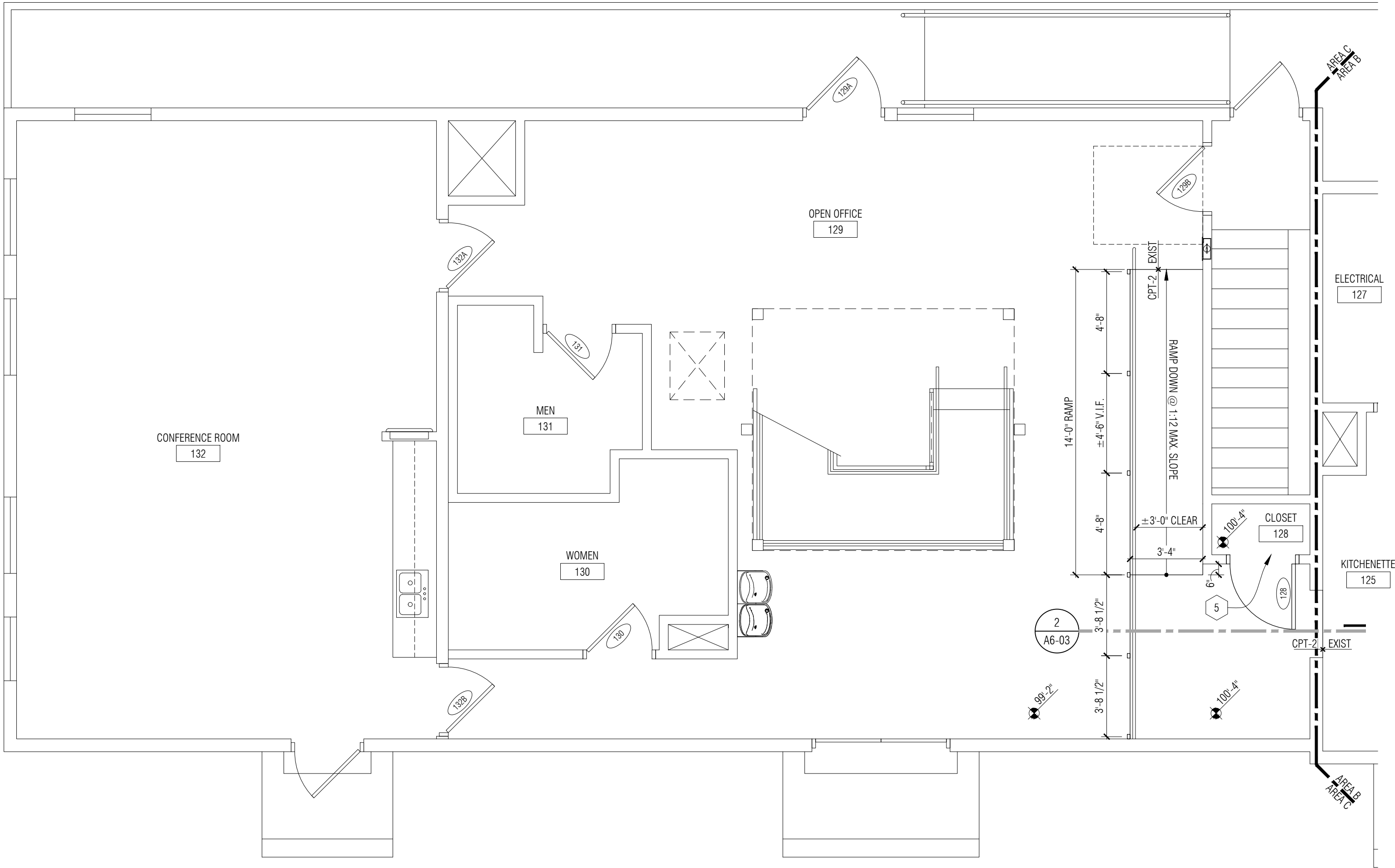
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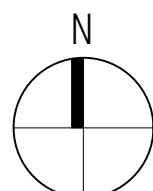
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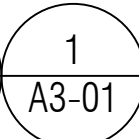
1ST FLOOR
PLAN - AREA B

SHEET NO.

A3-03




PROJECT NORTH

 1
A3-01

1st Floor Plan - Area C
1/4" = 1'-0"

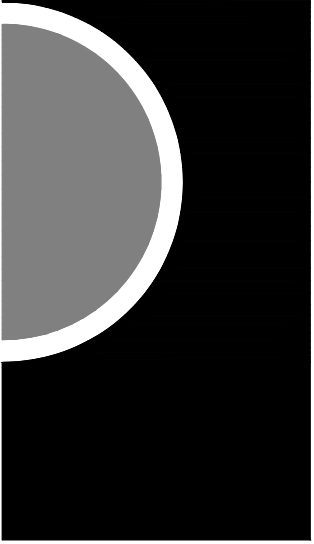
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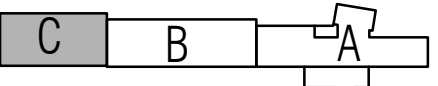
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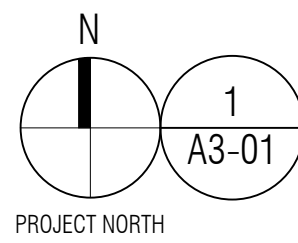
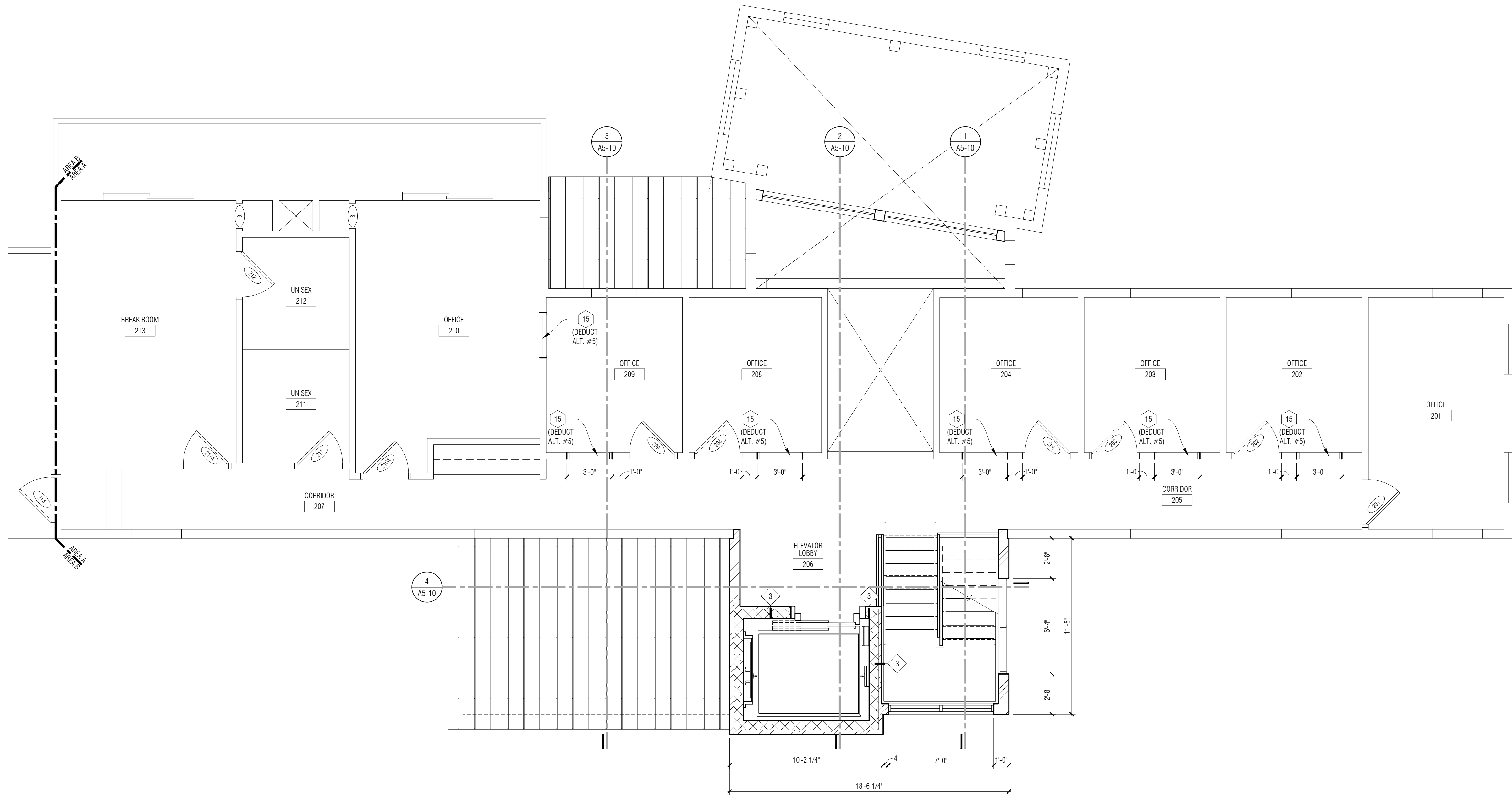
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SHEET NAME

1ST FLOOR
PLAN - AREA C

SHEET NO.

A3-04



2nd Floor Plan - Area A
1/4" = 1'-0"

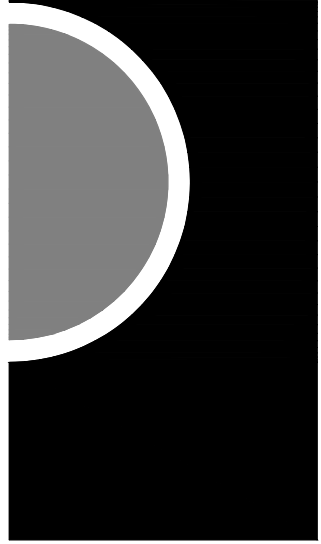
FLOOR PLAN GENERAL NOTES:

- A. ALL DIMENSIONS ARE TO FINISH FACE OF WALL - WALL THICKNESS IS SHOWN AS NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- B. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.

FLOOR PLAN KEY NOTES:

- 1 EXISTING WOOD DECK CONSTRUCTION.
- 2 EXISTING DOORS TO BE LOCKED IN CLOSED POSITION. BY OWNER.
- 3 INFILL EXISTING OPENING WITH MATCHING WALL CONSTRUCTION. PREP WALL FOR NEW FINISH.
- 4 NEW 8 X 8 TIMBER COLUMN FINISHED TO MATCH EXISTING TIMBER.
- 5 EXTEND LANDING CONSTRUCTION INTO EXISTING CLOSET TO MAINTAIN FLOOR LEVEL. ADJUST DOOR OPENING HEADER LOCATION TO WORK WITH EXISTING DOOR AT NEW HEIGHT. VERIFY EXISTING DOOR, FRAM, AND HEADER WILL FIT AT NEW HEIGHT.
- 6 NEW WALL CONSTRUCTION TO MATCH HEIGHT OF EXISTING ADJACENT WALLS.
- 7 FLOOR CURB CONSTRUCTION. REFER TO SECTIONS FOR MORE INFORMATION.
- 8 METAL PIT LADDER SECURED TO CMU WALL CONSTRUCTION. REFER TO DETAILS ON SHEET A3-10 FOR MORE INFORMATION.
- 9 1 X 6 DECK BOARDS ON 2 X 8 WOOD JOISTS @ 16" O.C. WITH 4 X 4 WOOD POSTS. SET POSTS MINIMUM 42" BELOW GRADE. ALL WOOD TO BE PRESERVATIVE TREATED. GALVANIZED 1 1/2" O.D. STEEL PIPE RAIL AND POSTS. ANCHOR TO WOOD DECK WITH EXPOSED BASE PLATE AS REQUIRED.
- 10 NEW STEEL COLUMN WITH GYP BD SURROUND. REFER TO STRUCT.
- 11 POWER & DATA FLOOR BOX. COORDINATE FLOOR LOCATIONS WITH OWNERS FURNITURE PLACEMENT PRIOR TO INSTALLATION. SEE ELECTRICAL.
- 12 REBUILD MASONRY RETAINING WALL CORNER AT CRACKED EXISTING ASSEMBLY. REMOVE & RESET MASONRY ALONG LENGTH OF STAIR AND FOR ±5'-0" ALONG THE NORTH ELEVATION. PROVIDE ELASTOMERIC SEALANT & BACKER ROD AT ALL CRACKS IN EXISTING CONCRETE STAIR.
- 13 REMOVE ALL CORRODED STEEL BASE PLATES ANCHOR BRACKETS AT BOTTOM OF EACH WOOD POST IN EXISTING GUARDRAIL. REMOVE RUST STAINS FROM CONCRETE. REPLACE BRACKETS WITH GALVANIZED BRACKETS OF SIMILAR DESIGN. THRU BOLT BRACKETS TO WOOD POST TO ENSURE SOLID, STABLE CONNECTION. PROVIDE ASPHALT ISOLATION BETWEEN BRACKET & CONCRETE. ANCHOR BRACKET TO CONCRETE WITH EXPANSION ANCHORS SET IN EPOXY.
- 14 NEW CONCRETE WALK PITCHING AWAY FROM ENTRY DOOR. MATCH ELEVATIONS OF ADJACENT DECK AND CONCRETE WALK.
- 15 NEW WINDOW TO MATCH EXISTING EXTERIOR WINDOWS WITH FIXED SASH & SINGLE PANE GLAZING.

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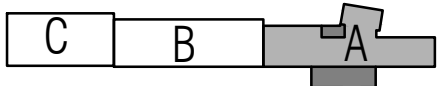
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KEY PLAN



OWNER

City of Dexter

PROJECT NAME

City Hall Renovations

3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

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Bidding Construction 12/22/2021

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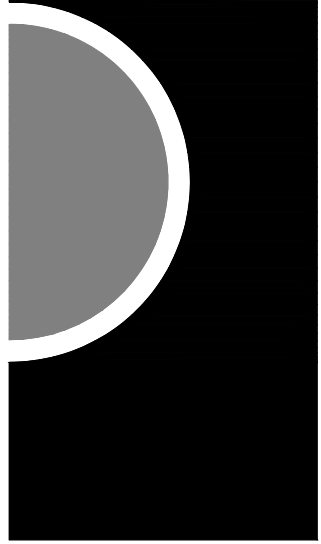
SHEET NAME

2ND FLOOR
PLAN - AREA A

SHEET NO.

A3-05

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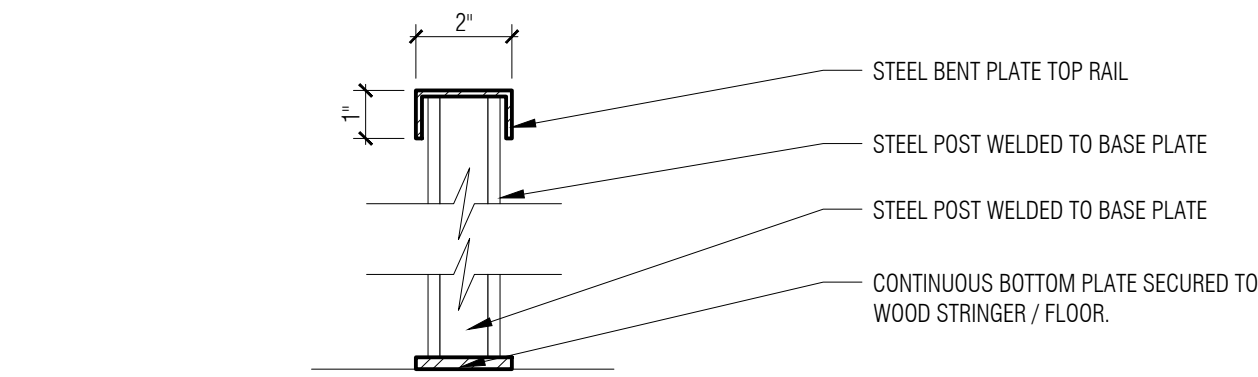
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SHEET NAME

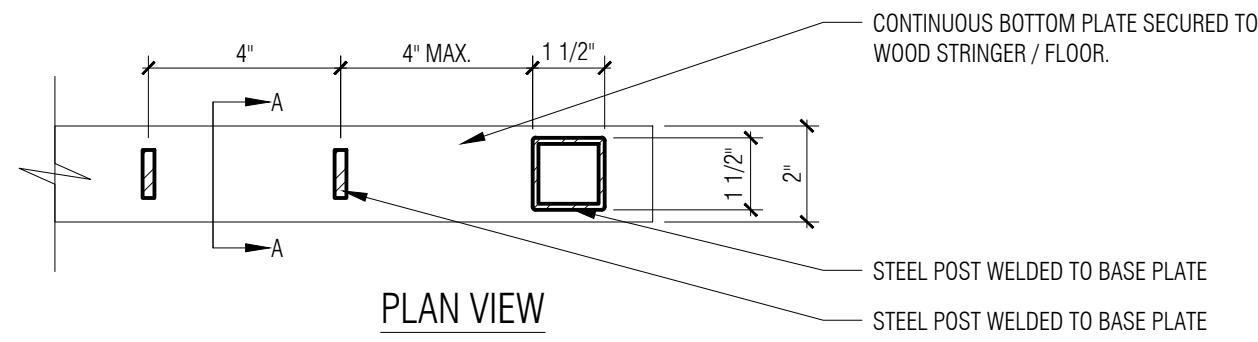
PLAN DETAILS

SHEET NO.

A3-10

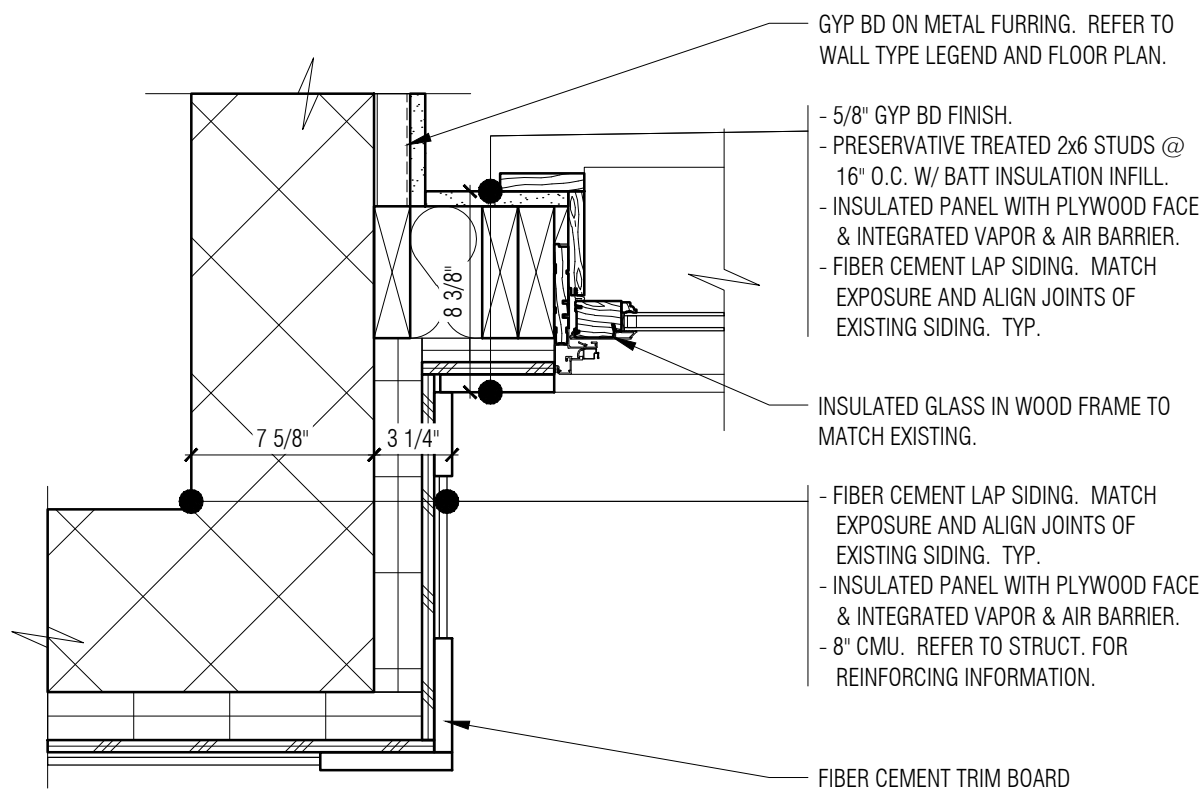


SECTION A-A

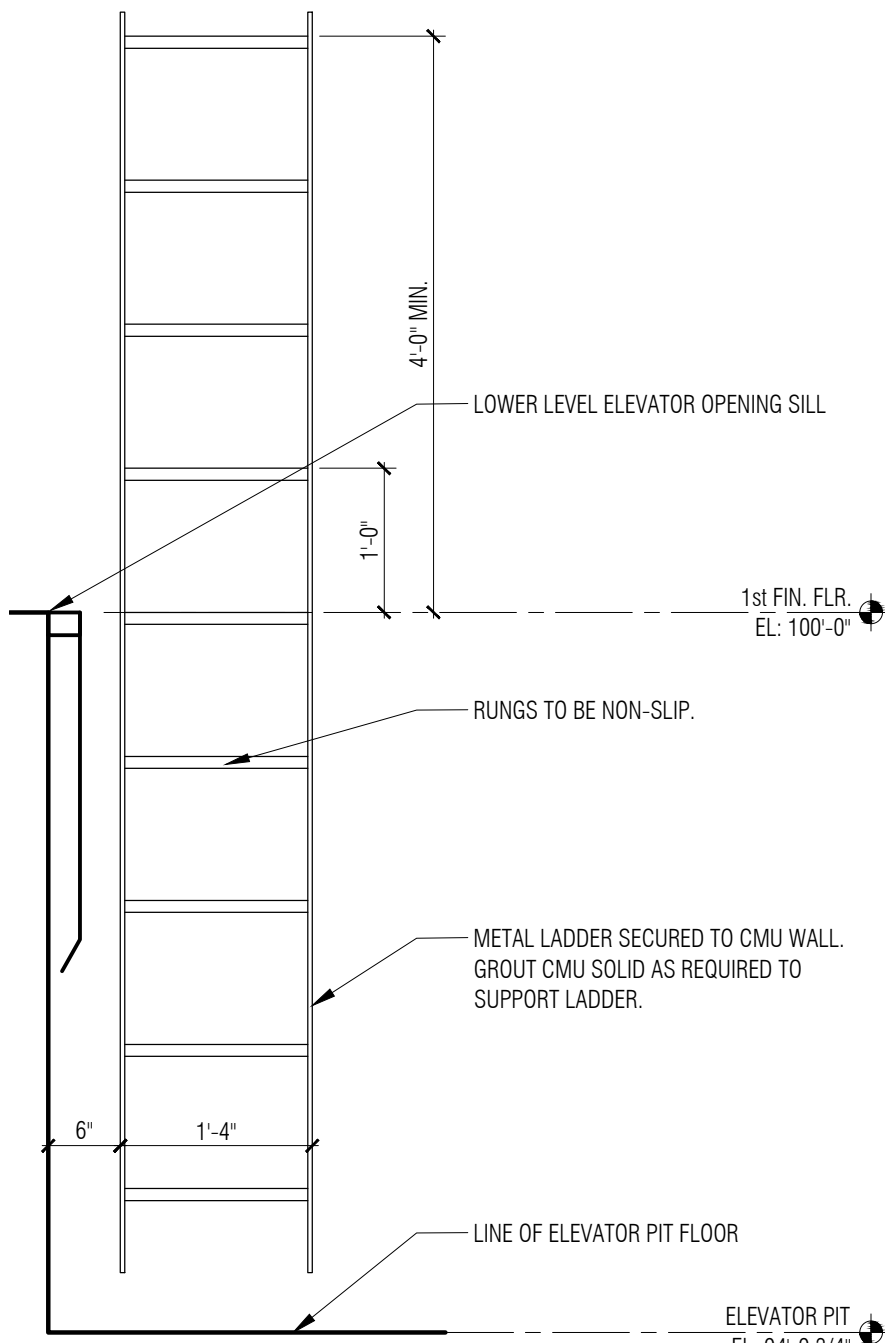


PLAN VIEW

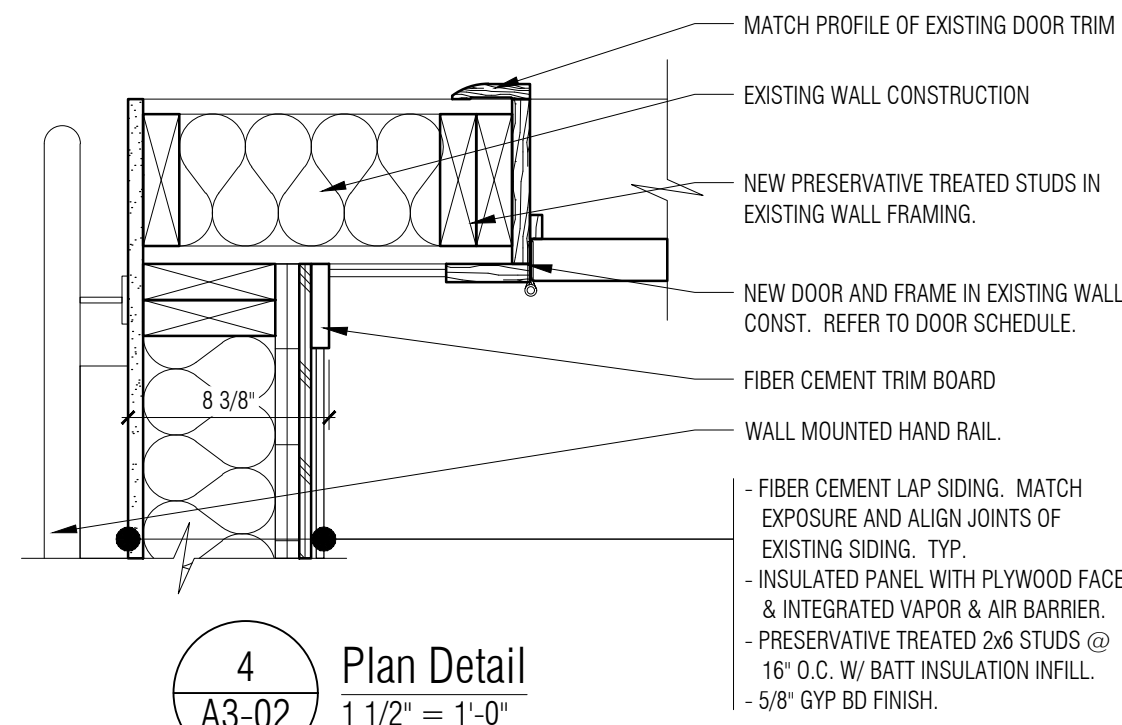
7 Plan Detail
A6-03 3" = 1'-0"



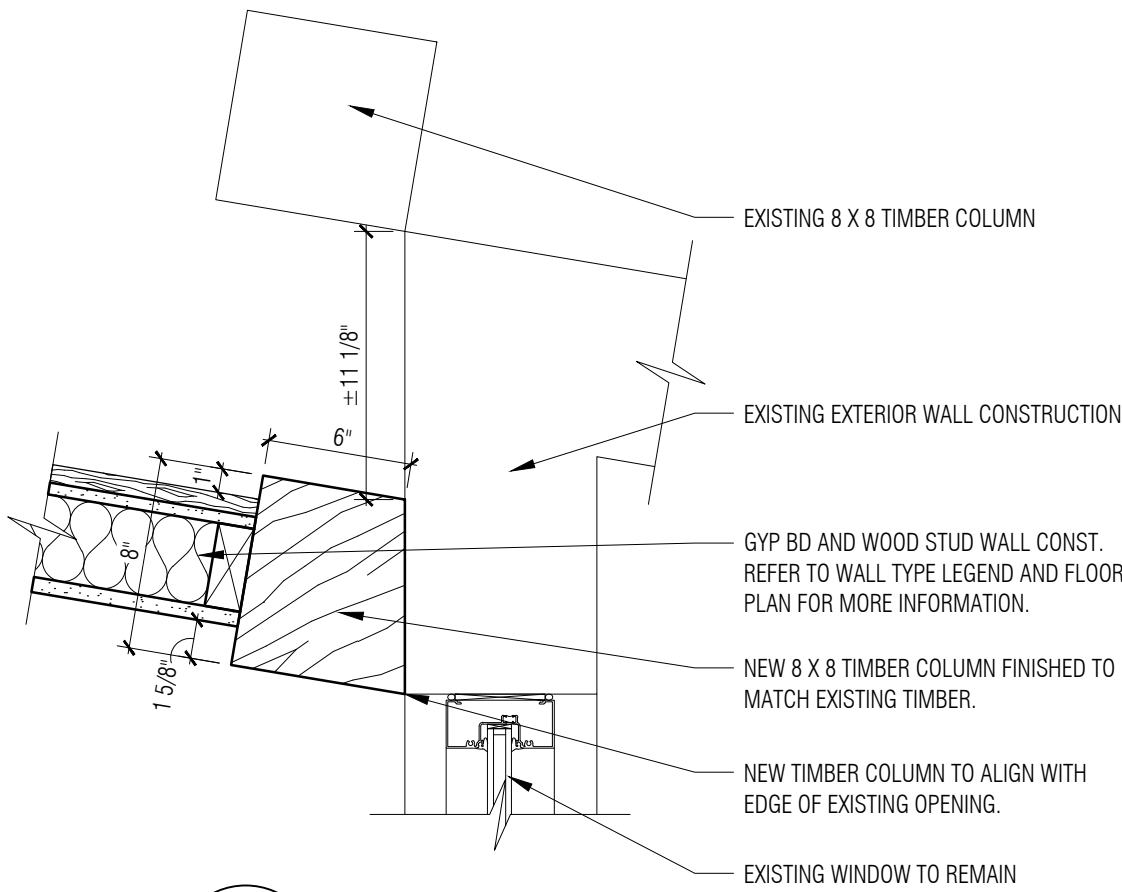
5 Plan Detail
A3-02 1 1/2" = 1'-0"



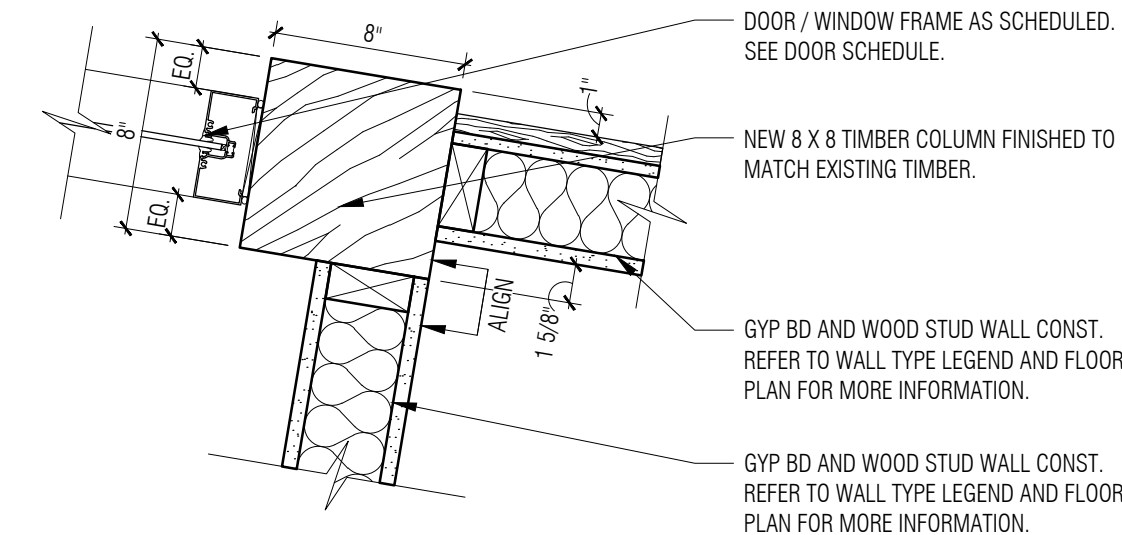
8 Plan Detail & Elevation
A3-02 3/4" = 1'-0"



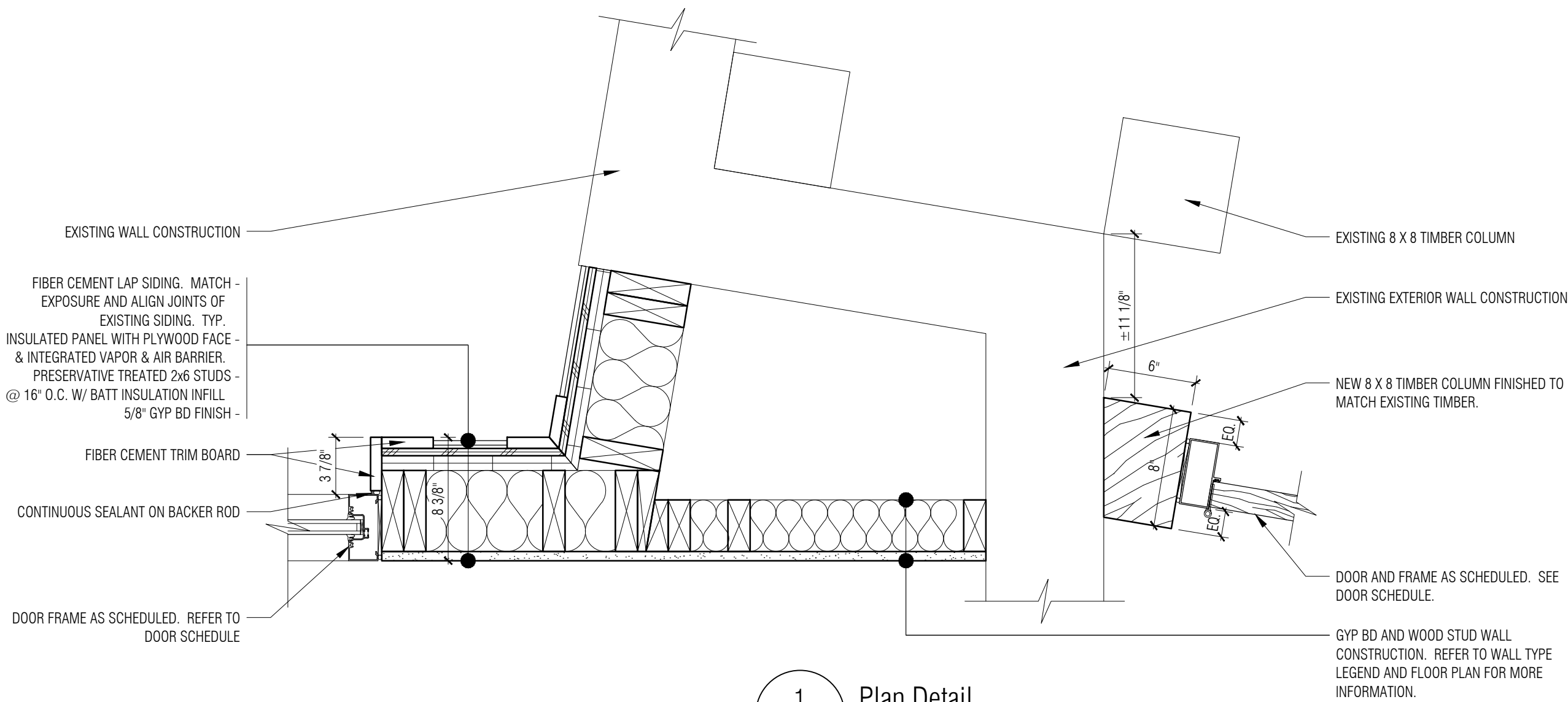
4 Plan Detail
A3-02 1 1/2" = 1'-0"



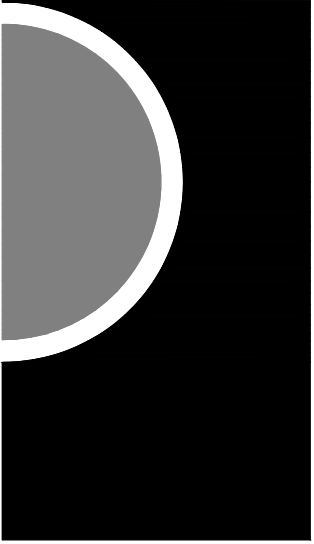
3 Plan Detail
A3-02 1 1/2" = 1'-0"



2 Plan Detail
A3-02 1 1/2" = 1'-0"



1 Plan Detail
A3-02 1 1/2" = 1'-0"



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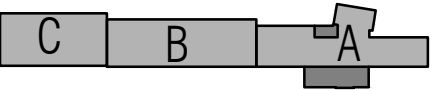
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ISSUES / REVISIONS

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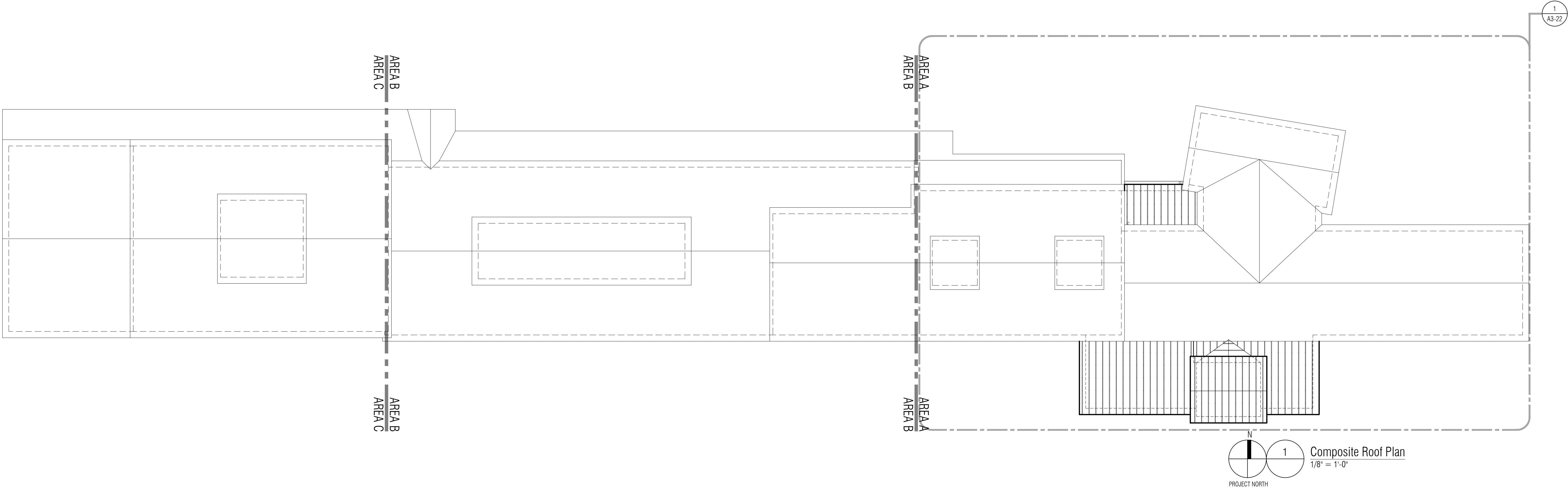
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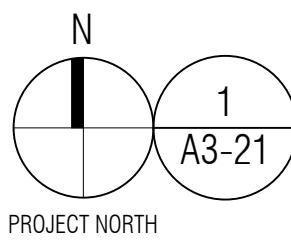
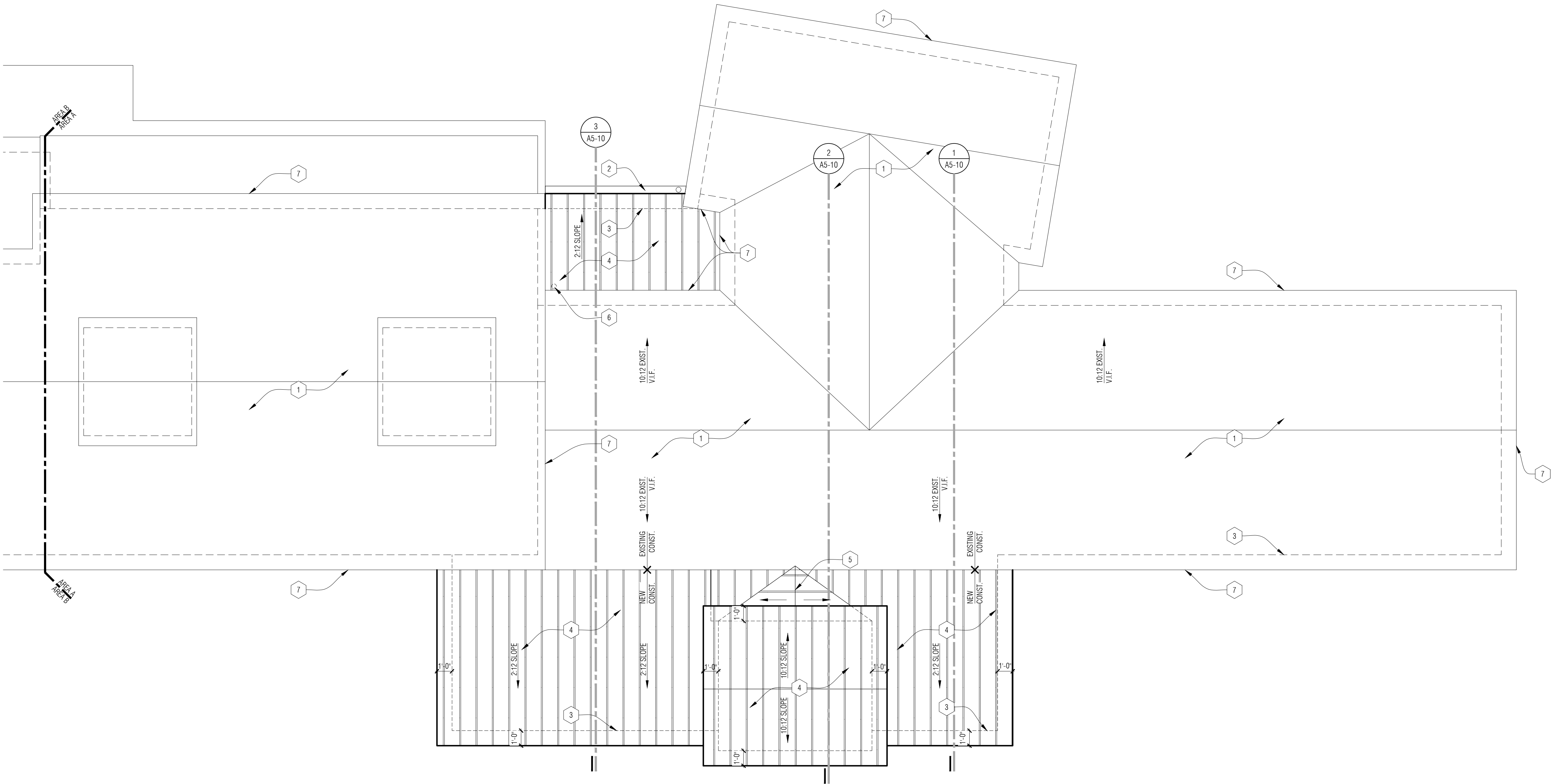
SHEET NAME

COMPOSITE ROOF
PLAN

SHEET NO.

A3-21





Roof Plan - Area A
1/4" = 1'-0"

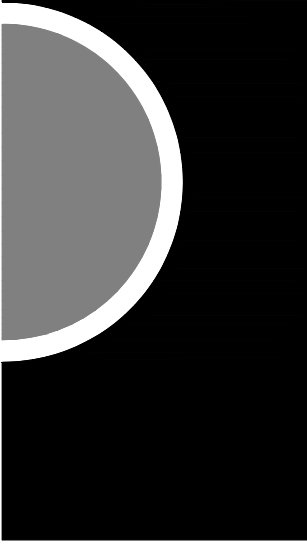
ROOF PLAN - GENERAL NOTES:

- A. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION FOR ROOF RELATED ITEMS.
- B. ALL MODIFICATIONS TO EXISTING ROOFING SYSTEMS ARE TO MAINTAIN ROOF WARRANTIES.

ROOF PLAN - KEY NOTES:

- 1 EXISTING ROOF CONSTRUCTION TO REMAIN.
- 2 PRE-FINISHED METAL GUTTER & DOWNSPOUT TO MATCH EXISTING DESIGN AND FINISH. DOWNSPOUT TO BE 4" MIN. DIA. CONNECT TO UNDER SLAB STORM DRAIN.
- 3 LINE OF BUILDING BELOW.
- 4 STANDING SEAM METAL ROOF ON ICE & WATER SHIELD UNDERLAYMENT
- 5 ROOF CRICKET BEHIND ELEVATOR. VERIFY SLOPE IN FIELD.
- 6 EXISTING DOWNSPOUT. CUT OFF LOWER PORTION AT NEW VESTIBULE ADDITION MIN 4" ABOVE NEW ROOF DECK.
- 7 RESET AS REQUIRED AND SET IN SEALANT. ALL LOOSE, EXPOSED METAL FASTENERS ALONG EXISTING DRIP EDGE OF STANDING SEAM METAL ROOF. TYPICAL FOR ALL EXISTING ROOF EDGES ON AREAS A & B OF BUILDING. ASSUME 250 LINEAL FEET OF ROOF EDGE IS AFFECTED.

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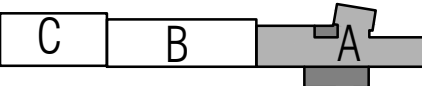
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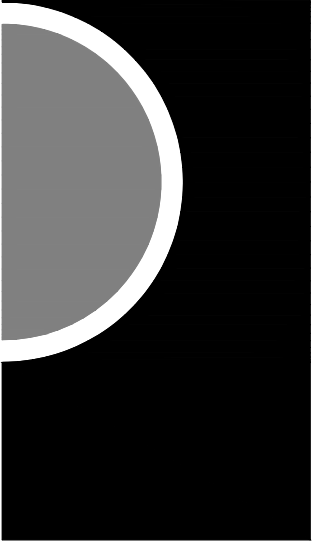
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SHEET NAME

ROOF PLAN -
AREA A

SHEET NO.

A3-22



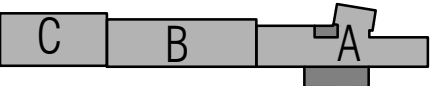
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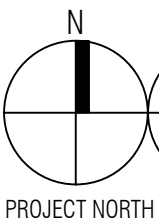
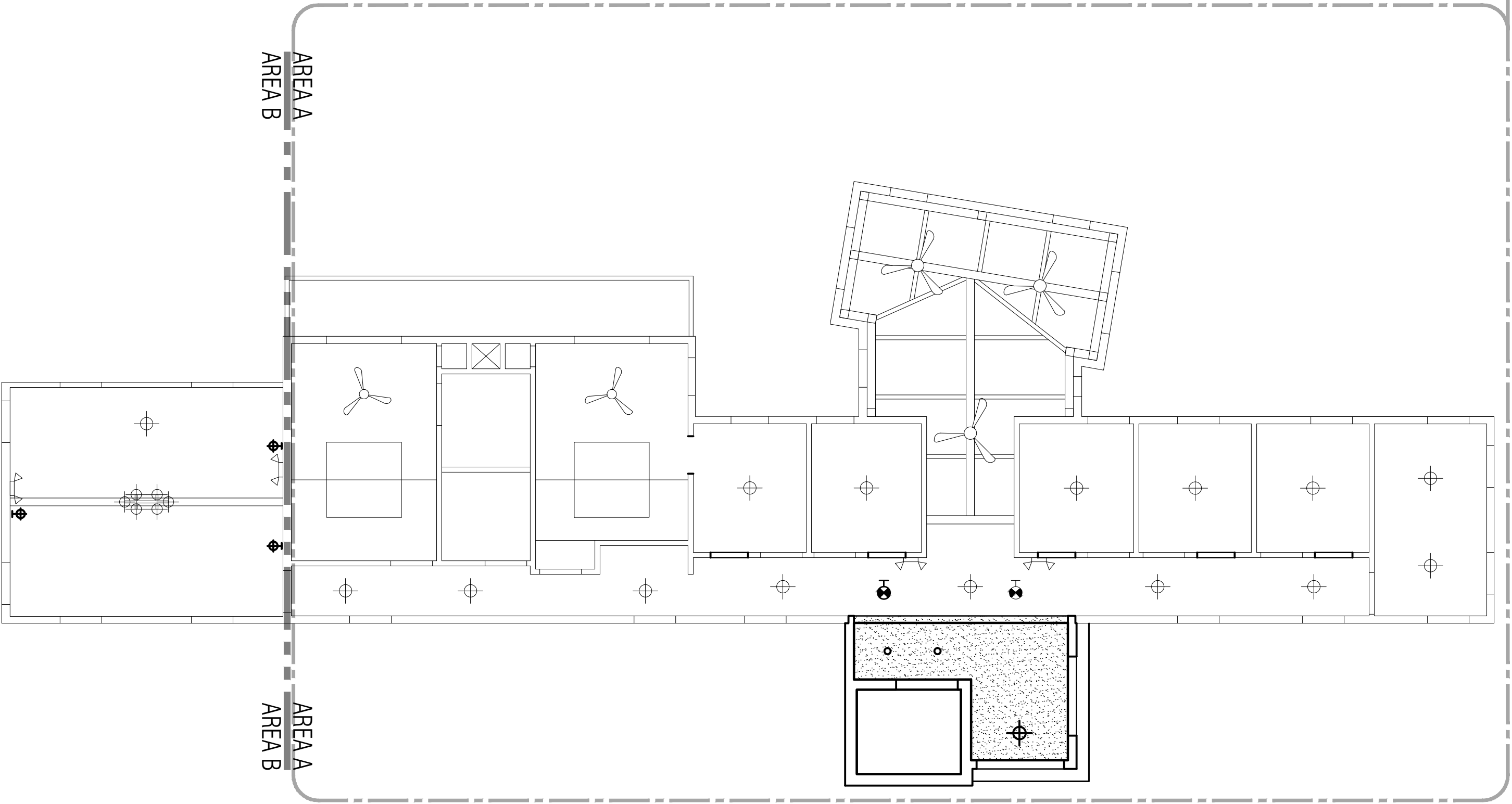
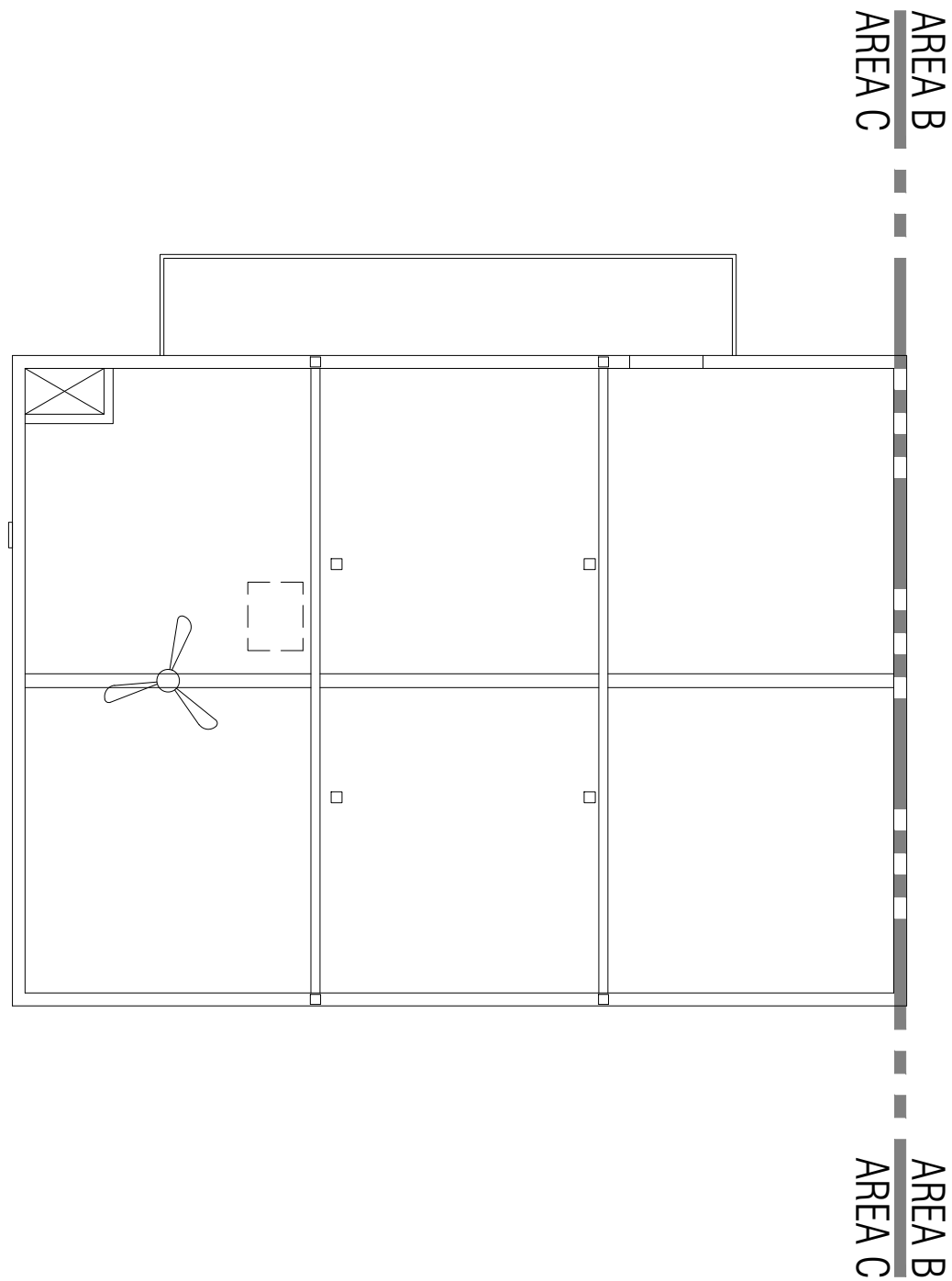
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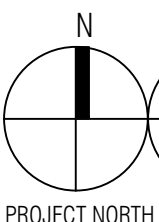
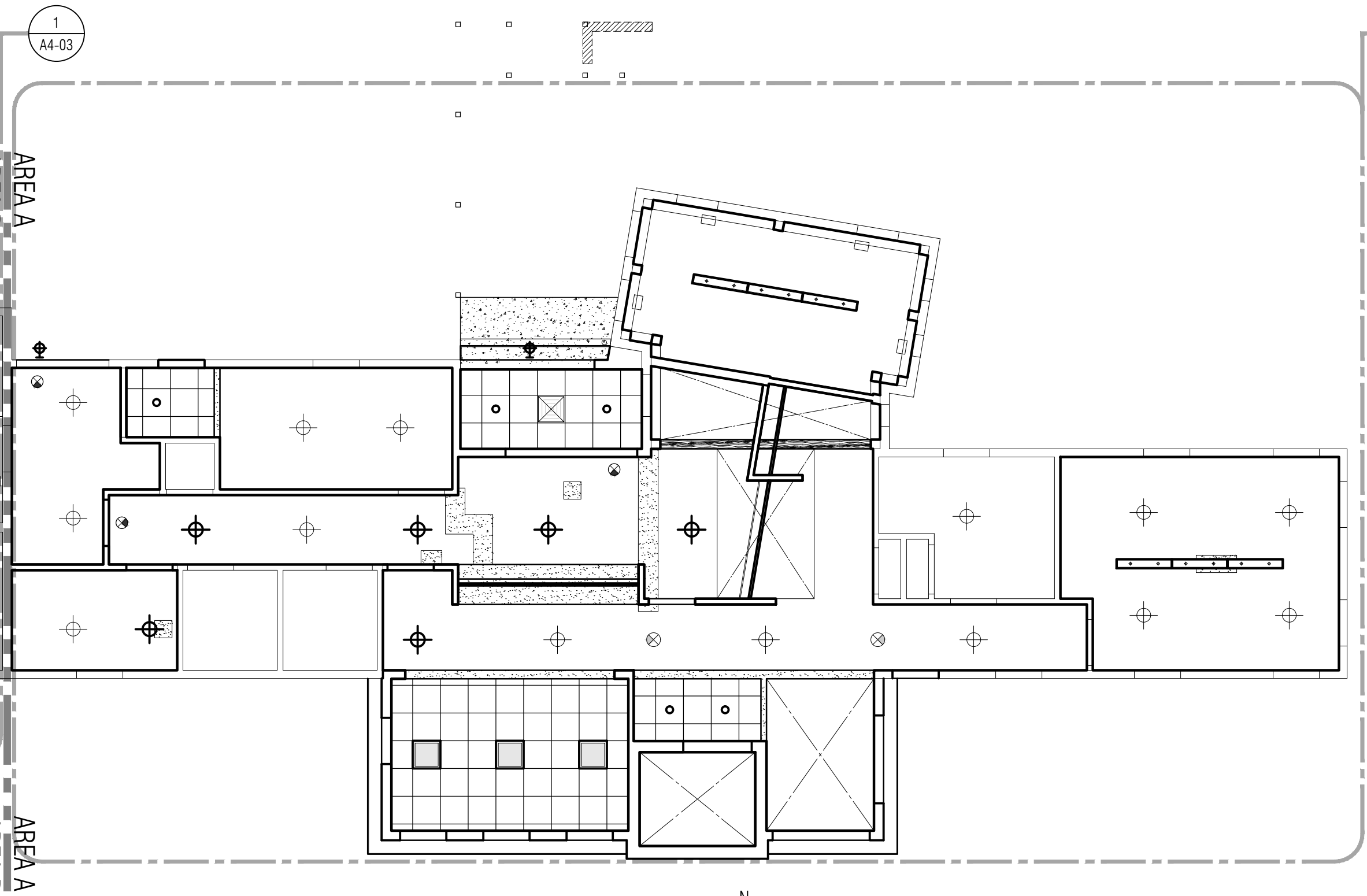
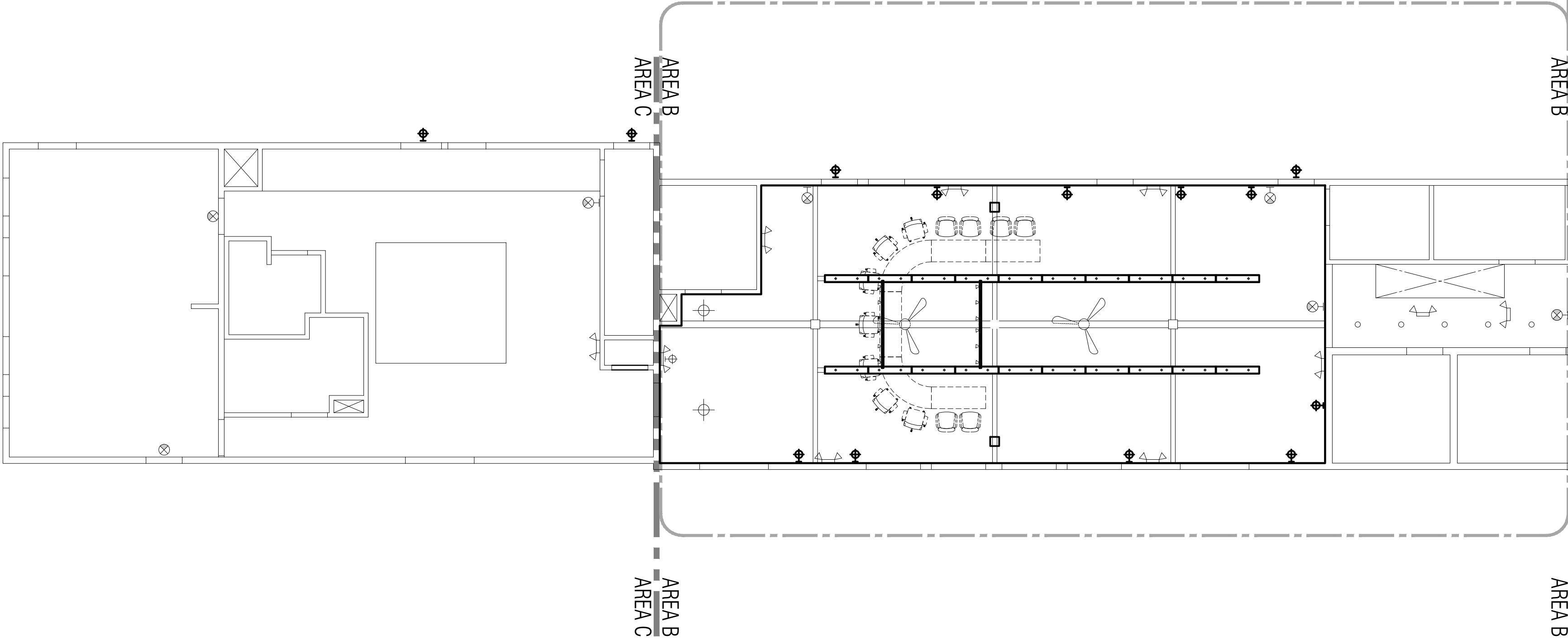
COMPOSITE
REFLECTED
CEILING PLANS

SHEET NO.

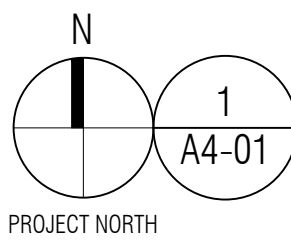
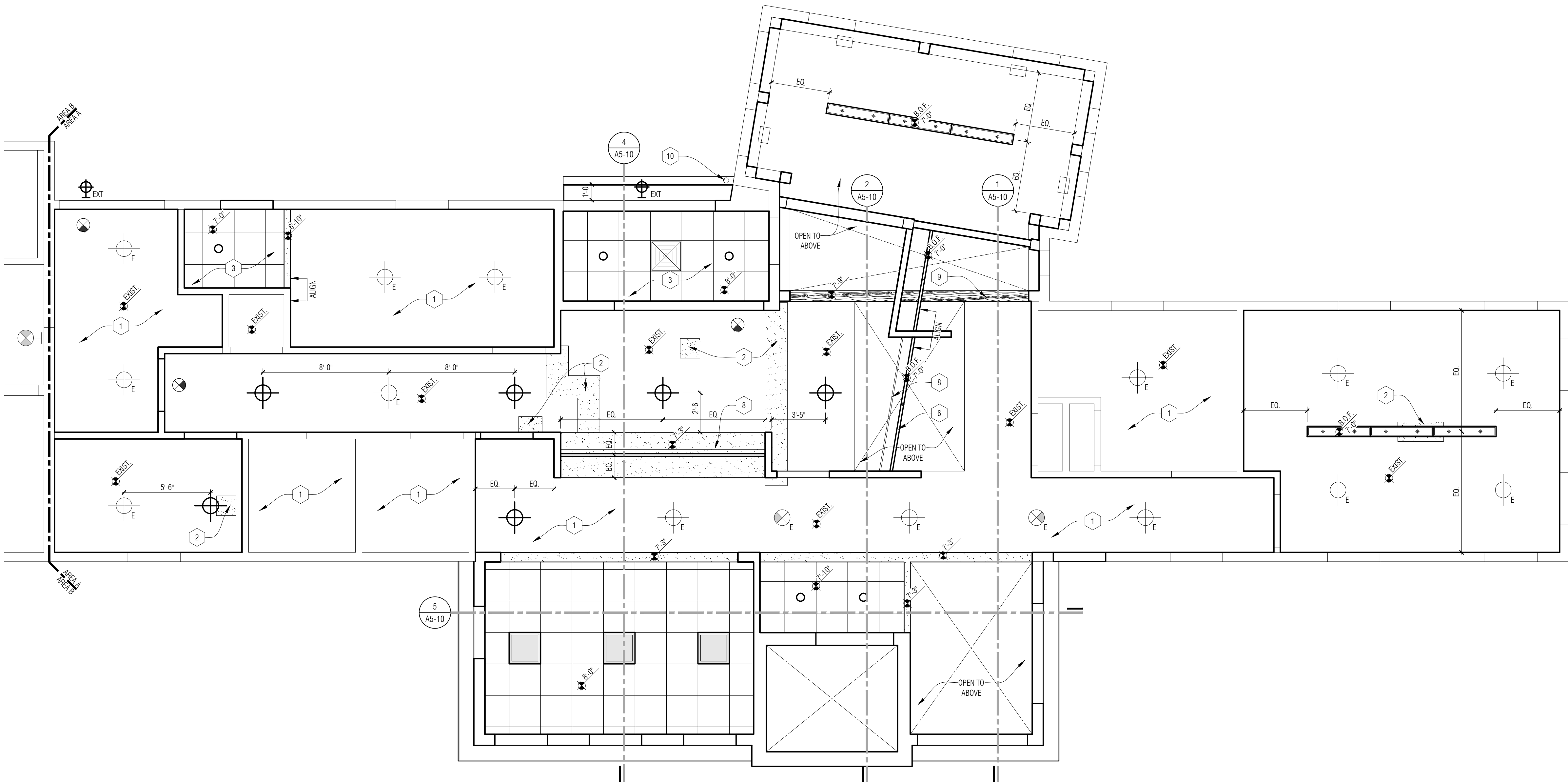
A4-01



Composite 2nd Level Reflected Ceiling Plan
1/8" = 1'-0"



Composite 1st Level Reflected Ceiling Plan
1/8" = 1'-0"



1st Floor Reflected Ceiling Plan - Area A
1/4" = 1'-0"

CEILING PLAN GENERAL NOTES:

- REFER TO FLOOR PLANS FOR ROOM NAMES, NUMBERS AND ROOM DIMENSIONS
- REFER TO ELECTRICAL FOR LIGHT FIXTURE AND ELECTRICAL INFORMATION.
- REFER TO MECHANICAL FOR DIFFUSERS, REGISTERS, AND RETURNS
- ALL LOWER LEVEL CEILING HEIGHTS ARE SHOWN AS HEIGHT ABOVE 100'-0" FLOOR ELEVATION.
- ALL FIXTURES & GRIDS ARE TO BE CENTERED WITHIN ROOM U.O.N.

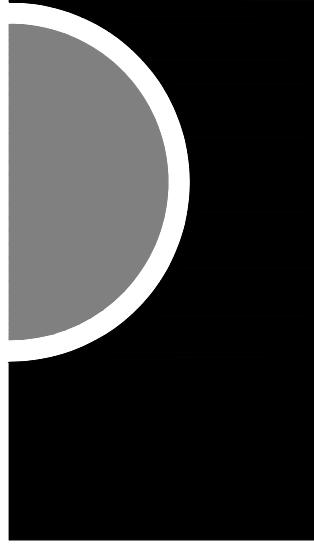
CEILING PLAN KEY NOTES:

- EXISTING CEILING AND LIGHTING TO REMAIN - PROTECT DURING CONSTRUCTION
- PATCH & REPAIR EXISTING CEILING AS REQUIRED AT LOCATIONS OF REMOVED PARTITIONS. TO BE FLUSH WITH EXISTING CEILING. TYP.
- 2x2 LAY-IN CEILING SYSTEM. REFER TO ROOM FINISH SCHEDULE FOR MORE INFORMATION.
- LINE OF CUPOLA ABOVE - REFER TO PLAN
- LINE OF EXISTING STAIR OPENING.
- SUSPENDED LIGHT FIXTURE TO BE CENTERED OVER MILLWORK BELOW.
- CENTER FIXTURE ON EXISTING BEAM ABOVE.
- CLEAR PLEXIGLASS IN ALUMINUM CHANNEL.
- NEW WOOD BEAM. SEE STRUCT.
- NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING PROFILE & COLOR.
- EXISTING FIXTURE RELOCATED FROM ROOM 132 IN AREA C. FIELD VERIFY MOUNTING & SUSPENSION REQUIREMENTS. BOTTOM OF FIXTURE @ 6'-8" ABOVE LANDING MIN.

Ceiling Symbols Legend

ALL FIXTURES WITH AN ADJACENT 'E' ON THE PLAN INDICATE THE FIXTURES ARE EXISTING TO REMAIN.	
	5/8" GYP BD ON 3/8" METAL STUD CONSTRUCTION AT 18" O.C. SECURE TO STRUCTURE ABOVE AT 48" O.C. MAX EACH WAY
	NEW 2 X 2 RECESSED LED FIXTURE
	NEW SUSPENDED UP/DOWN LINEAR LED
	SUSPENDED TRACK LIGHT W/ ADJUSTABLE HEADS MOUNTED ON METAL STRUT CHANNEL
	RECESSED LINEAR LED FIXTURE
	SUSPENDED LINEAR LED FIXTURE
	RECESSED ROUND LIGHT FIXTURE
	WALL SCONCE (EXT INDICATES EXTERIOR FIXTURE)
	EXIT LIGHT - CEILING MOUNTED
	EXIT LIGHT - WALL MOUNTED
	EXISTING CEILING FAN
	SURFACE MOUNTED LIGHT FIXTURE (P INDICATES PENDANT FIXTURE)

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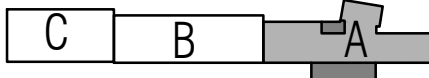
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KEY PLAN



OWNER

City of Dexter

PROJECT NAME

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3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

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SHEET NAME

1ST FLOOR

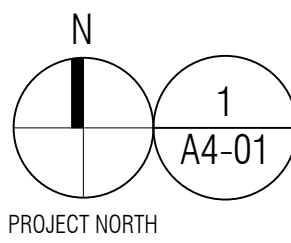
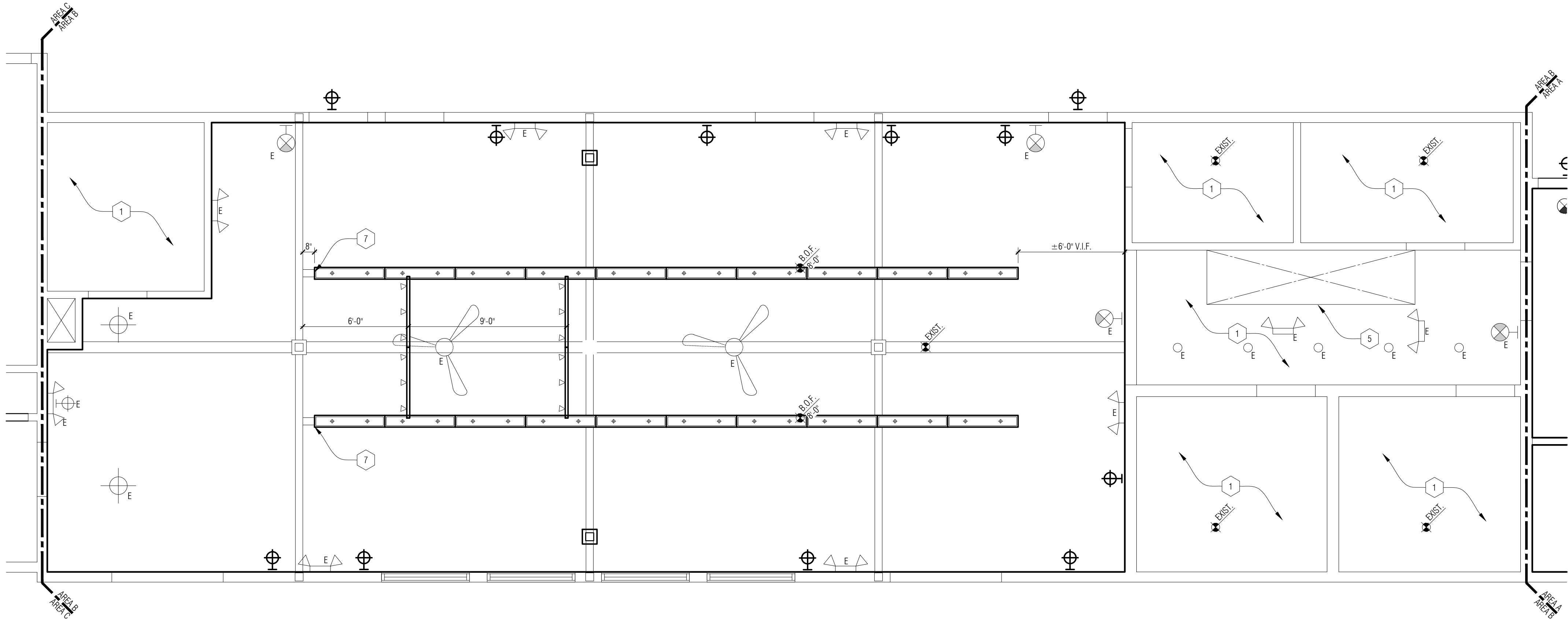
REFLECTED

CEILING PLAN -

AREA A

SHEET NO.

A4-02



1
A4-01
1st Floor Reflected Ceiling Plan - Area B
1/4" = 1'-0"

CEILING PLAN GENERAL NOTES:

- A. REFER TO FLOOR PLANS FOR ROOM NAMES, NUMBERS AND ROOM DIMENSIONS
- B. REFER TO ELECTRICAL FOR LIGHT FIXTURE AND ELECTRICAL INFORMATION.
- C. REFER TO MECHANICAL FOR DIFFUSERS, REGISTERS, AND RETURNS
- D. ALL LOWER LEVEL CEILING HEIGHTS ARE SHOWN AS HEIGHT ABOVE 100'-0" FLOOR ELEVATION.
- E. ALL FIXTURES & GRIDS ARE TO BE CENTERED WITHIN ROOM U.O.N.

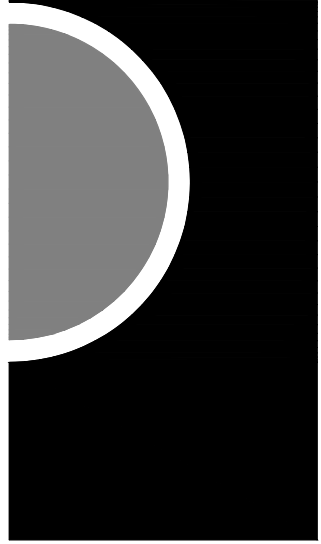
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- 5 LINE OF EXISTING STAIR OPENING.
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- 7 CENTER FIXTURE ON EXISTING BEAM ABOVE.
- 8 CLEAR PLEXIGLASS IN ALUMINUM CHANNEL.
- 9 NEW WOOD BEAM. SEE STRUCT.
- 10 NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING PROFILE & COLOR.
- 11 EXISTING FIXTURE RELOCATED FROM ROOM 132 IN AREA C. FIELD VERIFY MOUNTING & SUSPENSION REQUIREMENTS. BOTTOM OF FIXTURE @ 6'-8" ABOVE LANDING MIN.

Ceiling Symbols Legend

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	SUSPENDED LINEAR LED FIXTURE
	RECESSED ROUND LIGHT FIXTURE
	WALL SCONCE (EXT INDICATES EXTERIOR FIXTURE)
	EXIT LIGHT - CEILING MOUNTED
	EXIT LIGHT - WALL MOUNTED
	EXISTING CEILING FAN
	SURFACE MOUNTED LIGHT FIXTURE (P INDICATES PENDANT FIXTURE)

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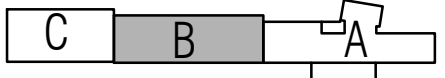
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SHEET NAME

1ST FLOOR

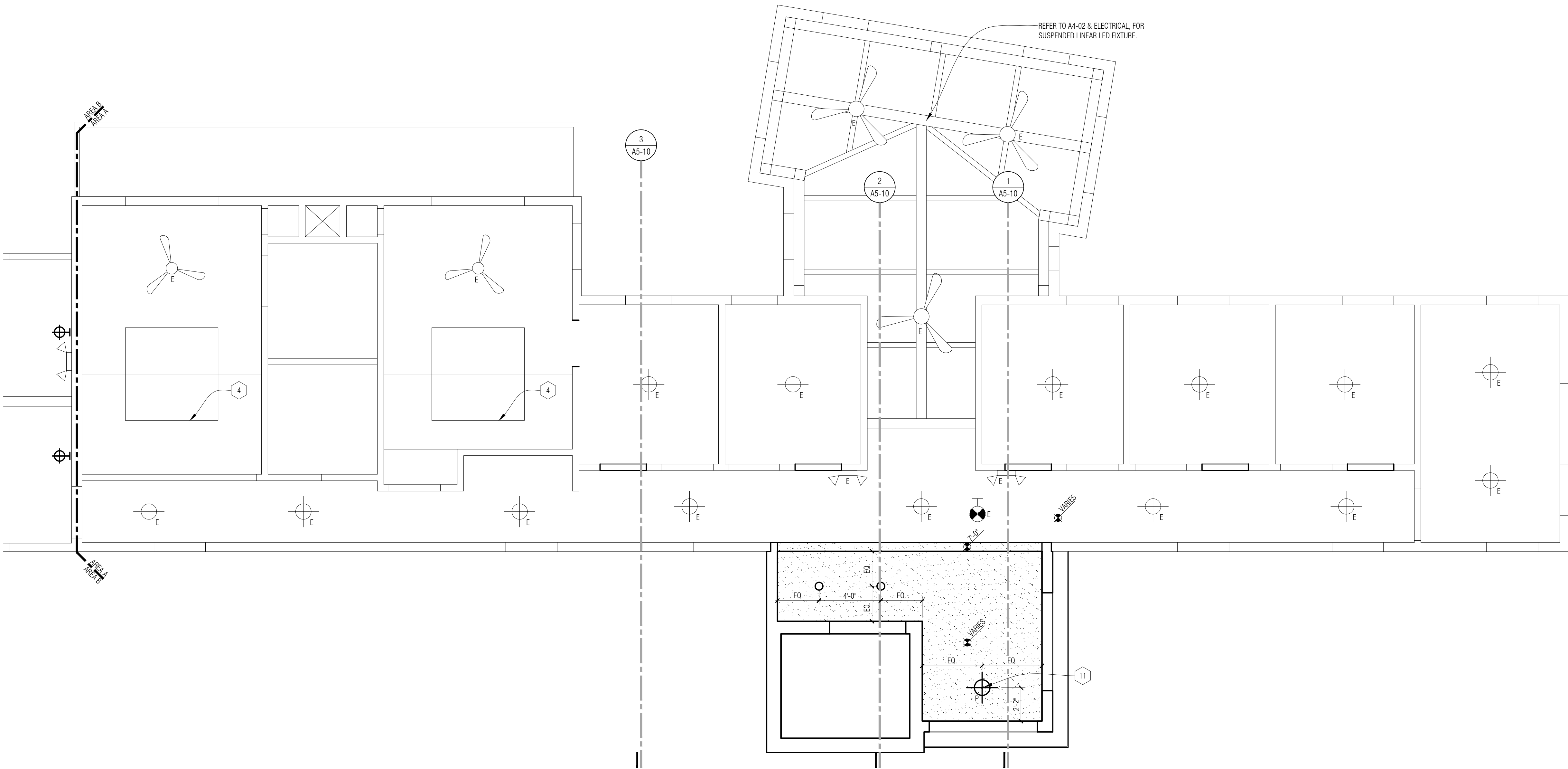
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CEILING PLAN -

AREA B

SHEET NO.

A4-03



CEILING PLAN GENERAL NOTES:

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- B. REFER TO ELECTRICAL FOR LIGHT FIXTURE AND ELECTRICAL INFORMATION.
- C. REFER TO MECHANICAL FOR DIFFUSERS, REGISTERS, AND RETURNS
- D. ALL LOWER LEVEL CEILING HEIGHTS ARE SHOWN AS HEIGHT ABOVE 100'-0" FLOOR ELEVATION.
- E. ALL FIXTURES & GRIDS ARE TO BE CENTERED WITHIN ROOM U.O.N.

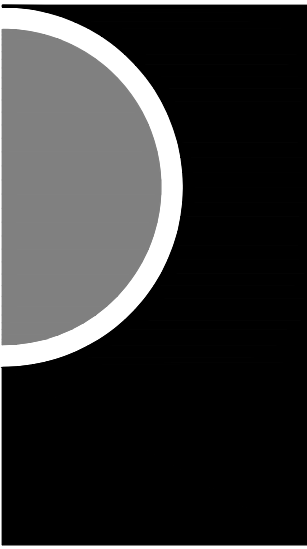
CEILING PLAN KEY NOTES:

- 1 EXISTING CEILING AND LIGHTING TO REMAIN - PROTECT DURING CONSTRUCTION
- 2 PATCH & REPAIR EXISTING CEILING AS REQUIRED AT LOCATIONS OF REMOVED PARTITIONS. TO BE FLUSH WITH EXISTING CEILING. TYP.
- 3 2x2 LAY-IN CEILING SYSTEM. REFER TO ROOM FINISH SCHEDULE FOR MORE INFORMATION.
- 4 LINE OF CUPOLA ABOVE - REFER TO PLAN
- 5 LINE OF EXISTING STAIR OPENING.
- 6 SUSPENDED LIGHT FIXTURE TO BE CENTERED OVER MILLWORK BELOW.
- 7 CENTER FIXTURE ON EXISTING BEAM ABOVE.
- 8 CLEAR PLEXIGLASS IN ALUMINUM CHANNEL.
- 9 NEW WOOD BEAM. SEE STRUCT.
- 10 NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING PROFILE & COLOR.
- 11 EXISTING FIXTURE RELOCATED FROM ROOM 132 IN AREA C. FIELD VERIFY MOUNTING & SUSPENSION REQUIREMENTS. BOTTOM OF FIXTURE @ 6'-8" ABOVE LANDING MIN.

Ceiling Symbols Legend

ALL FIXTURES WITH AN ADJACENT 'E' ON THE PLAN INDICATE THE FIXTURES ARE EXISTING TO REMAIN.	
	5/8" GYP BD ON 3 5/8" METAL STUD CONSTRUCTION AT 18" O.C. SECURE TO STRUCTURE ABOVE AT 48" O.C. MAX EACH WAY
	NEW 2 X 2 RECESSED LED FIXTURE
	NEW SUSPENDED UP/DOWN LINEAR LED
	SUSPENDED TRACK LIGHT W/ ADJUSTABLE HEADS MOUNTED ON METAL STRUT CHANNEL
	RECESSED LINEAR LED FIXTURE
	SUSPENDED LINEAR LED FIXTURE
	RECESSED ROUND LIGHT FIXTURE
	WALL SCONCE (EXT INDICATES EXTERIOR FIXTURE)
	EXIT LIGHT - CEILING MOUNTED
	EXIT LIGHT - WALL MOUNTED
	EXISTING CEILING FAN
	SURFACE MOUNTED LIGHT FIXTURE (P INDICATES PENDANT FIXTURE)

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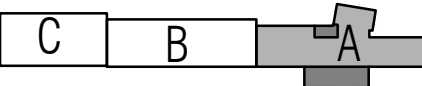
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SHEET NAME

2ND FLOOR

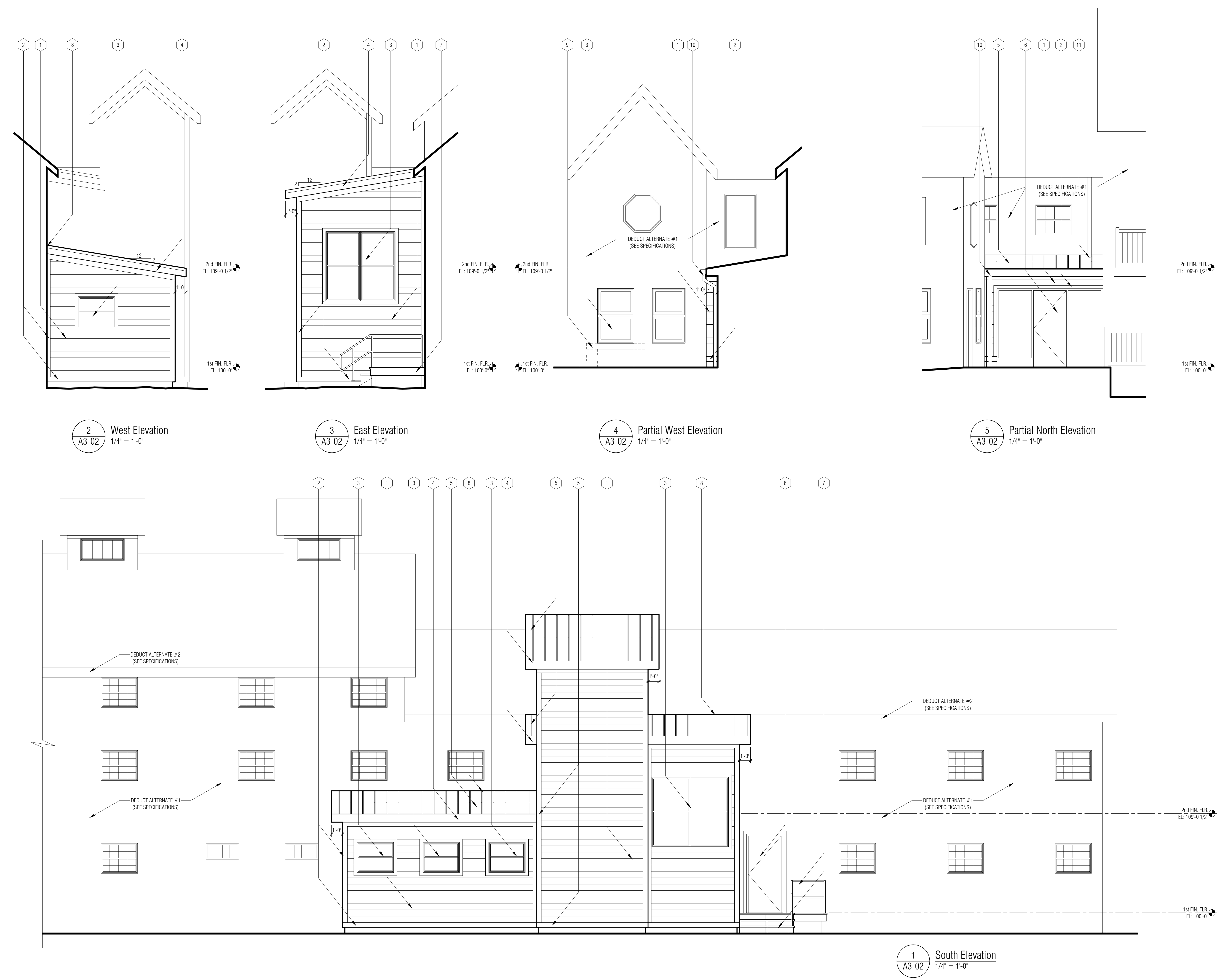
REFLECTED

CEILING PLAN -

AREA A

SHEET NO.

A4-04



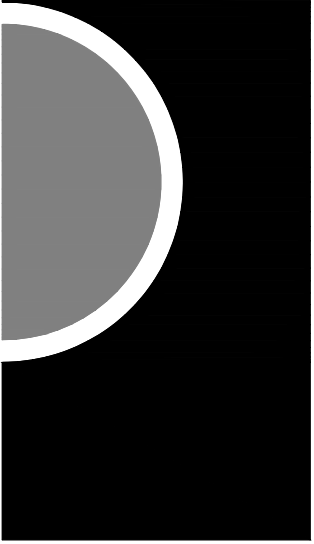
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- 7 WOOD DECK CONSTRUCTION AT NEW DOOR WITH 36" HIGH HANDRAIL AND AREA OF REFUGE.
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- 14 ADD ALTERNATE #2: REMOVE ALL LOOSE PAINT, CAULK, AND GLAZING COMPOUND FROM ALL WINDOWS & TRIM. PROVIDE NEW GLAZING COMPOUND AT GLASS PANELS AS REQUIRED. PRIME AND FINISH PAINT WOOD TRIM AND MULLIONS WHITE TO MATCH EXIST.
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- 18 ADD ALTERNATE #2: REMOVE & REPLACE EXISTING H.M. DOOR. REUSE EXISTING HARDWARE WITH NEW METAL SECURITY DOOR ASSEMBLY.
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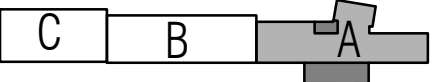
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PROJECT NO.

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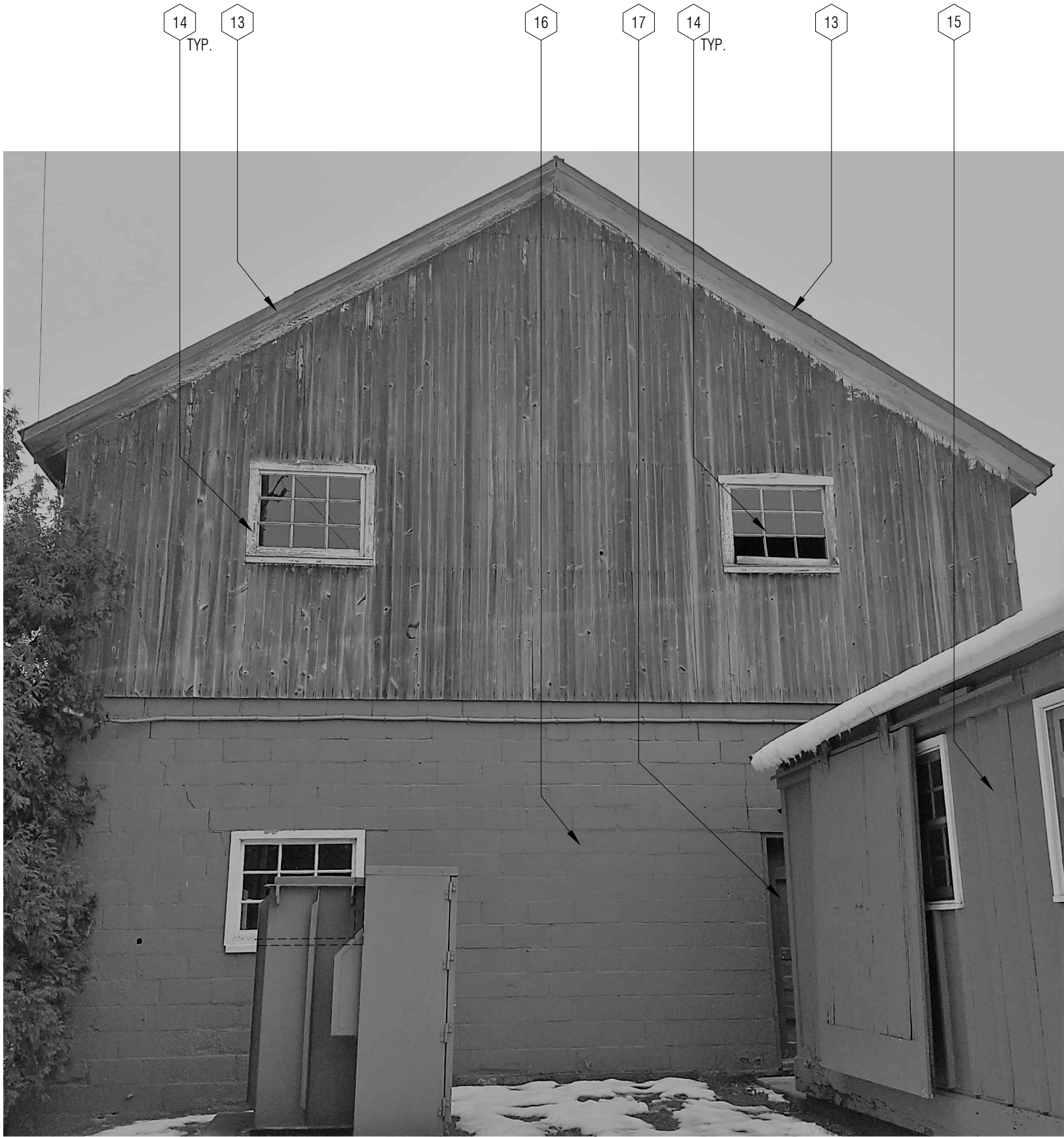
DWG

SHEET NAME

EXTERIOR
ELEVATIONS

SHEET NO.

A5-01



4 West Barn Elevation
A2-01 N.T.S



3 North Barn Elevation
A2-01 N.T.S



2 South Barn Elevation
A2-01 N.T.S



1 East Barn Elevation
A5-03 N.T.S

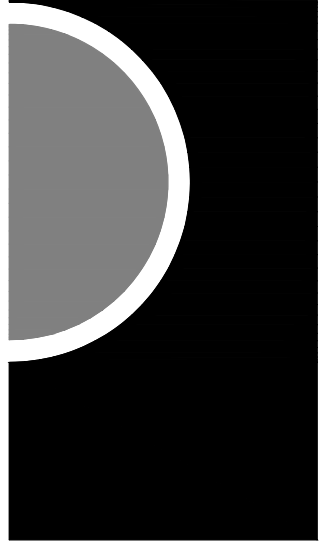
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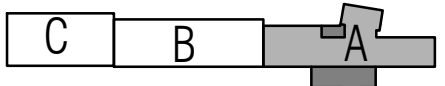
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OWNER

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3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

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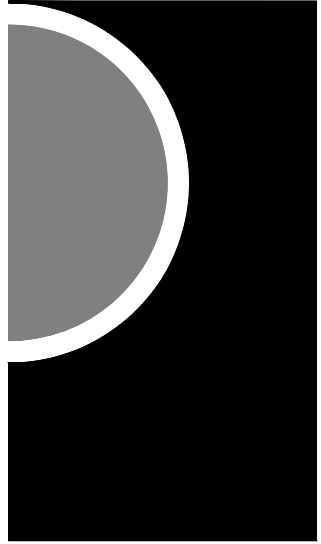
DWG

SHEET NAME

BARN EXTERIOR
ELEVATIONS

SHEET NO.

A5-02



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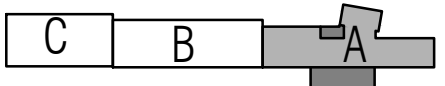
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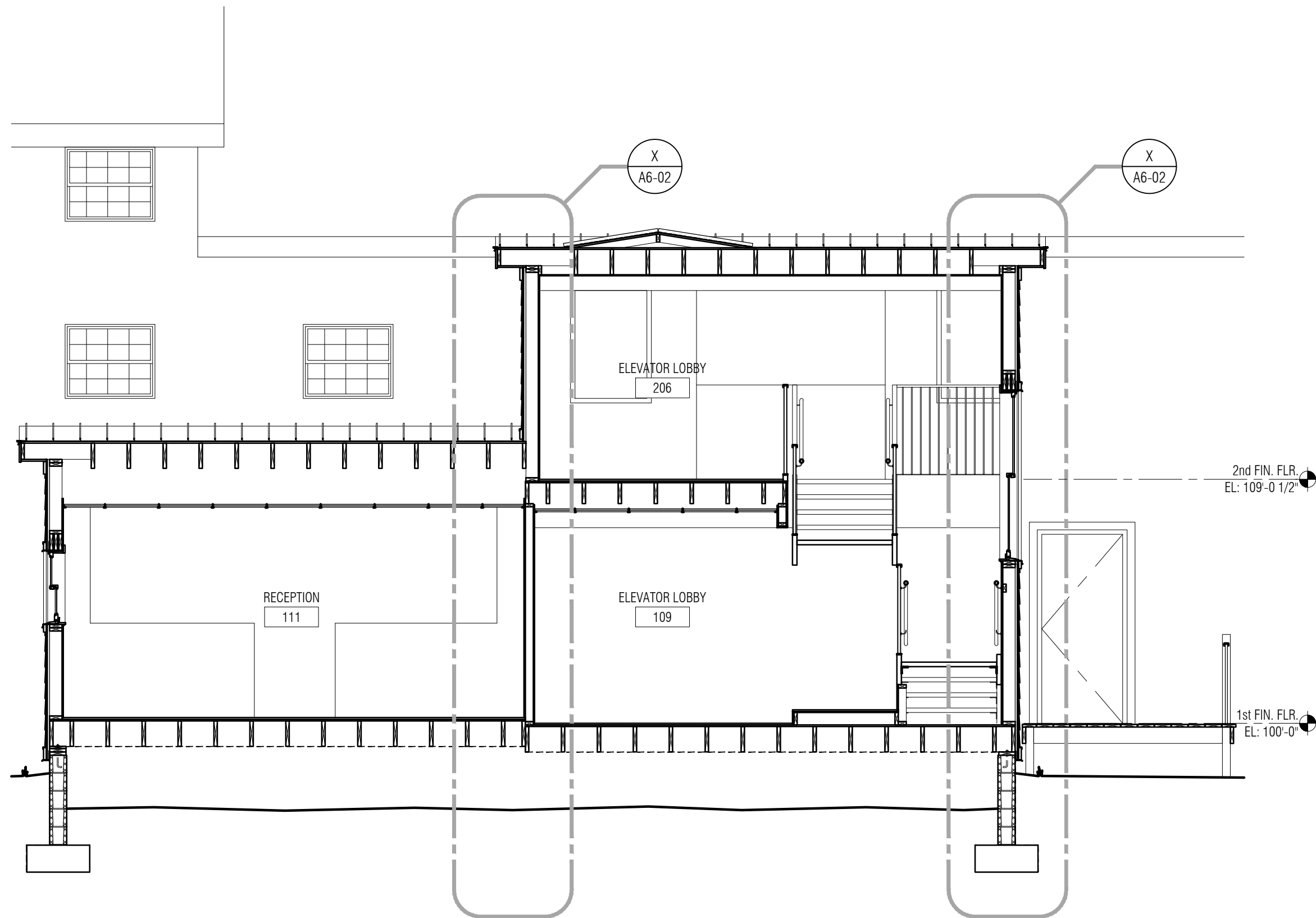
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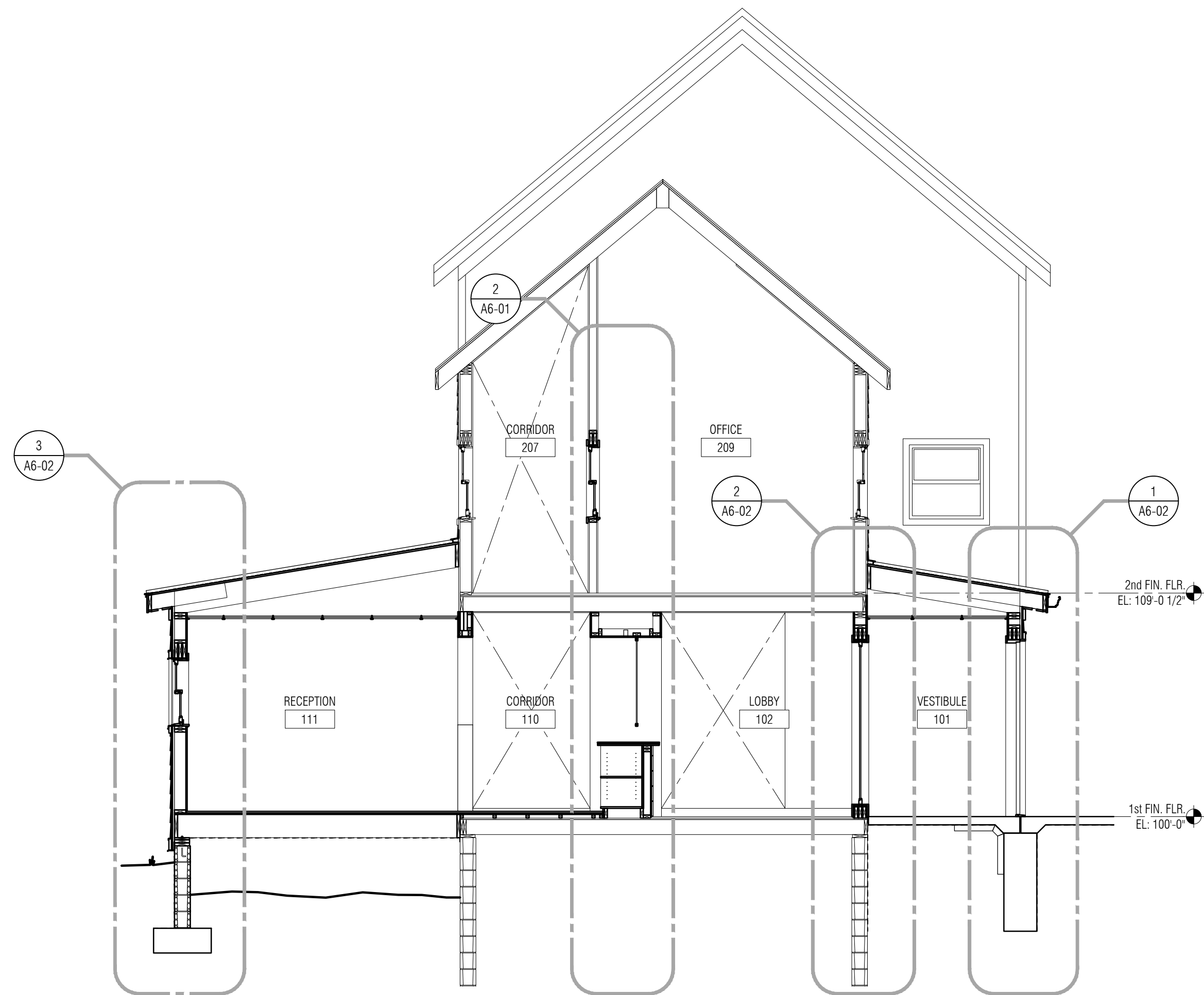
BUILDING
SECTIONS

SHEET NO.

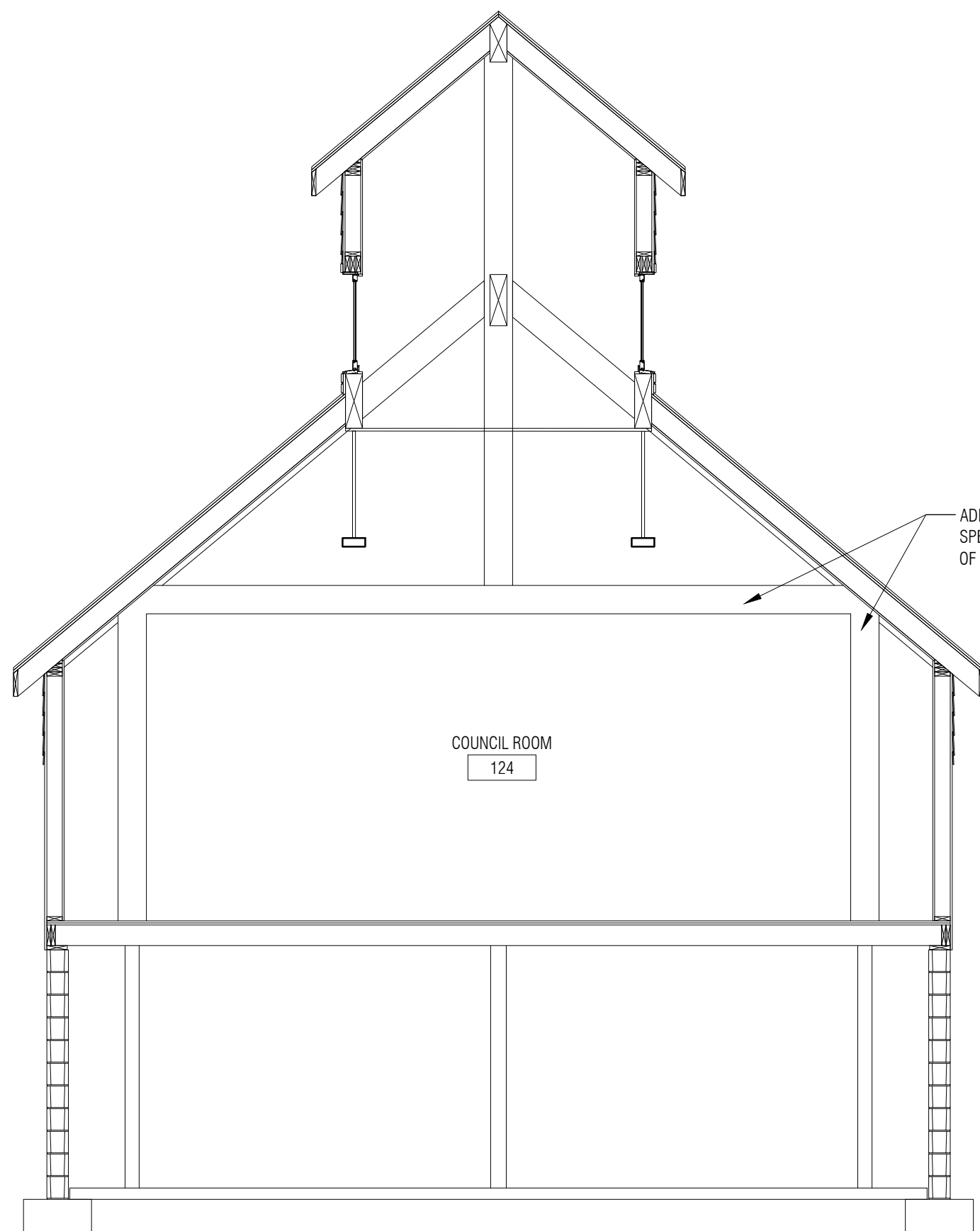
A5-10



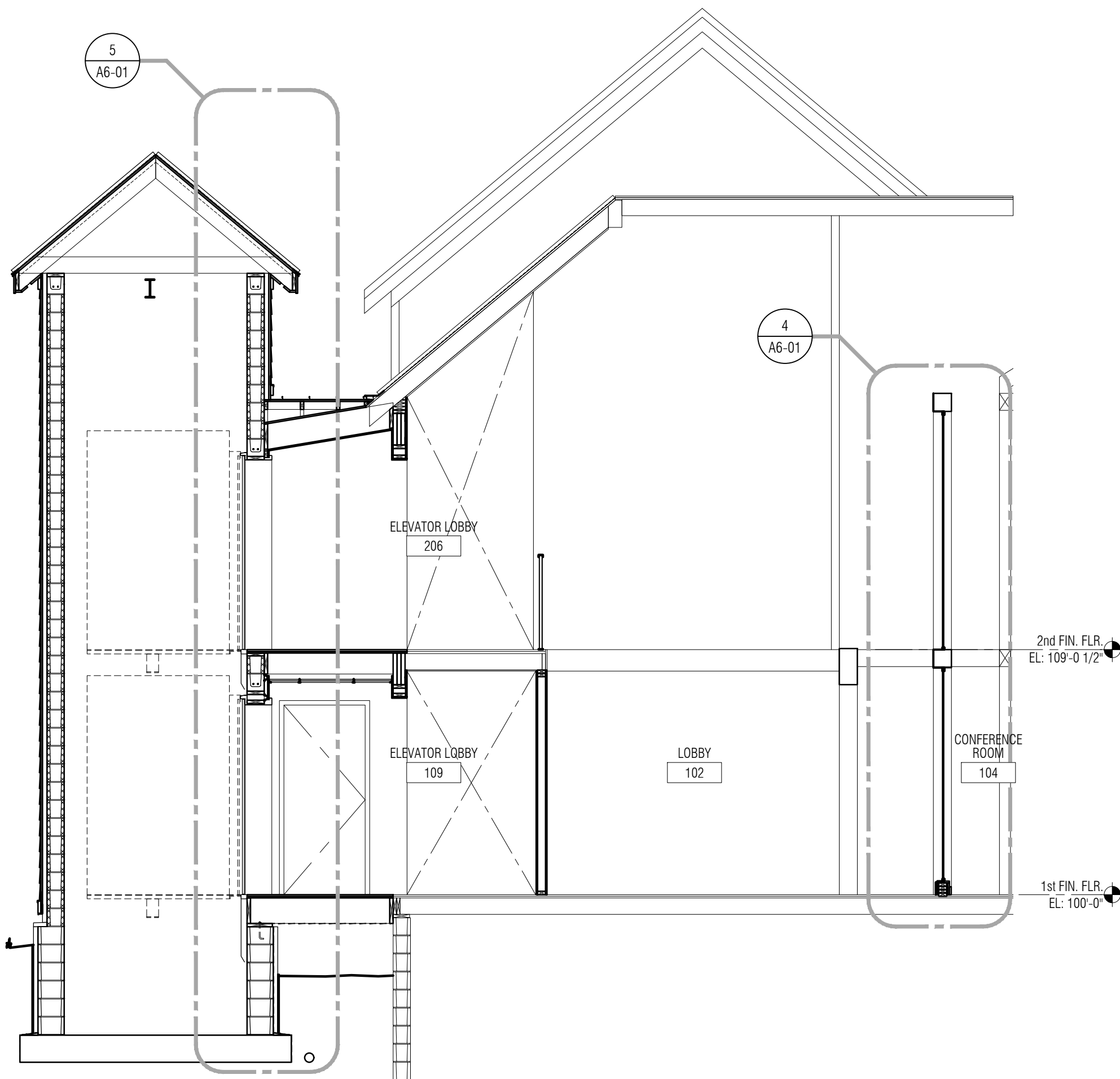
5 Building Section
A3-02 1/4" = 1'-0"



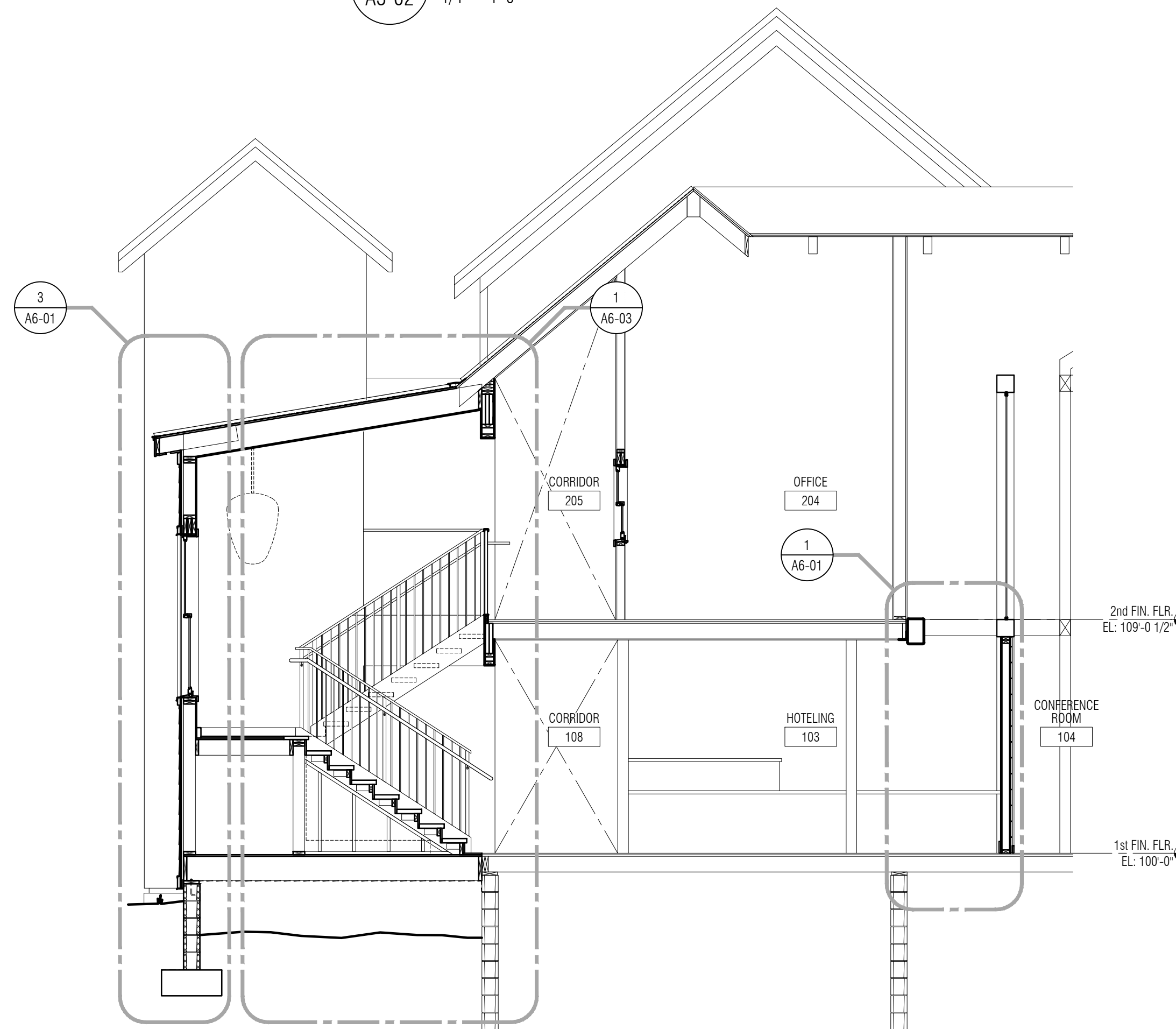
4 Building Section
A3-02 1/4" = 1'-0"



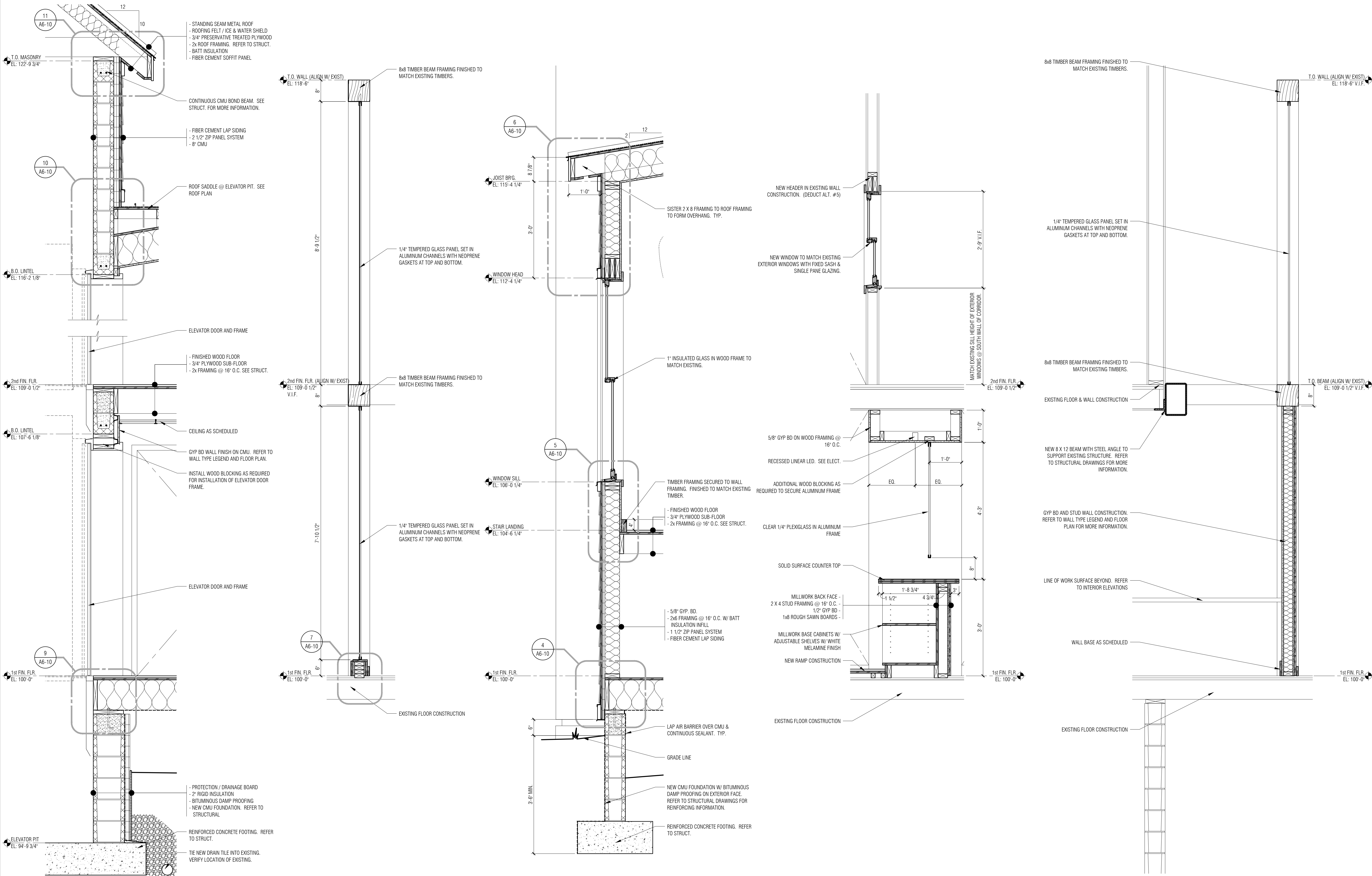
3 Building Section
A3-03 1/4" = 1'-0"



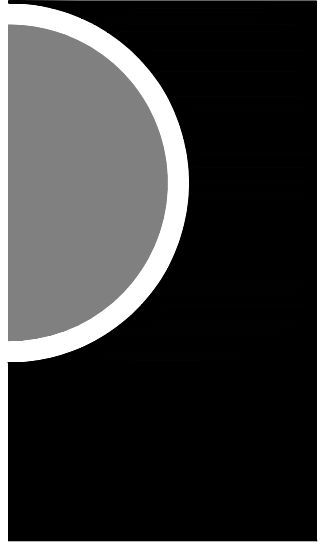
2 Building Section
A3-02 1/4" = 1'-0"



1 Building Section
A3-02 1/4" = 1'-0"



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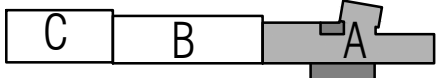
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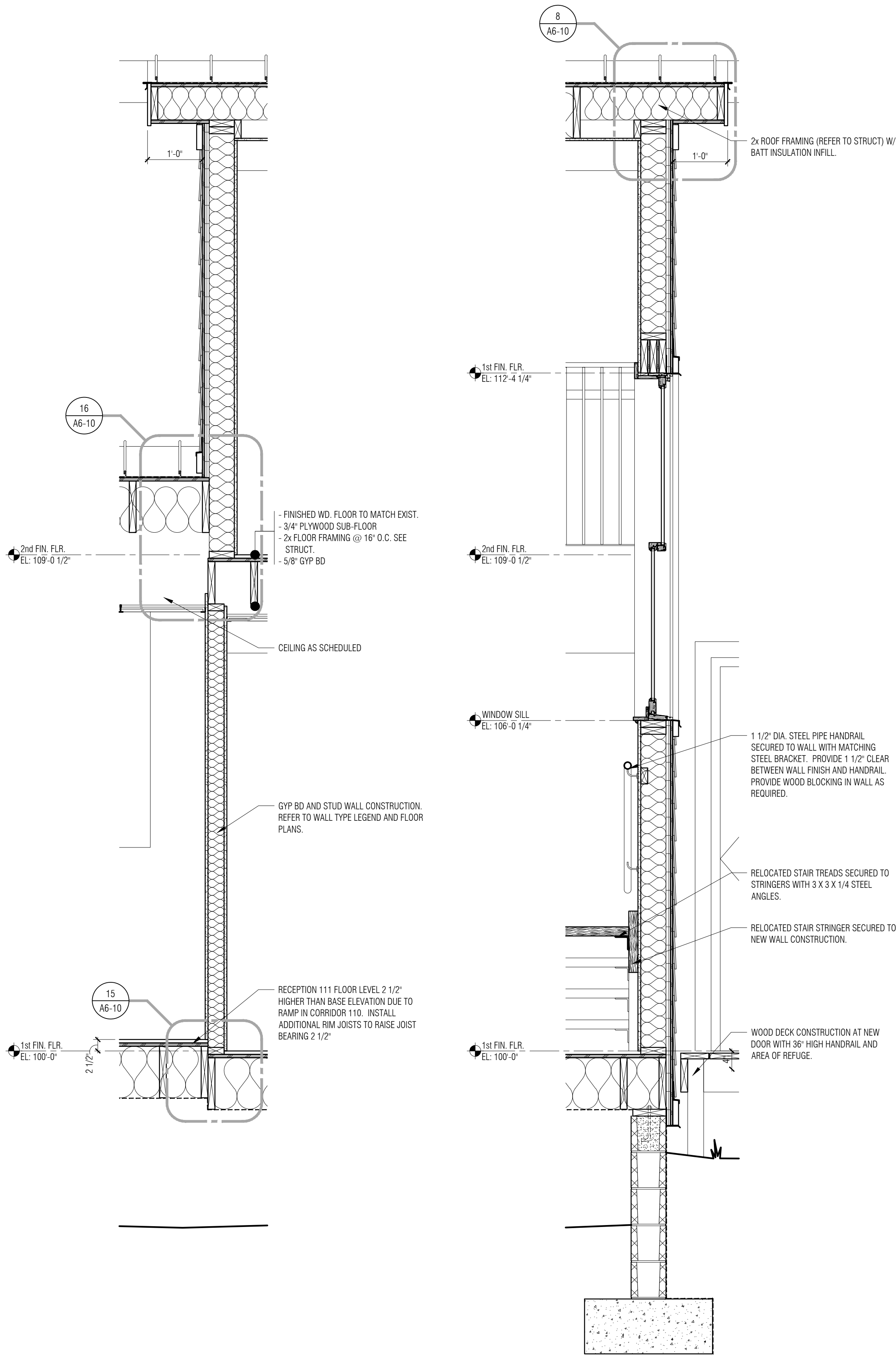
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SHEET NAME

WALL SECTIONS

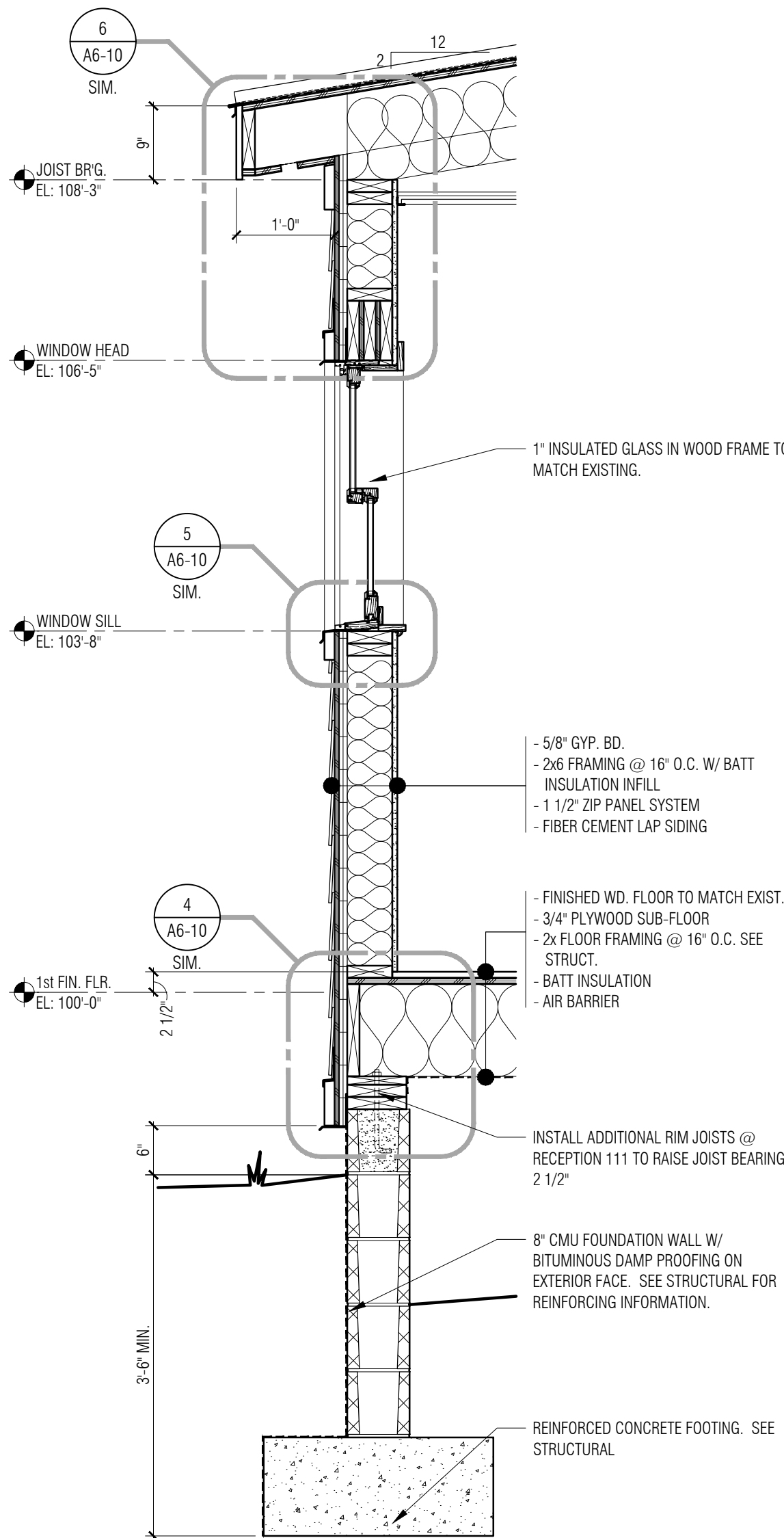
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A6-01

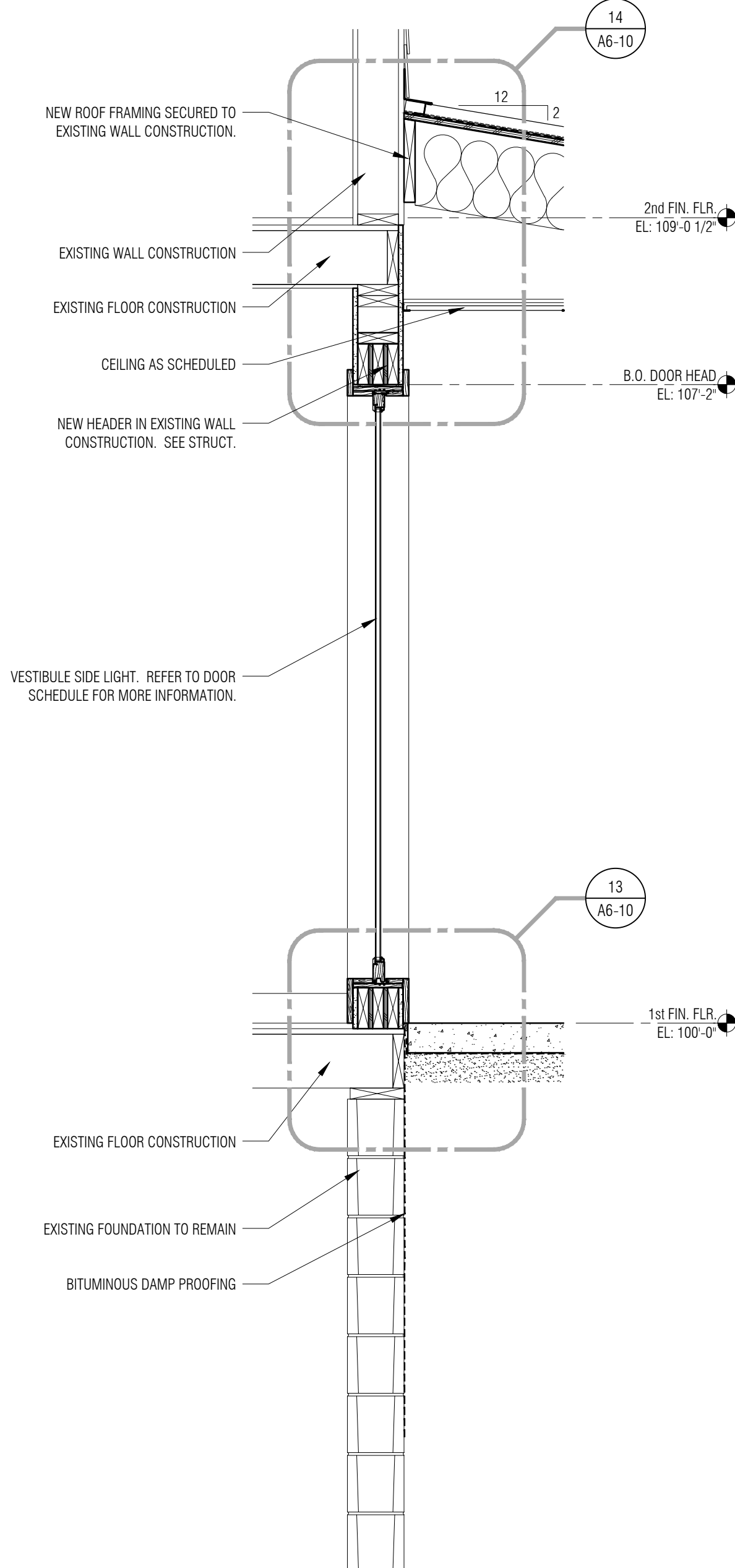


5 Wall Section
3/4" = 1'-0"
REFER TO PREVIOUS DETAILS ON THIS SHEET
FOR SIMILAR NOTES AND DIMENSIONS

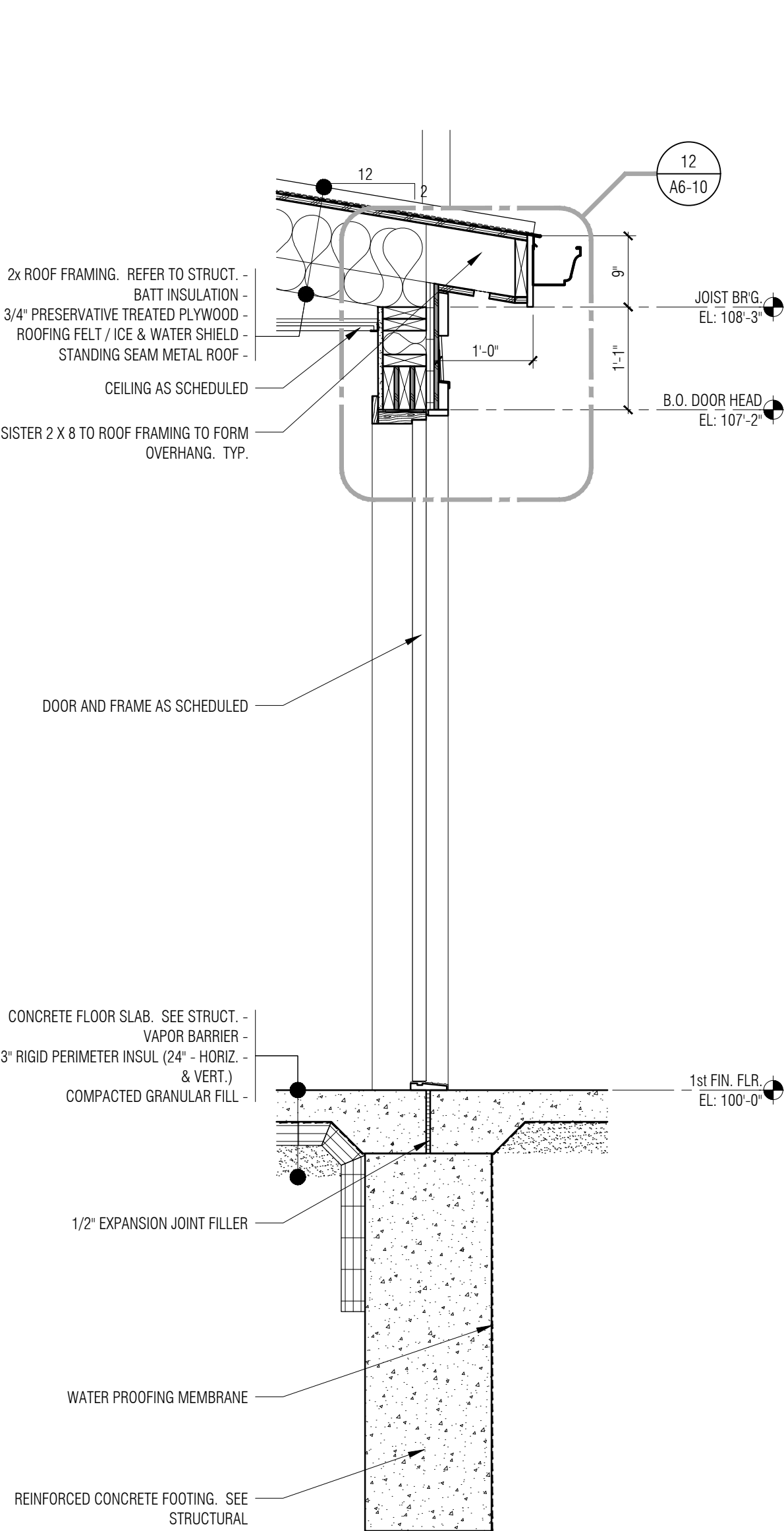
4 Wall Section
3/4" = 1'-0"
REFER TO PREVIOUS DETAILS ON THIS SHEET
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3 Wall Section
3/4" = 1'-0"
REFER TO PREVIOUS DETAILS ON THIS SHEET
FOR SIMILAR NOTES AND DIMENSIONS

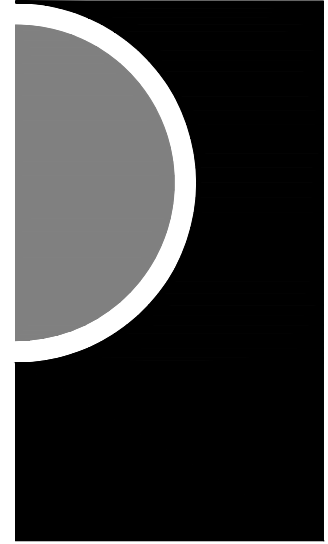


2 Wall Section
3/4" = 1'-0"
REFER TO PREVIOUS DETAILS ON THIS SHEET
FOR SIMILAR NOTES AND DIMENSIONS



1 Wall Section
3/4" = 1'-0"
REFER TO PREVIOUS DETAILS ON THIS SHEET
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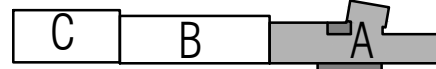
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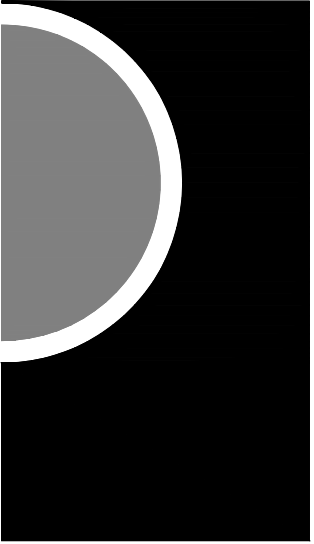
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SHEET NAME

WALL SECTIONS

SHEET NO.

A6-02



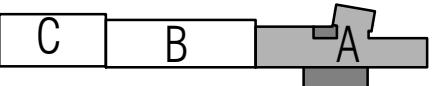
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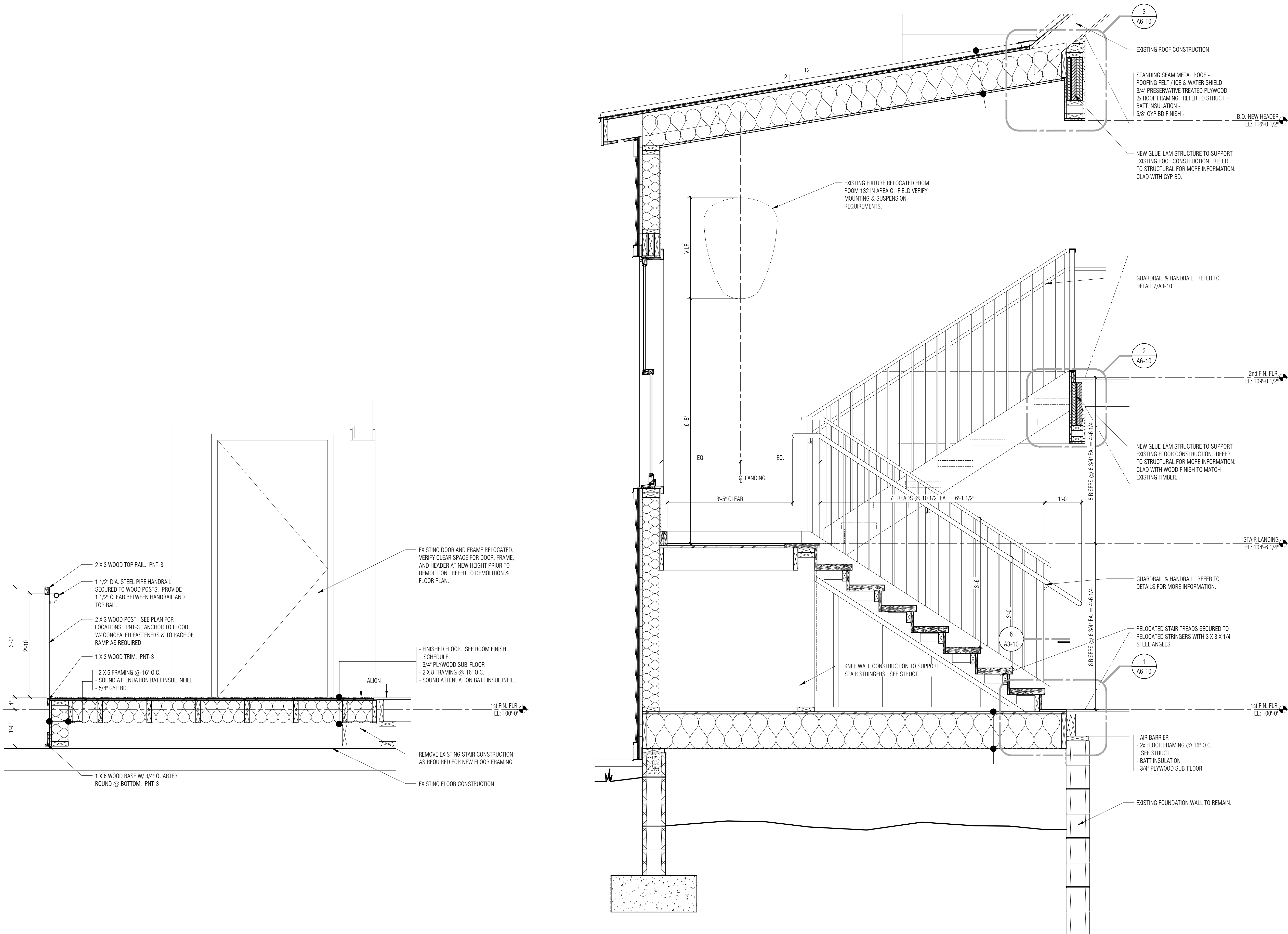
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SHEET NAME

WALL SECTIONS

SHEET NO.

A6-03



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A horizontal beam is shown with a downward force D at its center and an upward reaction force R at its right end.

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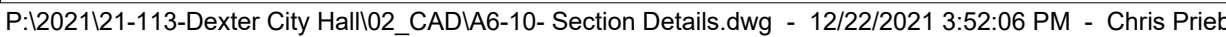
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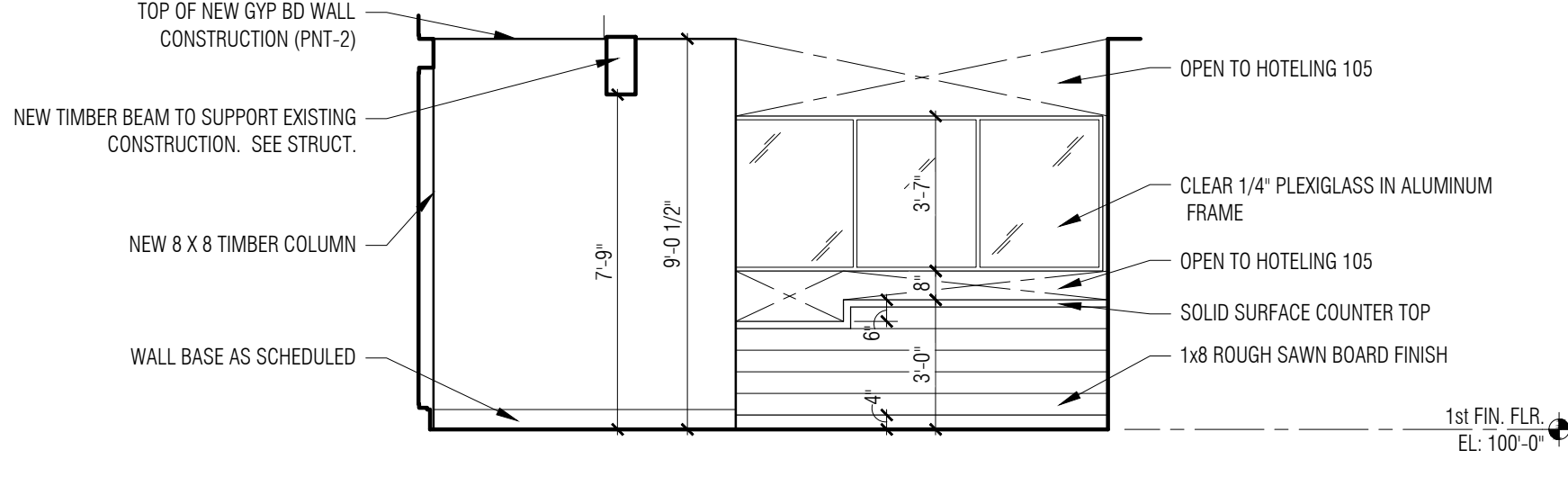
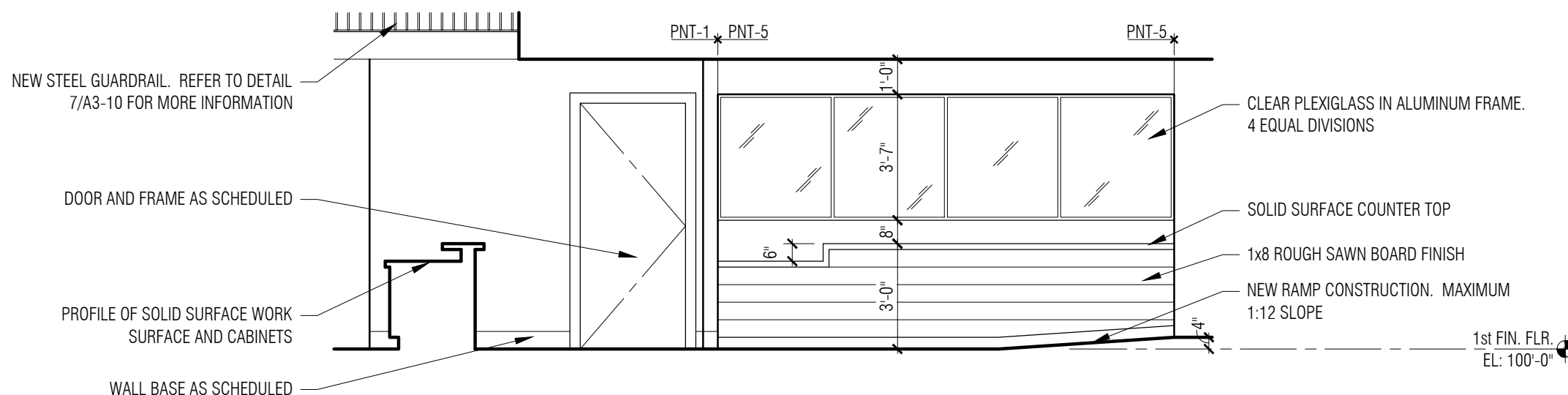
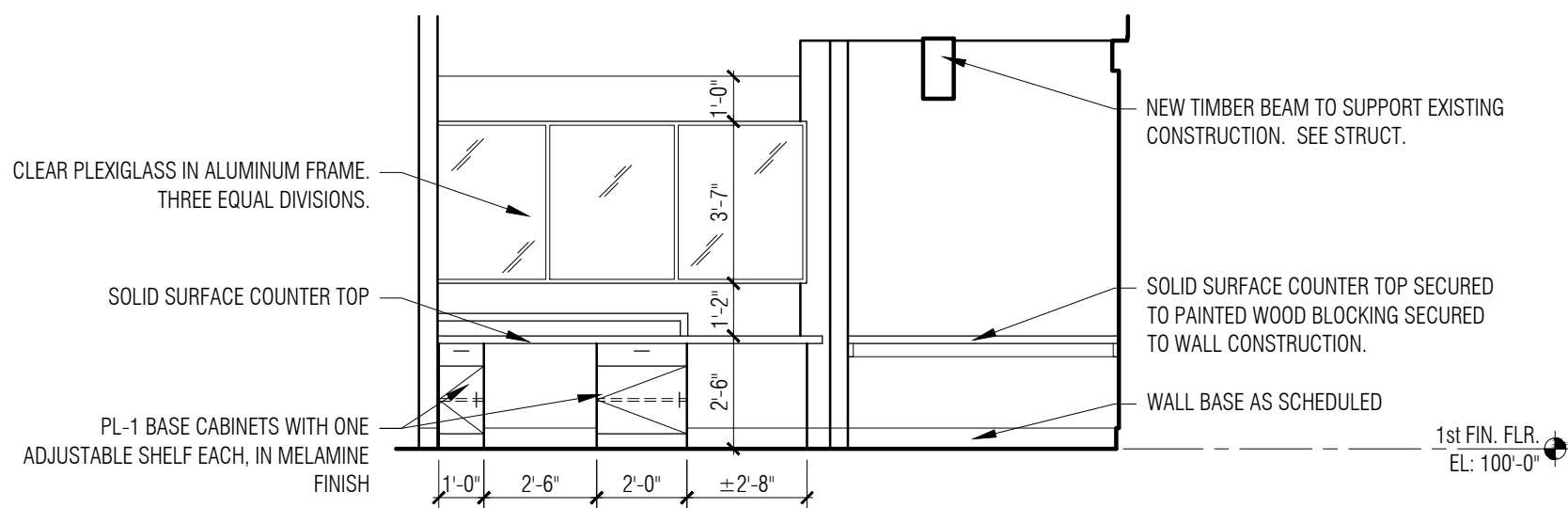
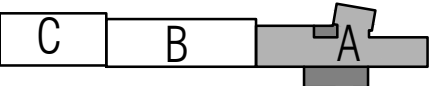
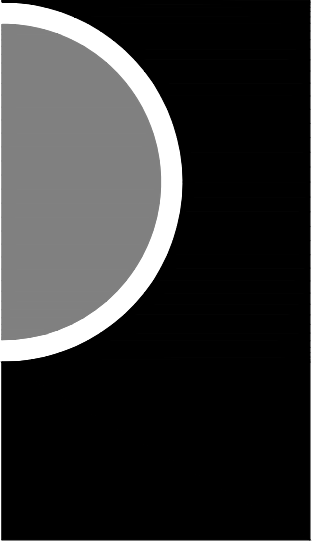
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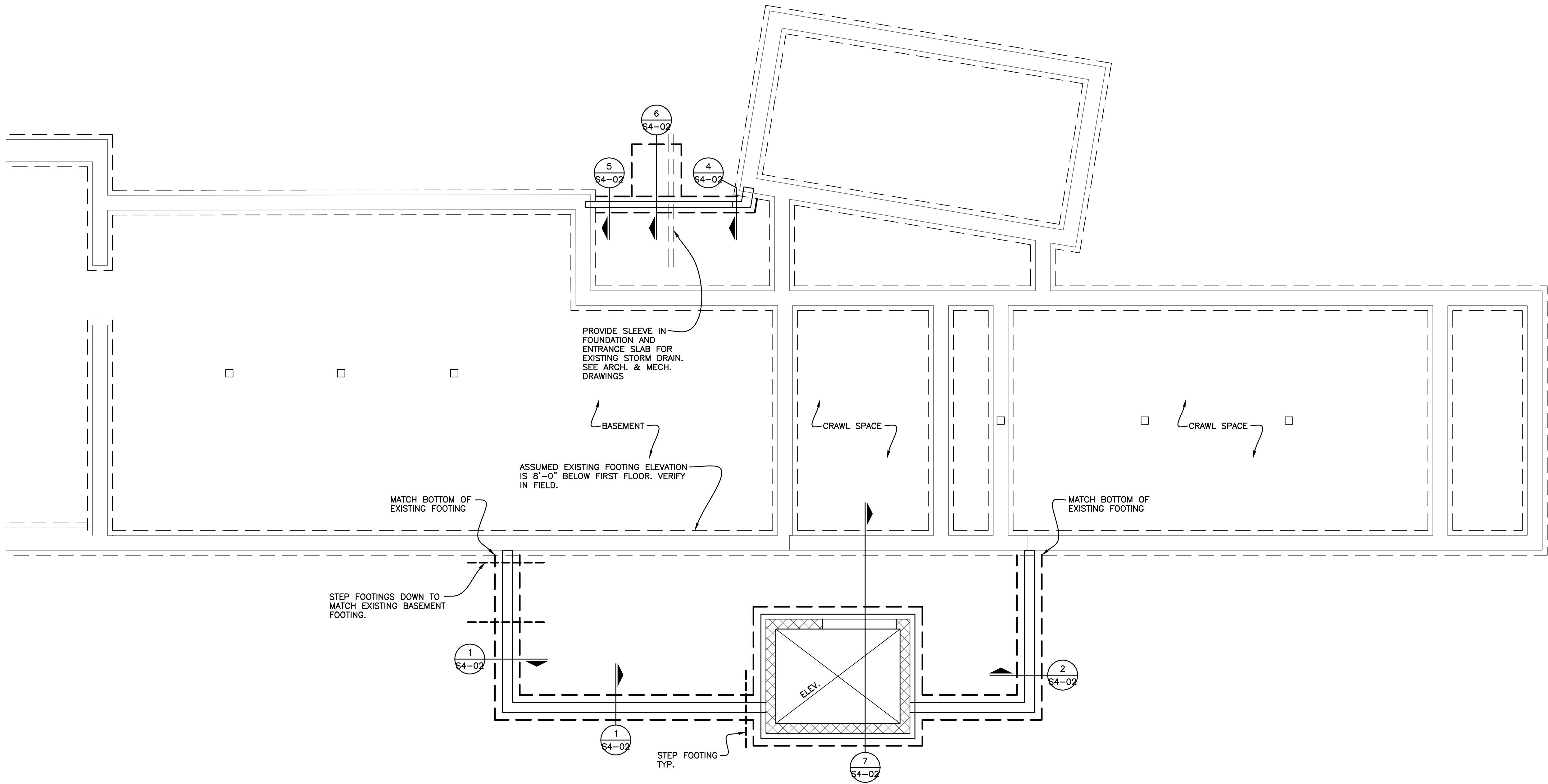
SHEET NAME

SECTION DETAILS

A6-10







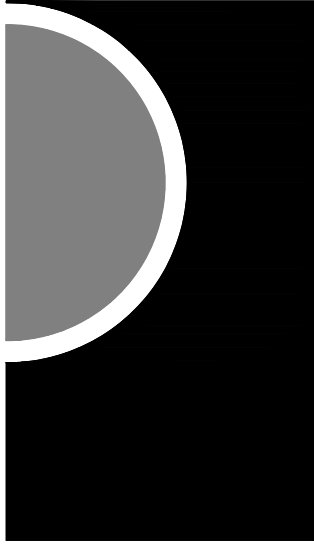
**UNIT A
FOUNDATION PLAN**

SCALE : 1/4" = 1'-0"

BOTTOM OF FOOTING = 94'-5 3/4".
STEP DOWN TO MATCH EXISTING FOOTING ELEVATIONS.

NOTE "A": REINFORCE MASONRY WALLS OF ELEVATOR WITH #5 @ 32" O.C.
FULL HEIGHT VERTICAL, UNLESS OTHERWISE NOTED
GROUT REINFORCED CORES SOLID, DOWEL TO FOOTING.
PLACE BARS AT CORNERS AND FACE OF OPENINGS
AND EACH SIDE OF CONTROL JOINTS.
SEE DETAILS 10, 11, 12, 13, 14, & 15/S4-02

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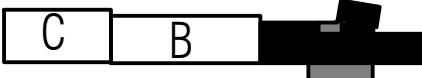
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KEY PLAN



OWNER

City of Dexter

PROJECT NAME

City Hall Renovations

3515 Broad St.
Dexter, MI 48130

PROJECT NO.

21-113

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SHEET NAME

**UNIT A
FOUNDATION PLAN**

SHEET NO.

S3-01

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KEY PLAN



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Dexter, MI 48130

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SHEET NAME

UNIT A

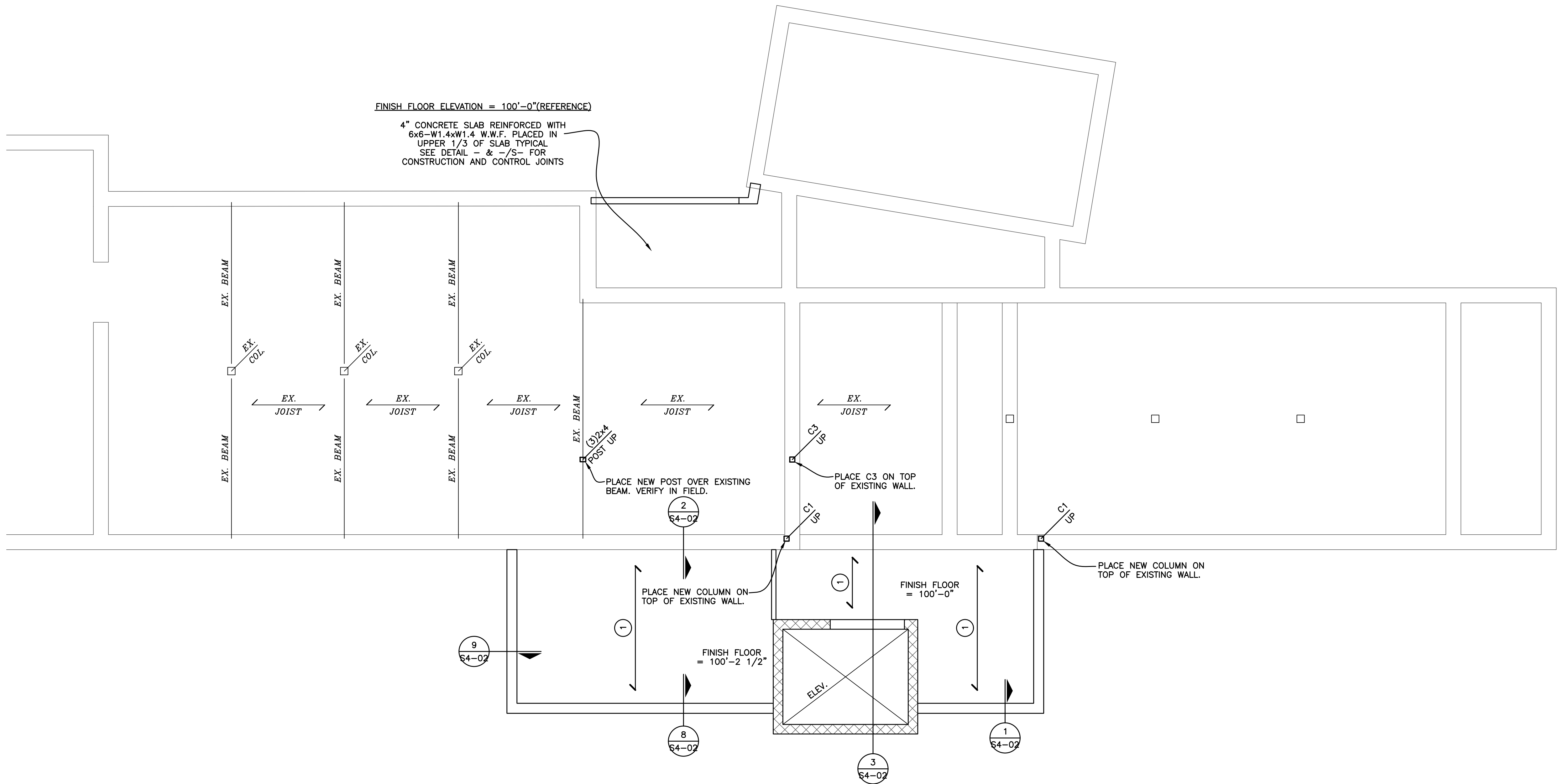
FIRST FLOOR

FRAMING PLAN

SHEET NO.

S3-02

MATERIAL SCHEDULE		
MARK	DESCRIPTION	LIVE LOAD
①	2x12 @ 16" O.C.	
②	2x12 SLOPED ROOF RAFTER @ 16" O.C.	
③	2x8 @ 16" O.C.	
④	2x10 @ 16" O.C.	
⑤	PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C. BY TRUSS SUPPLIER	

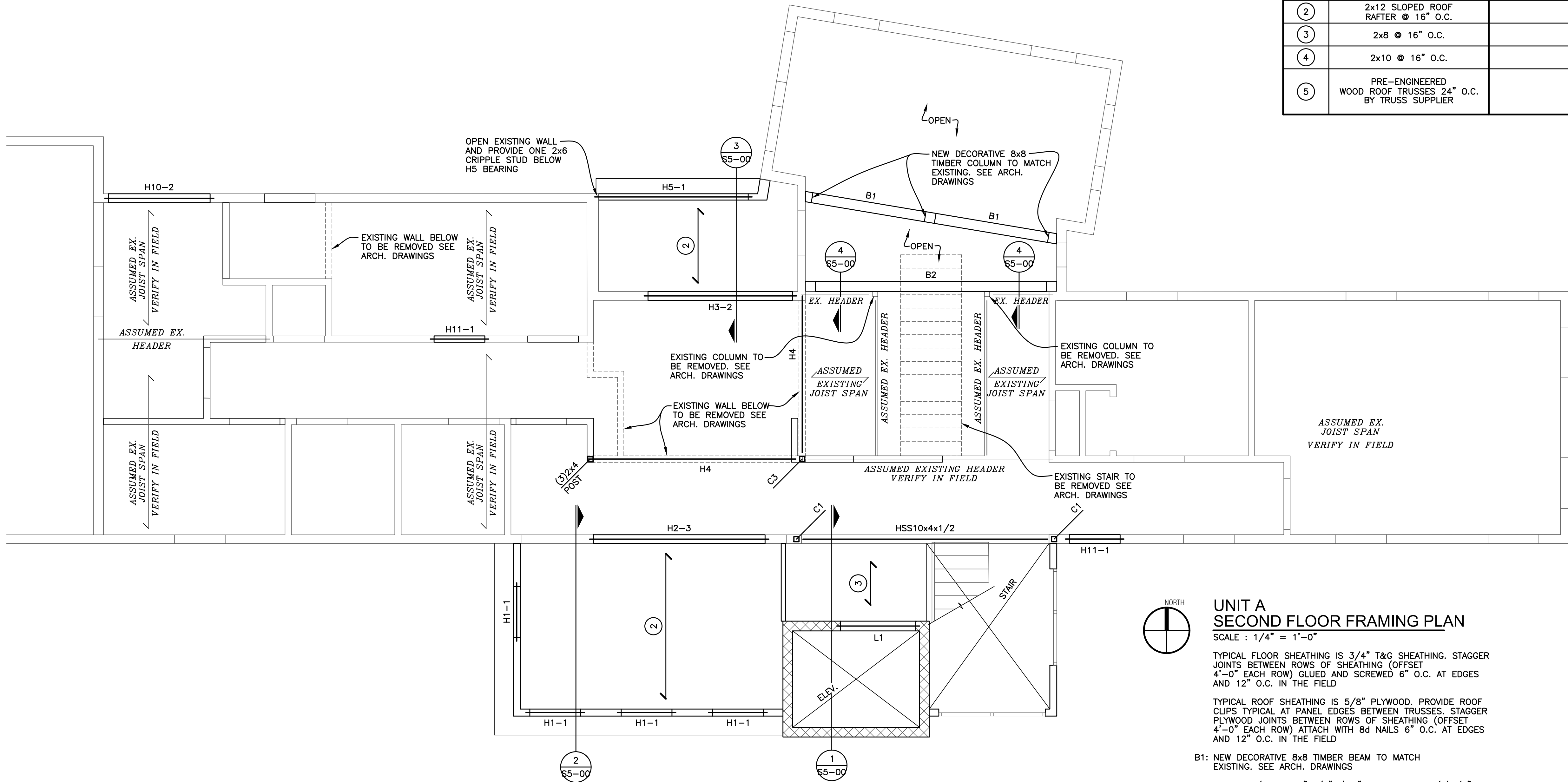


UNIT A

FIRST FLOOR FRAMING PLAN

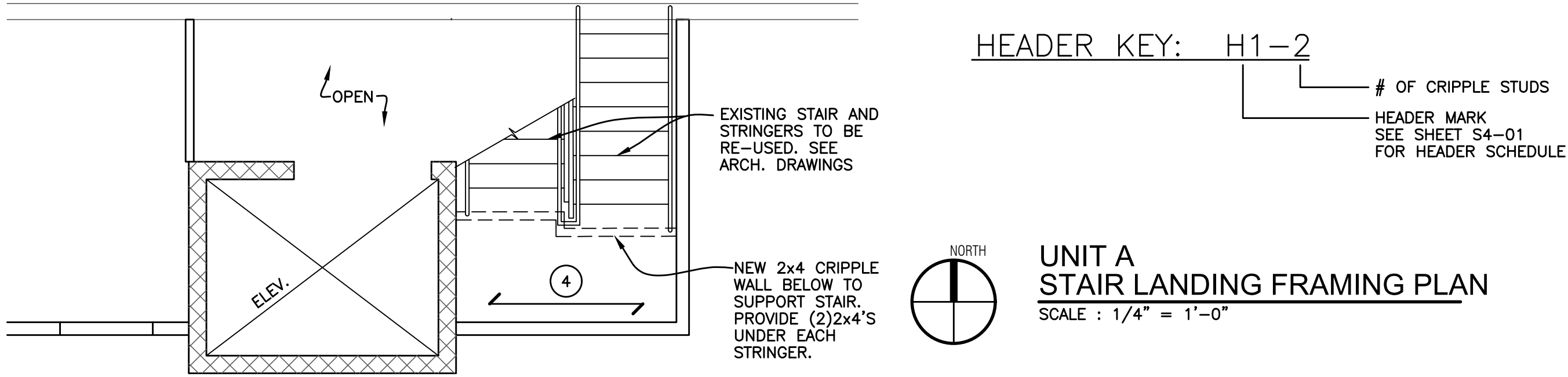
SCALE : $1/4" = 1'-0"$

TYPICAL FLOOR SHEATHING IS 3/4" T&G SHEATHING. STAGGER JOINTS BETWEEN ROWS OF SHEATHING (OFFSET 4'-0" EACH ROW) GLUED AND SCREWED 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD



MATERIAL SCHEDULE		
MARK	DESCRIPTION	LIVE LOAD
①	2x12 @ 16" O.C.	
②	2x12 SLOPED ROOF RAFTER @ 16" O.C.	
③	2x8 @ 16" O.C.	
④	2x10 @ 16" O.C.	
⑤	PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C. BY TRUSS SUPPLIER	

- UNIT A
SECOND FLOOR FRAMING PLAN**
SCALE : 1/4" = 1'-0"
- TYPICAL FLOOR SHEATHING IS 3/4" T&G SHEATHING. STAGGER JOINTS BETWEEN ROWS OF SHEATHING (OFFSET 4'-0" EACH ROW) GLUED AND SCREWED 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD
- TYPICAL ROOF SHEATHING IS 5/8" PLYWOOD. PROVIDE ROOF CLIPS TYPICAL AT PANEL EDGES BETWEEN TRUSSES. STAGGER PLYWOOD JOINTS BETWEEN ROWS OF SHEATHING (OFFSET 4'-0" EACH ROW) ATTACH WITH 8d NAILS 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD
- B1: NEW DECORATIVE 8x8 TIMBER BEAM TO MATCH EXISTING. SEE ARCH. DRAWINGS
- C1: HSS4x4x1/4 WITH 8"x1/2"x0'-8" BASE PLATE & (2)1/2" HILTI KWIK BOLT 3 EXPANSION ANCHORS TO TOP OF EXISTING FOUNDATION WALL.
- STUD WALL NOTES**
1. ALL WALL STUDS ARE 2x6 @ 16" O.C. TYPICAL (UNLESS NOTED OTHERWISE) HEM FIR NO. 2 OR SPF NO. 2 WITH THE FOLLOWING MINIMUM PROPERTIES Fc = 1,300 PSI, Fd = 850 PSI, E = 1,300,000

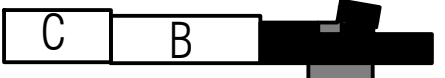
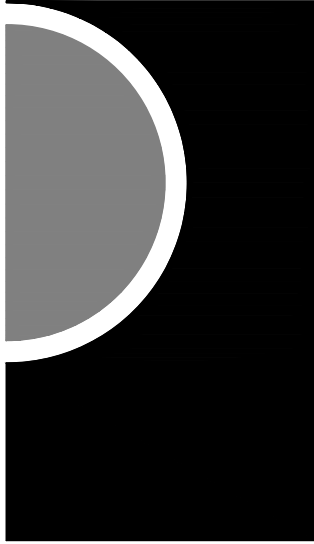


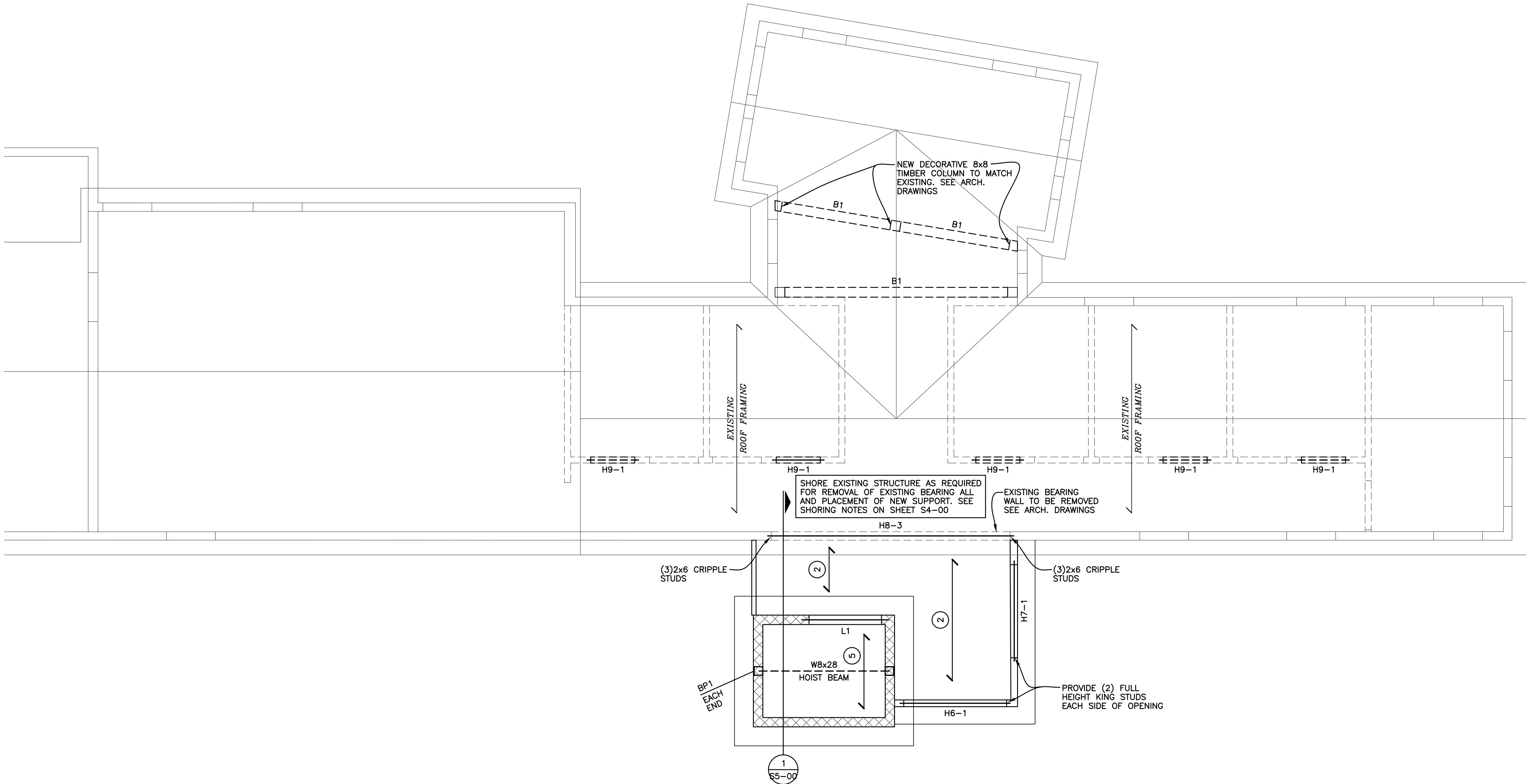
HEADER KEY: H1-2

OF CRIPPLE STUDS

HEADER MARK
SEE SHEET S4-01
FOR HEADER SCHEDULE

**UNIT A
STAIR LANDING FRAMING PLAN**
SCALE : 1/4" = 1'-0"





UNIT A
ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"

TYPICAL ROOF SHEATHING IS 5/8" PLYWOOD. PROVIDE ROOF CLIPS TYPICAL AT PANEL EDGES BETWEEN TRUSSES. STAGGER PLYWOOD JOINTS BETWEEN ROWS OF SHEATHING (OFFSET 4'-0" EACH ROW) ATTACH WITH 8d NAILS 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD

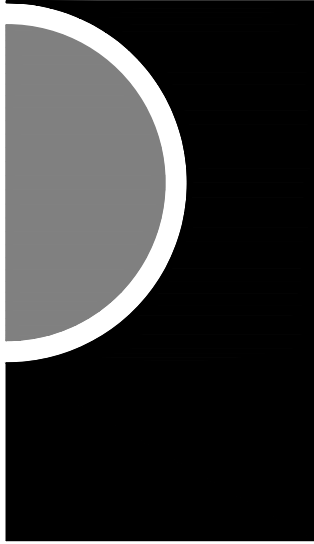
B1: NEW DECORATIVE 8x8 TIMBER BEAM TO MATCH EXISTING. SEE ARCH. DRAWINGS

STUD WALL NOTES

- ALL WALL STUDS ARE 2x6 @ 16" O.C. TYPICAL (UNLESS NOTED OTHERWISE) HEM FIR NO. 2 OR SPF NO. 2 WITH THE FOLLOWING MINIMUM PROPERTIES $F_c = 1,300$ PSI, $F_b = 850$ PSI, $E = 1,300,000$

MATERIAL SCHEDULE		
MARK	DESCRIPTION	LIVE LOAD
①	2x12 @ 16" O.C.	
②	2x12 SLOPED ROOF RAFTER @ 16" O.C.	
③	2x8 @ 16" O.C.	
④	2x10 @ 16" O.C.	
⑤	PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C. BY TRUSS SUPPLIER	

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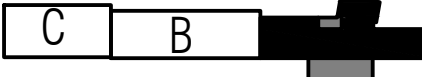
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KEY PLAN



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21-113

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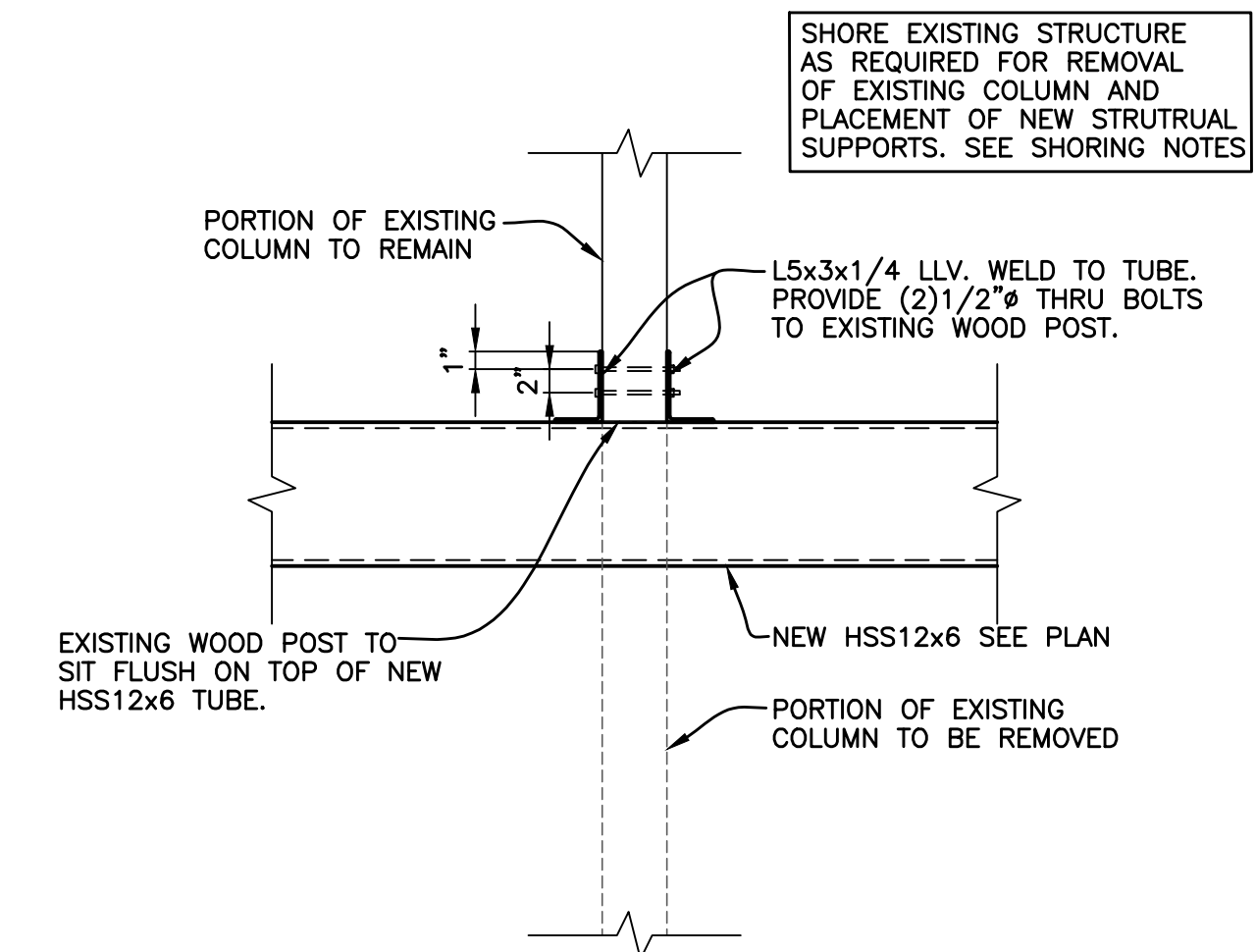
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SHEET NAME

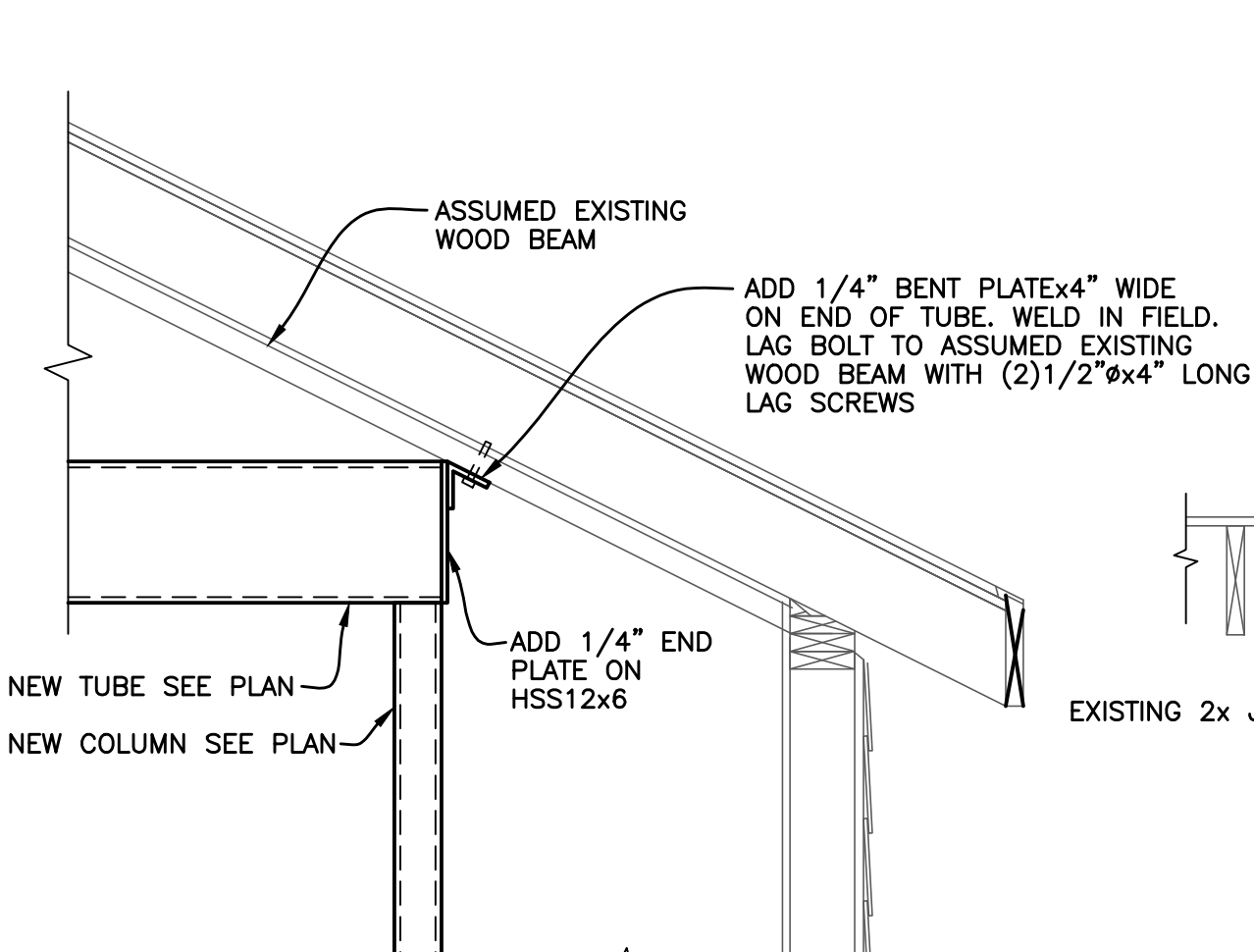
UNIT A
ROOF FRAMING
PLAN

SHEET NO.

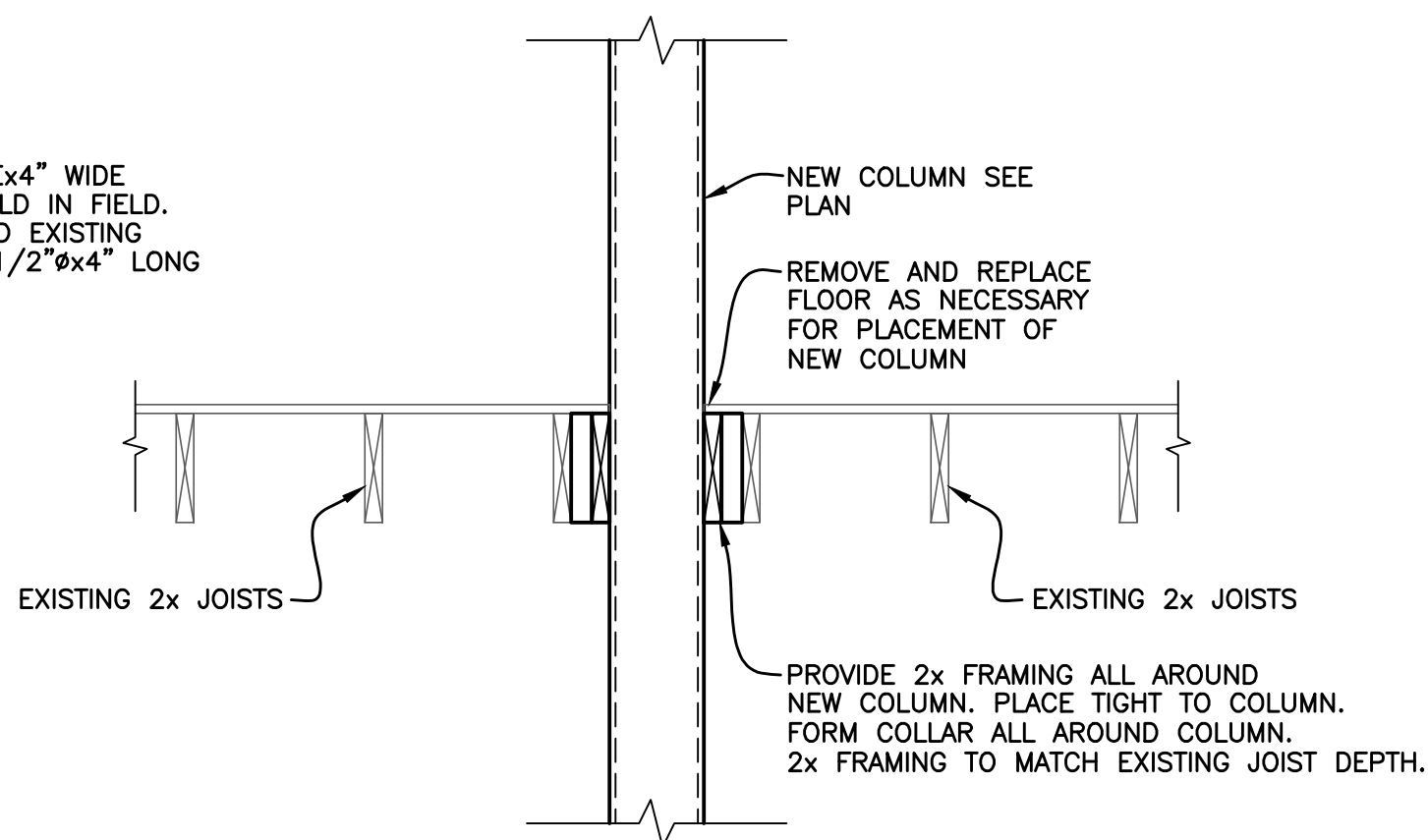
S3-04



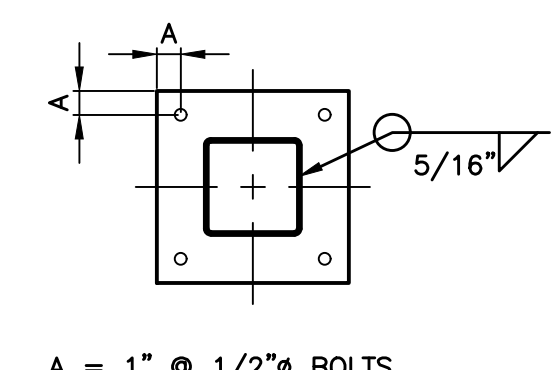
5 SECTION
SCALE : 3/4" = 1'-0"



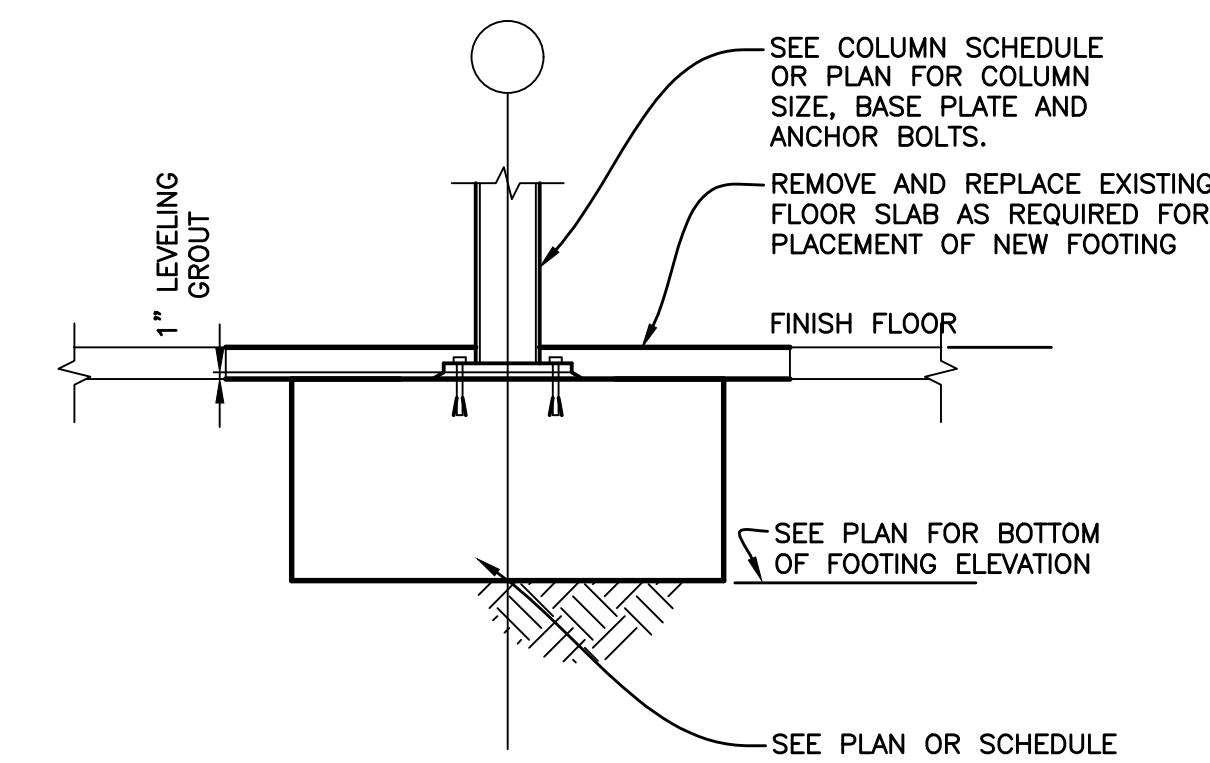
4 SECTION
SCALE : 3/4" = 1'-0"



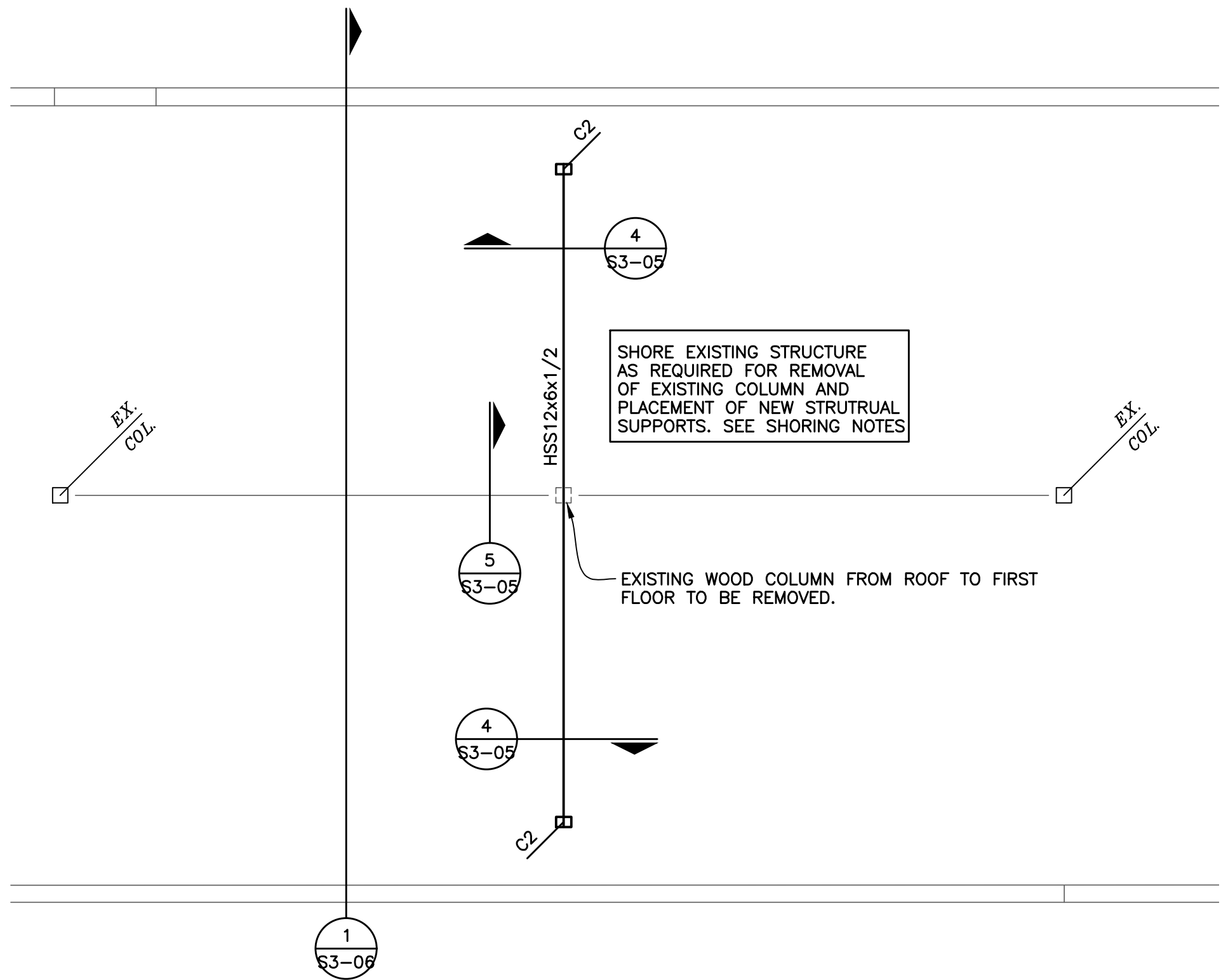
3 SECTION
SCALE : 3/4" = 1'-0"



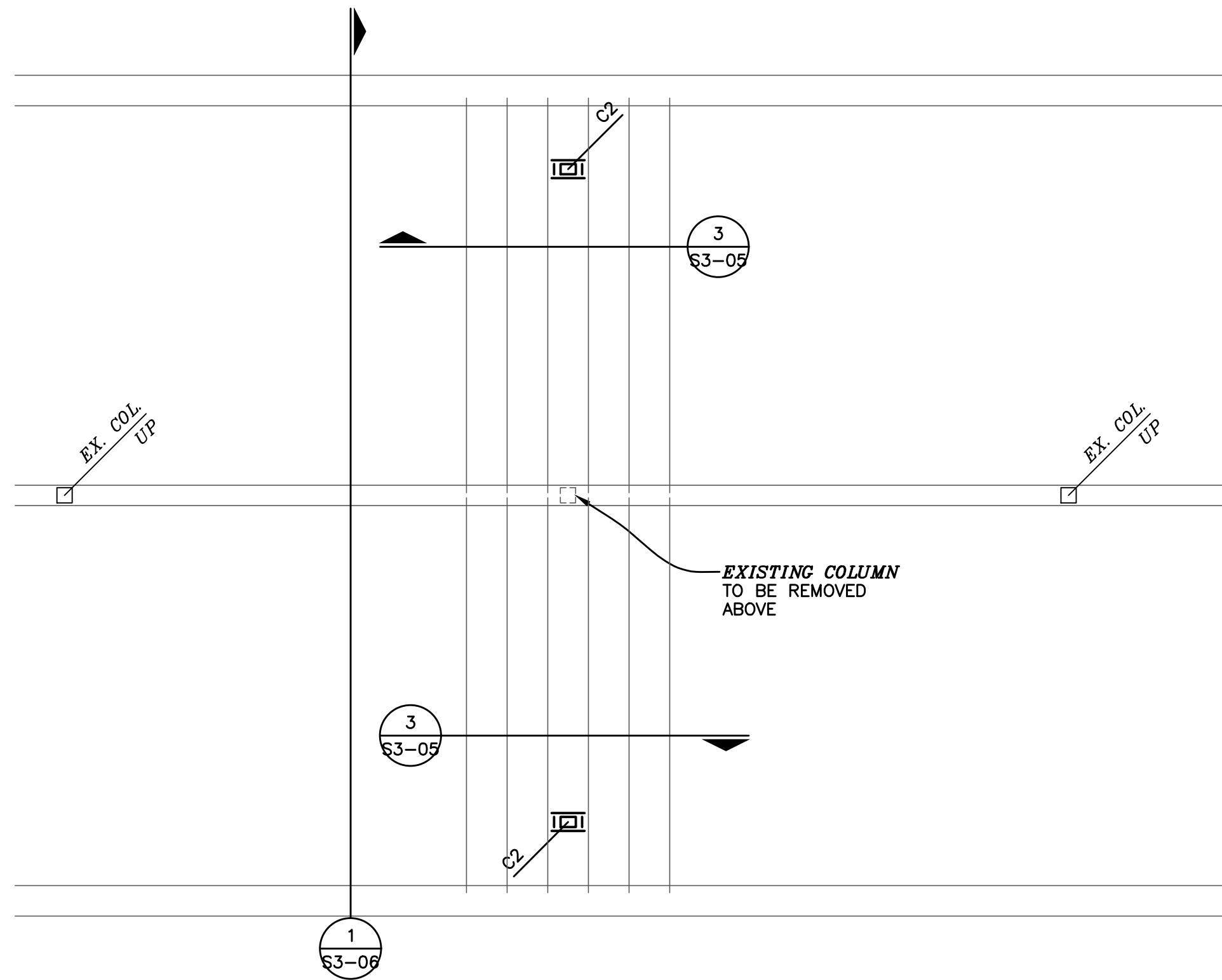
2 TYPICAL BASE PLATES
SCALE : NONE



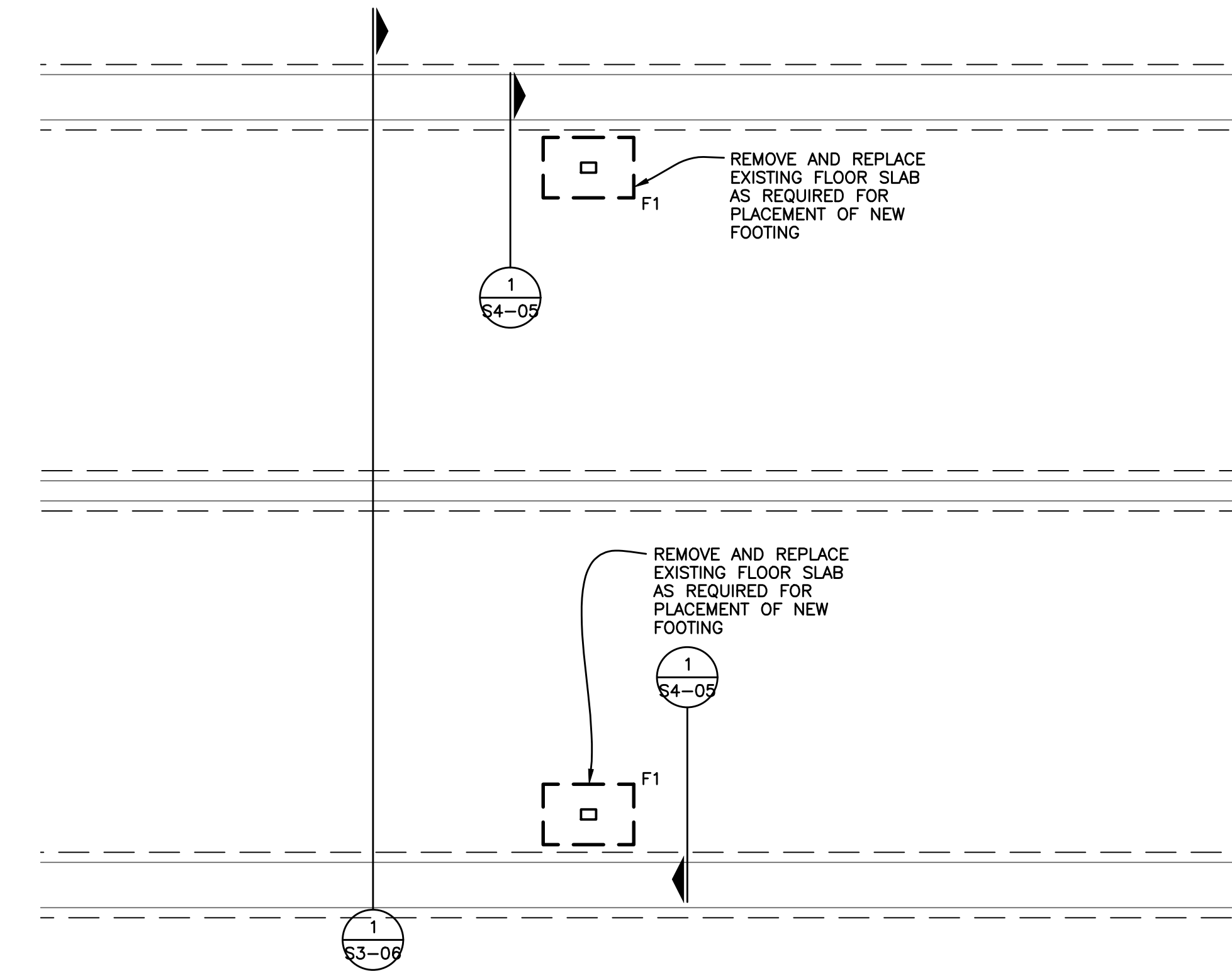
1 TYPICAL INTERIOR COLUMN FOOTING
SCALE : 1/2" = 1'-0"



NORTH
SECOND FLOOR FRAMING PLAN
SCALE : 1/4" = 1'-0"
C2: HSS6x4x1/2" COLUMN WITH 10x3/4x0'-8" BASE PLATE WITH (4)1/2"x4 1/2" LONG EXPANSION ANCHORS

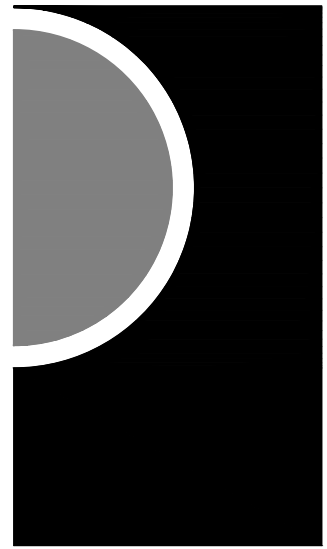


NORTH
FIRST FLOOR FRAMING PLAN
SCALE : 1/4" = 1'-0"
C2: HSS6x4x1/2" COLUMN WITH 10x3/4x0'-8" BASE PLATE WITH (4)1/2"x4 1/2" LONG EXPANSION ANCHORS



NORTH
FOUNDATION PLAN
SCALE : 1/4" = 1'-0"
F1: 3'-0"x2'-0" FOOTING WITH (4)#4 EACH WAY BOTTOM

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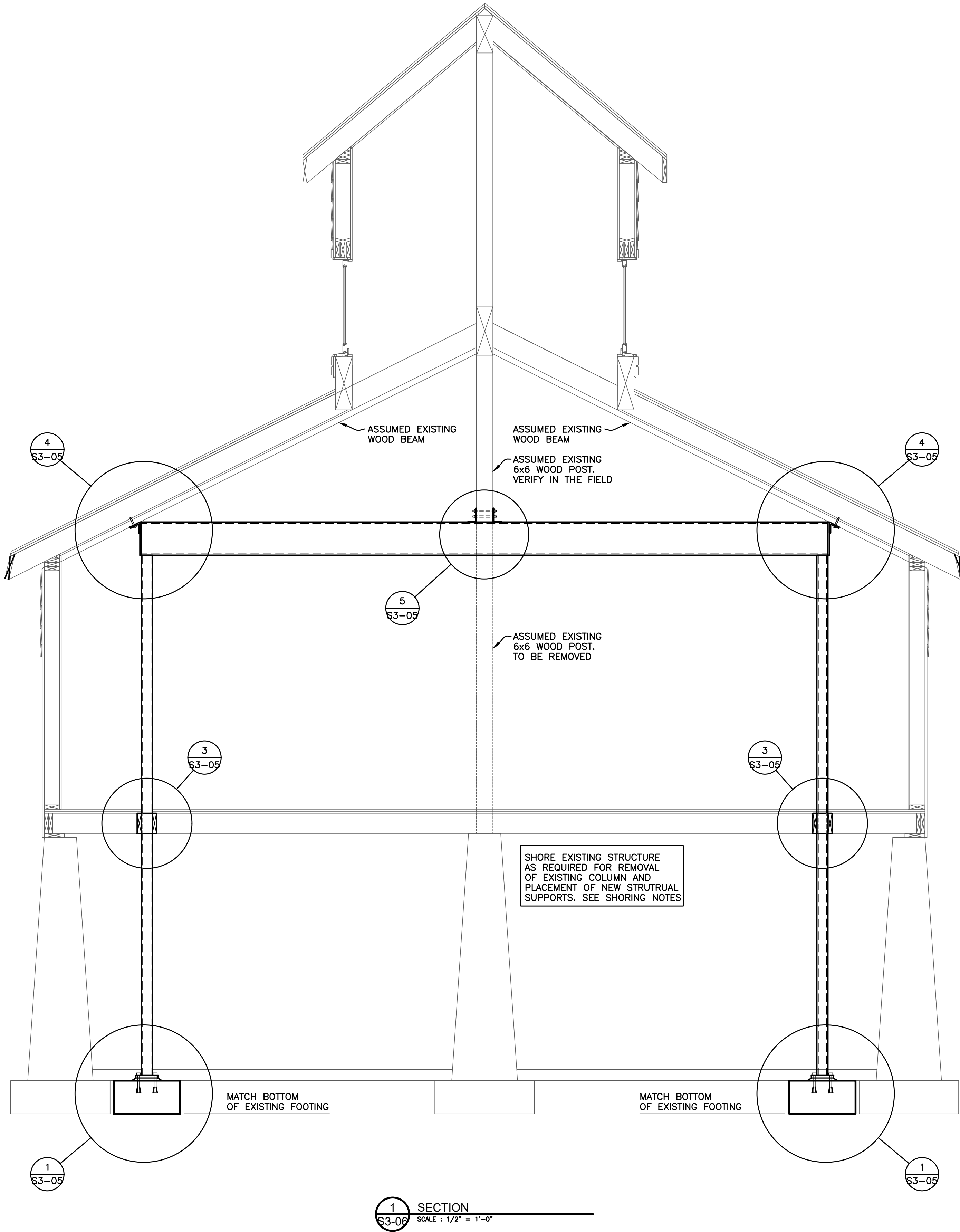
SHEET NAME

UNIT B

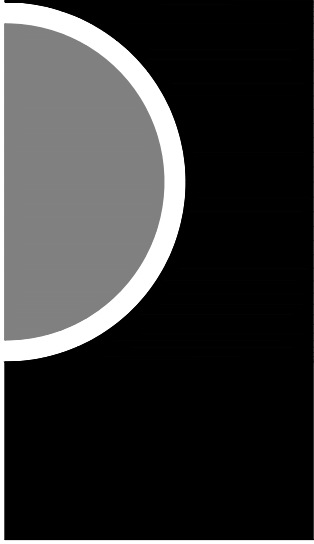
FOUNDATION, FIRST
& SECOND FLOOR
FRAMING PLAN

SHEET NO.

S3-05



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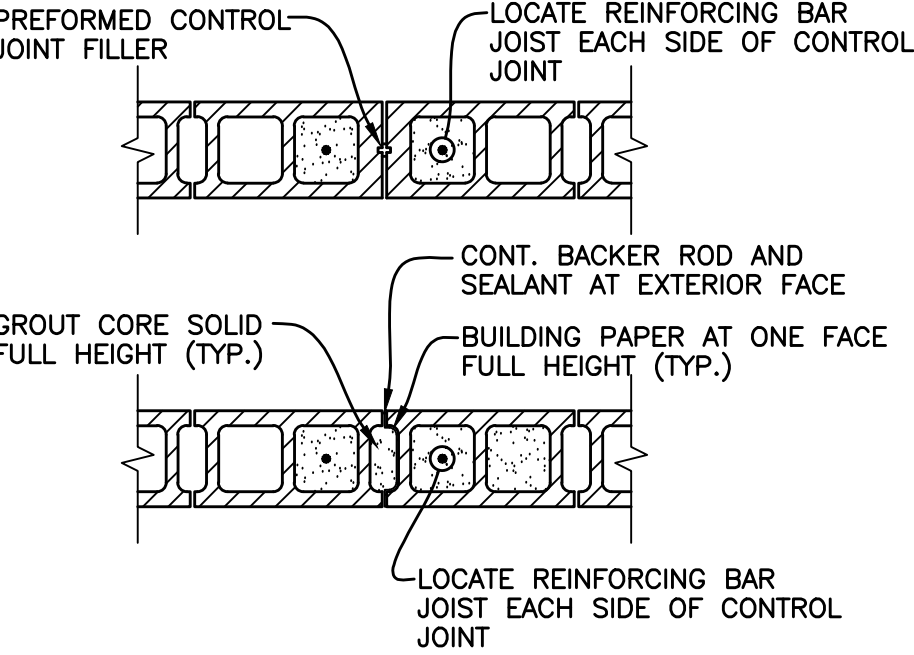
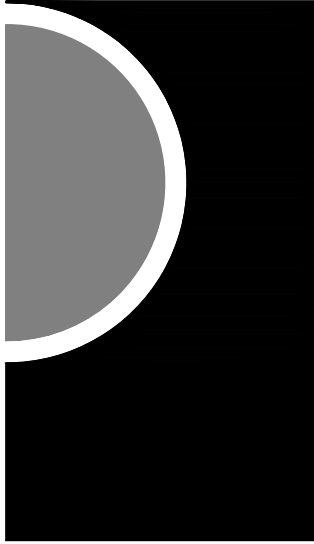
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SHEET NAME

DETAILS

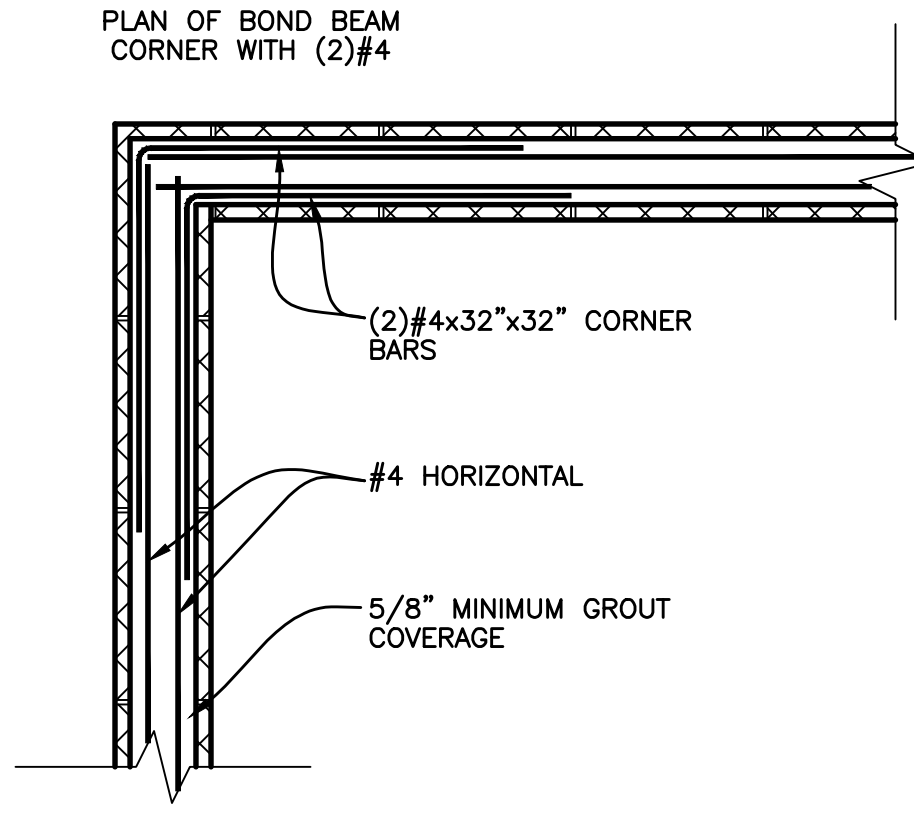
SHEET NO.

S3-06



15 TYPICAL MASONRY WALL CONTROL JOINTS

SCALE : 3/4" = 1'-0"

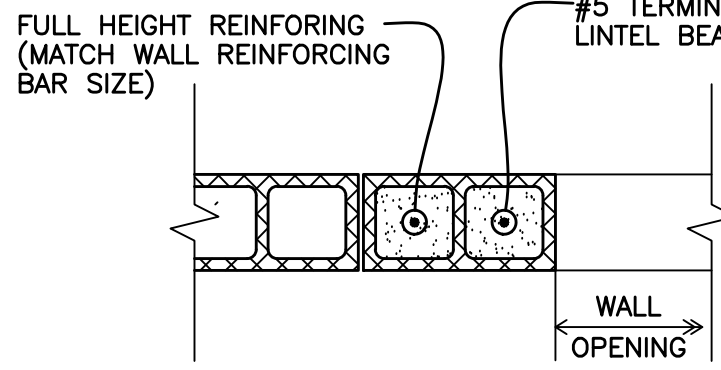


14 TYPICAL BOND BEAM CORNER DETAIL

SCALE : 3/4" = 1'-0"

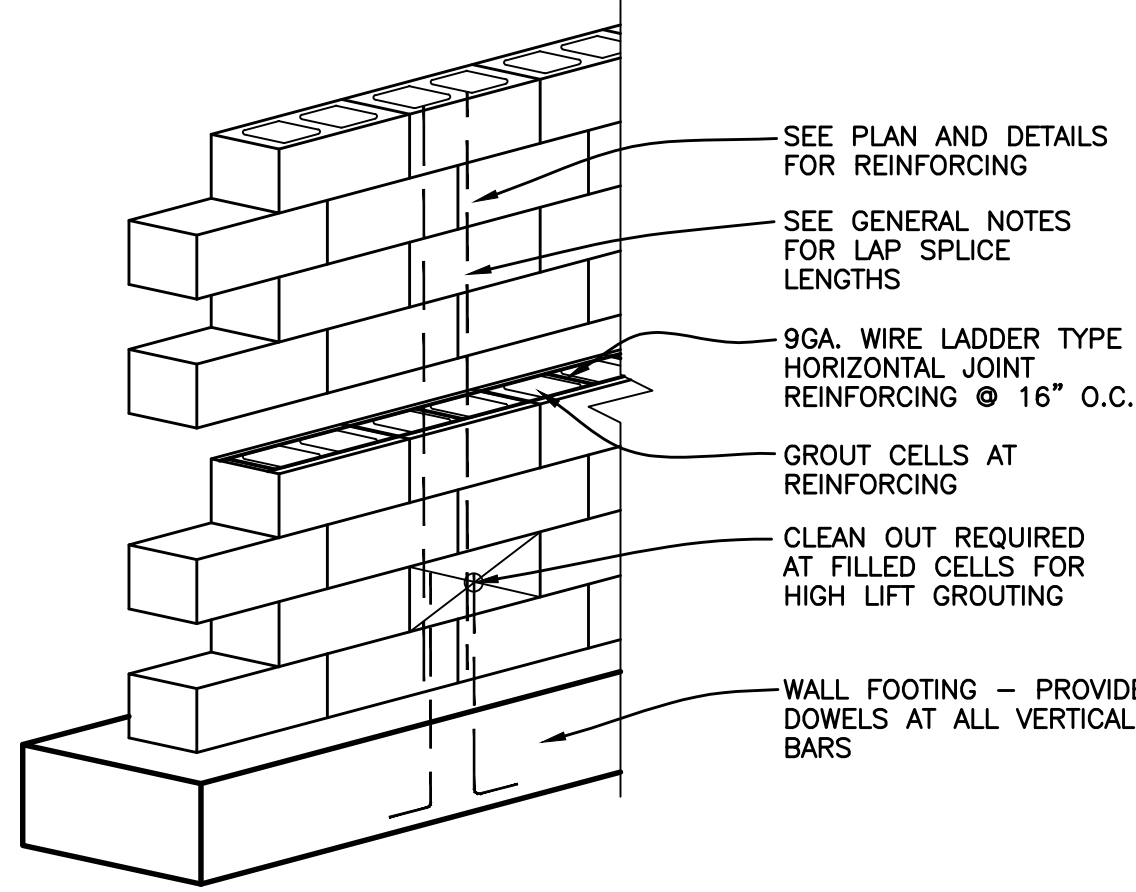
13 TYPICAL REINFORCING AT CORNERS

SCALE : 3/4" = 1'-0"



12 TYPICAL REINFORCING ALONG SIDE OPENING

SCALE : 3/4" = 1'-0"

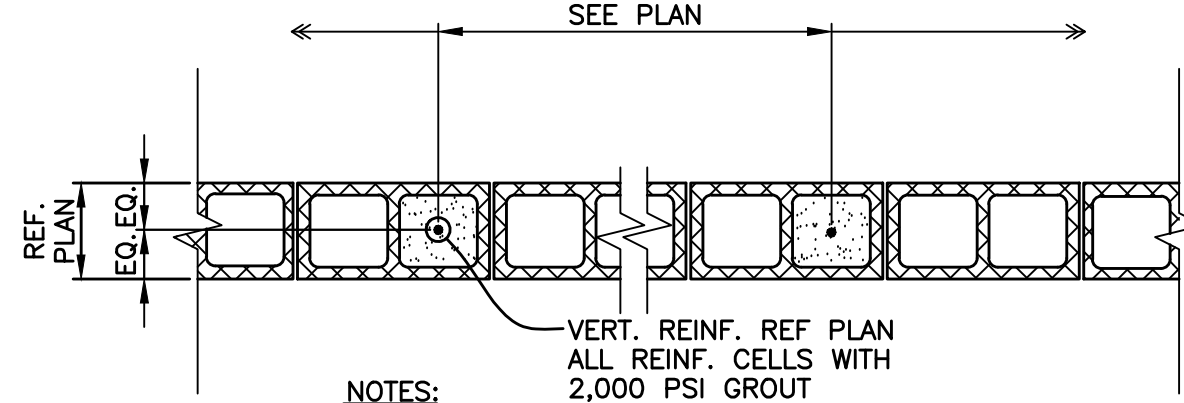


GROUT INSTRUCTIONS :

1. CONSTRUCT WALL TO HEIGHT OF 4'-0" - ALLOW MORTAR TO SET SUFFICIENTLY TO WITHSTAND GROUT PRESSURE.
2. INSPECT UNITS FOR ALIGNMENT, CLEAN OUT CELLS TO BE FILLED.
3. FILL CELLS TO 8" BELOW TOP COURSE WITH 2,000 PSI CONCRETE GROUT.
4. DELAY 3 - 5 MINUTES PRIOR TO CONSOLIDATING TO ALLOW WATER TO BE ABSORBED BY MASONRY.

11 REINFORCED MASONRY CONSTRUCTION DETAIL

SCALE : NONE



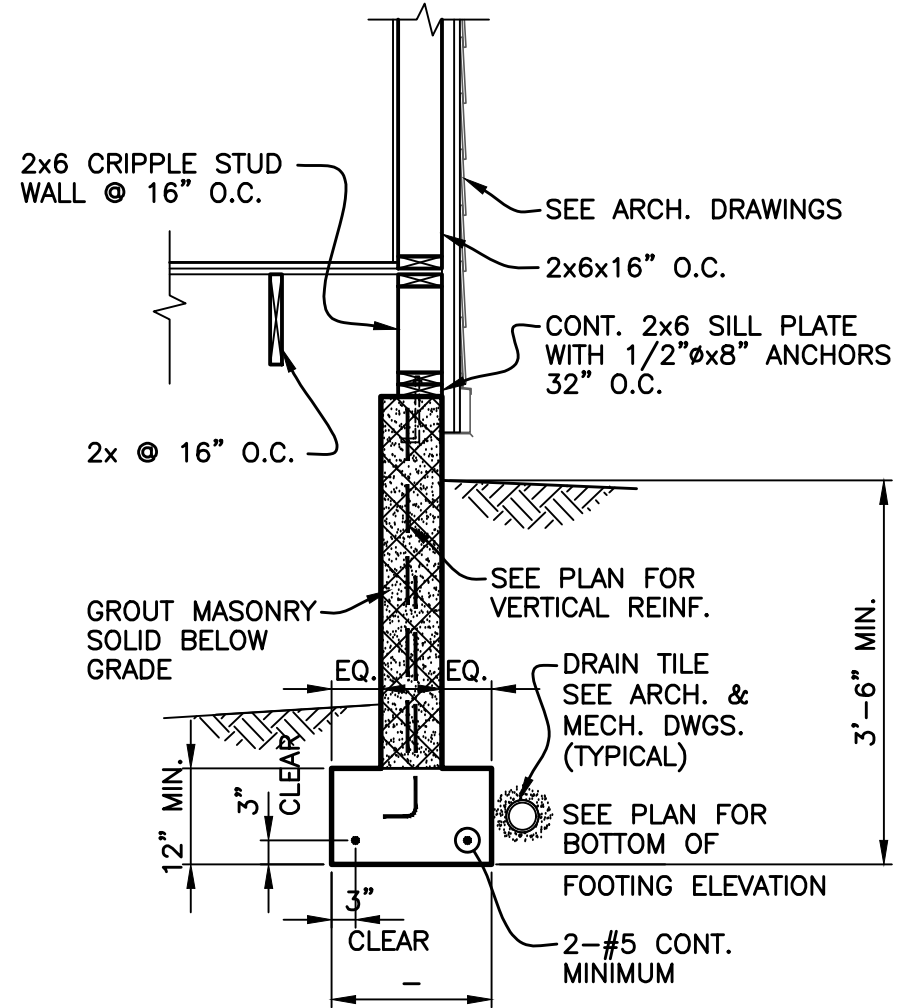
NOTES:

1. PROVIDE CLEANOUTS AT BOTTOM OF EACH REINFORCED CELL IN ACCORDANCE WITH THE SPECIFICATIONS
2. PROVIDE HORIZONTAL JOINT REINF. PER GENERAL NOTES @ 16" O.C. MAX. U.N.O.

MASONRY REINF. LAP LENGTH		
BAR SIZE	8" WALL	12" WALL
4	24"	24"
5	30"	30"
6	36"	36"
7		42"

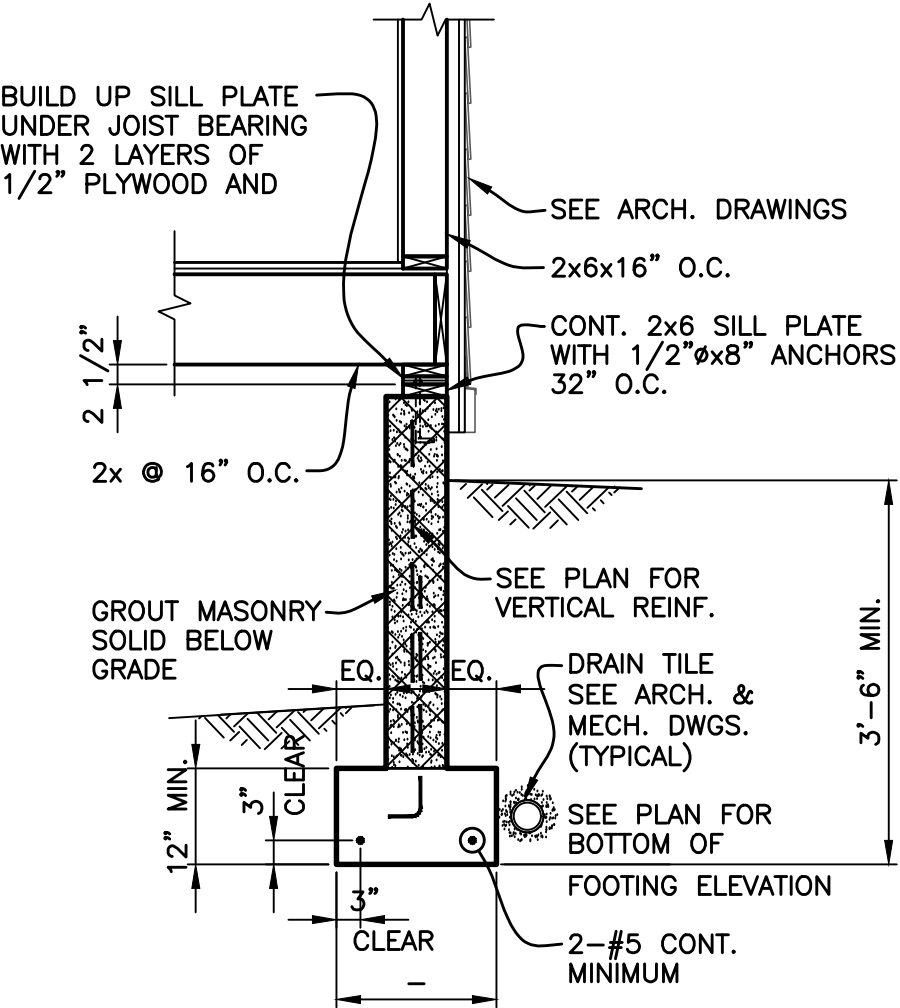
10 TYPICAL WALL REINFORCING DETAIL

SCALE : 3/4" = 1'-0"



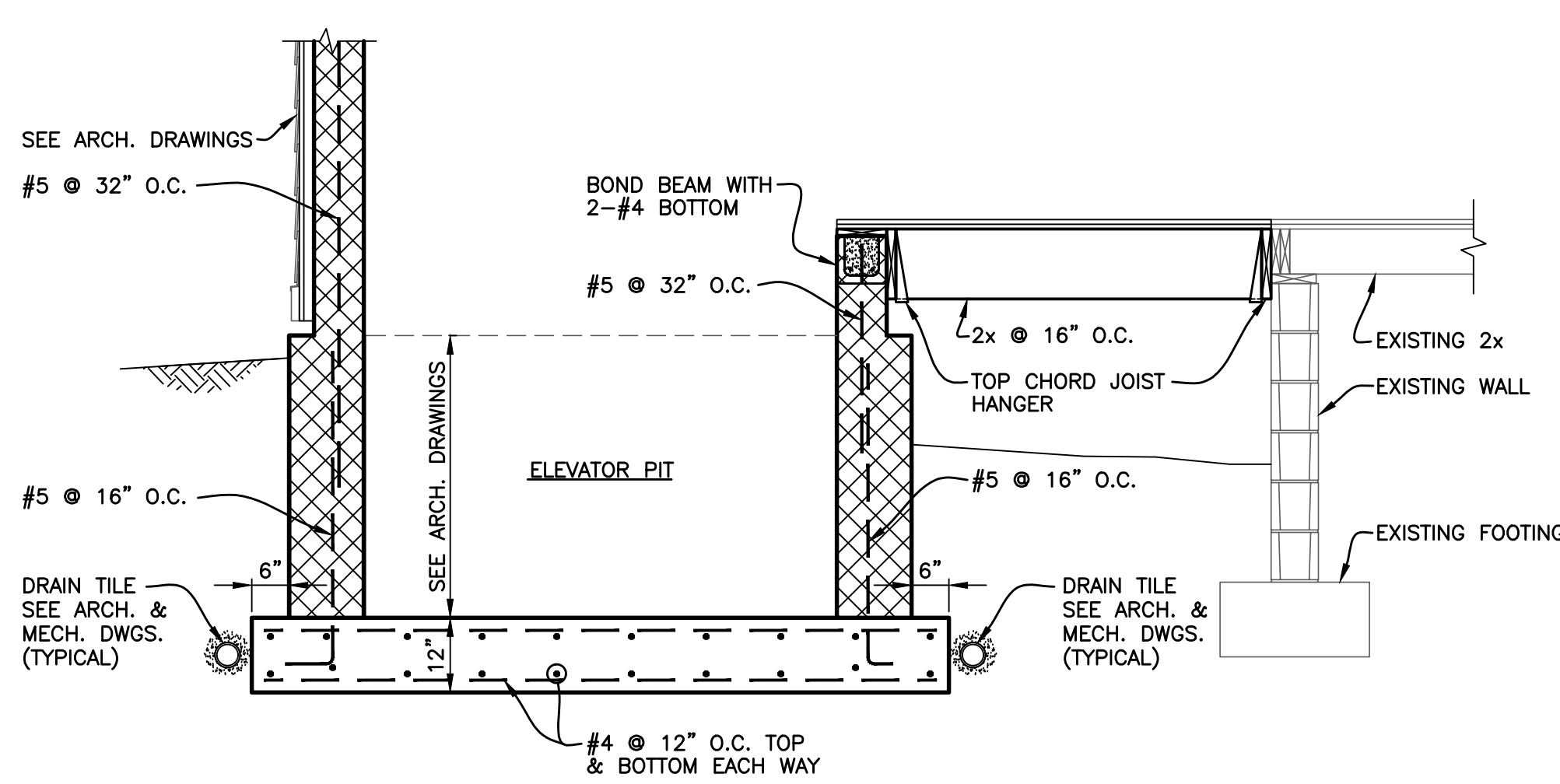
9 SECTION

SCALE : 1/2" = 1'-0"



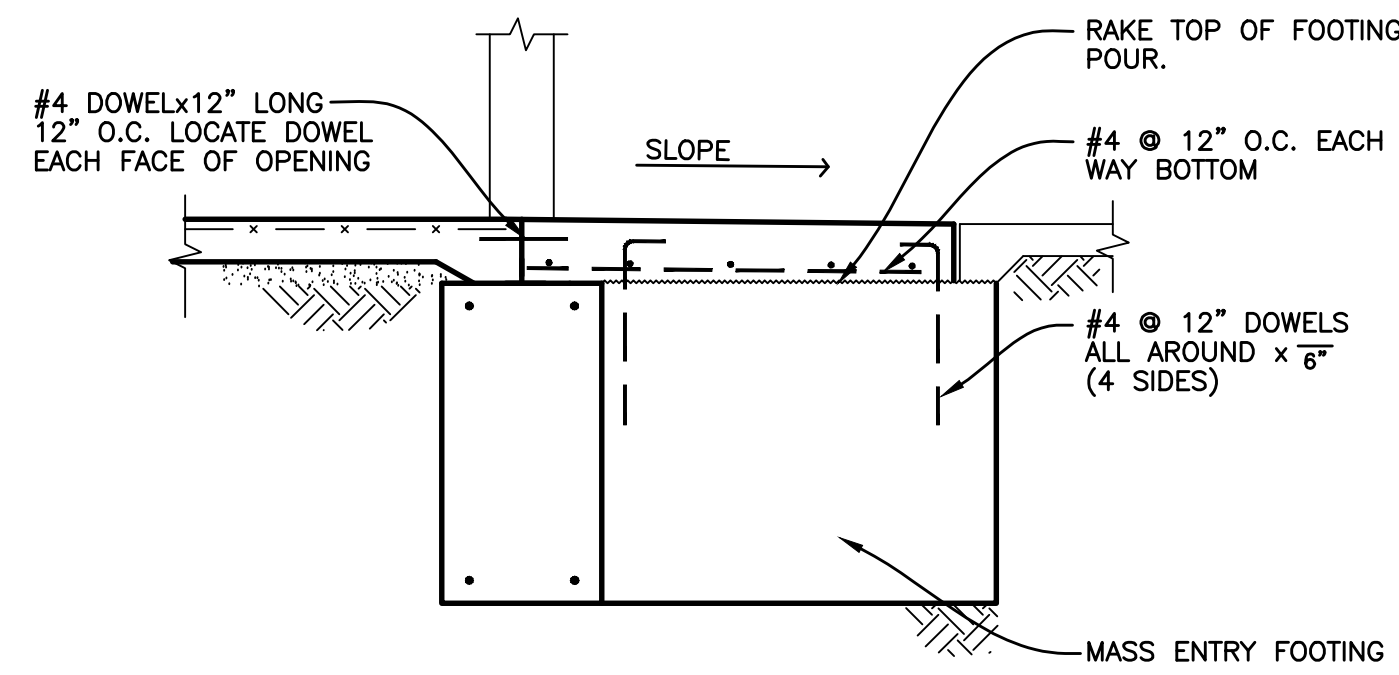
8 SECTION

SCALE : 1/2" = 1'-0"



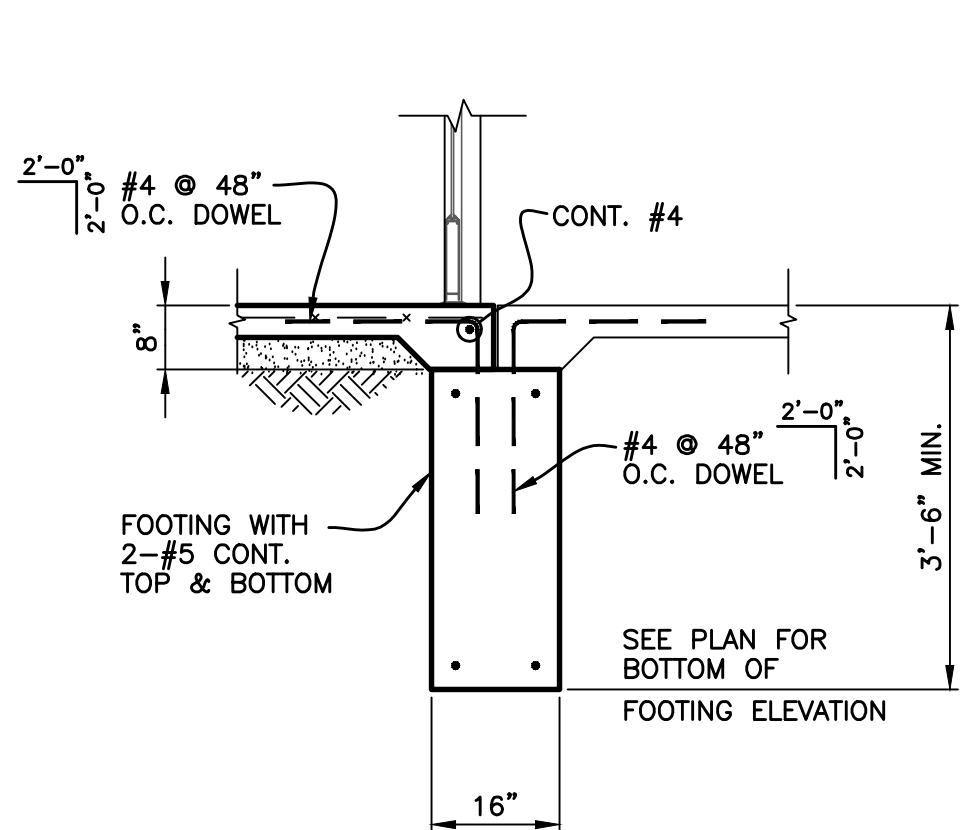
7 SECTION

SCALE : 1/2" = 1'-0"



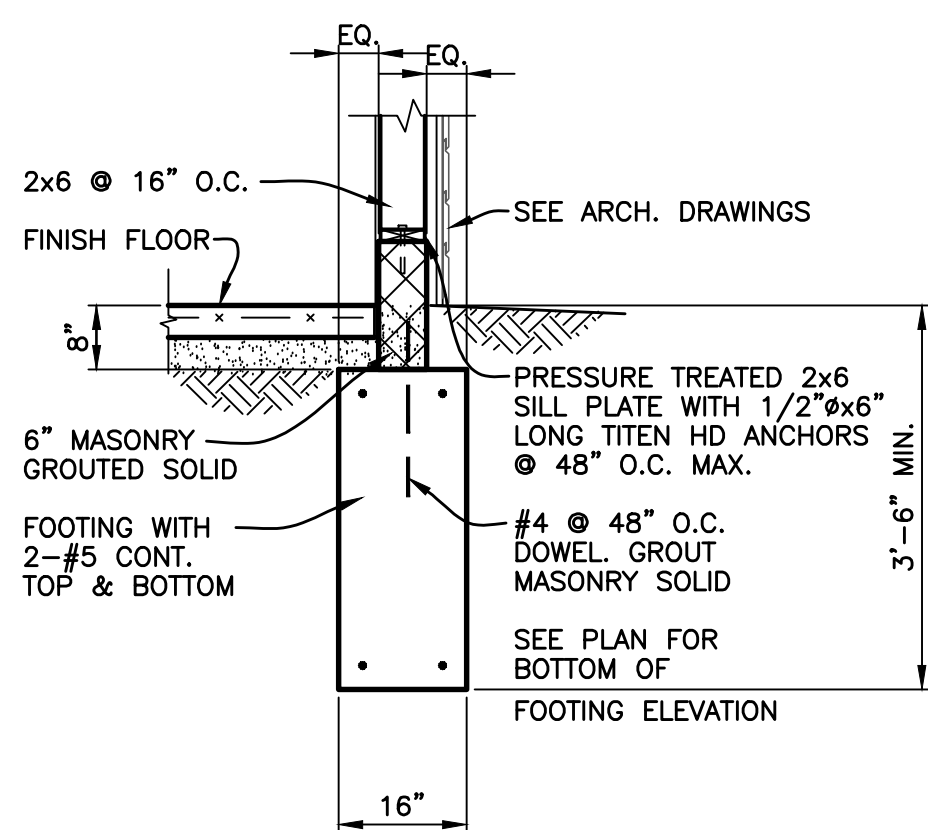
6 TYPICAL MASS ENTRANCE SLAB

SCALE : 1/2" = 1'-0"



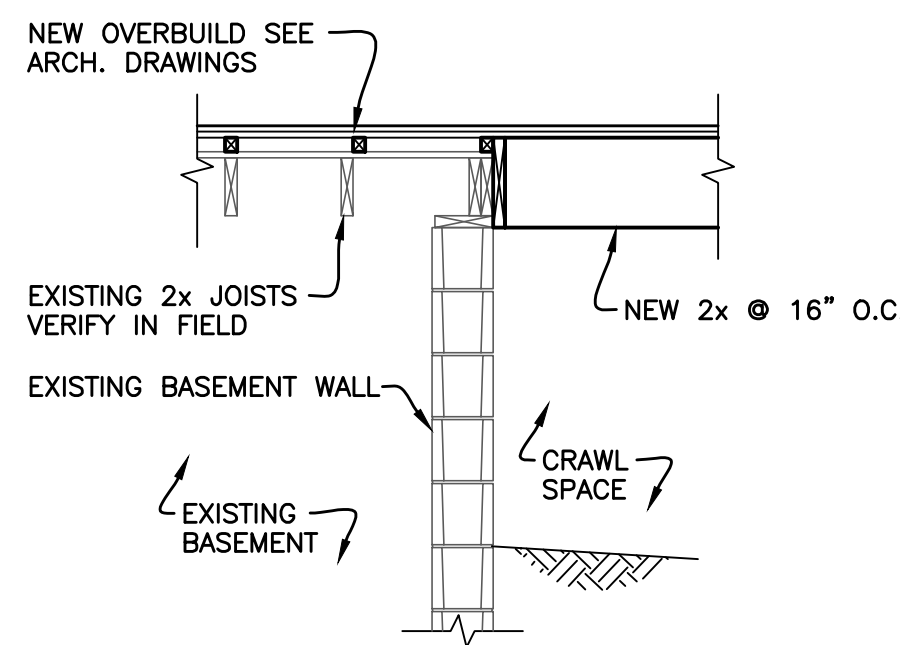
5 SECTION

SCALE : 1/2" = 1'-0"



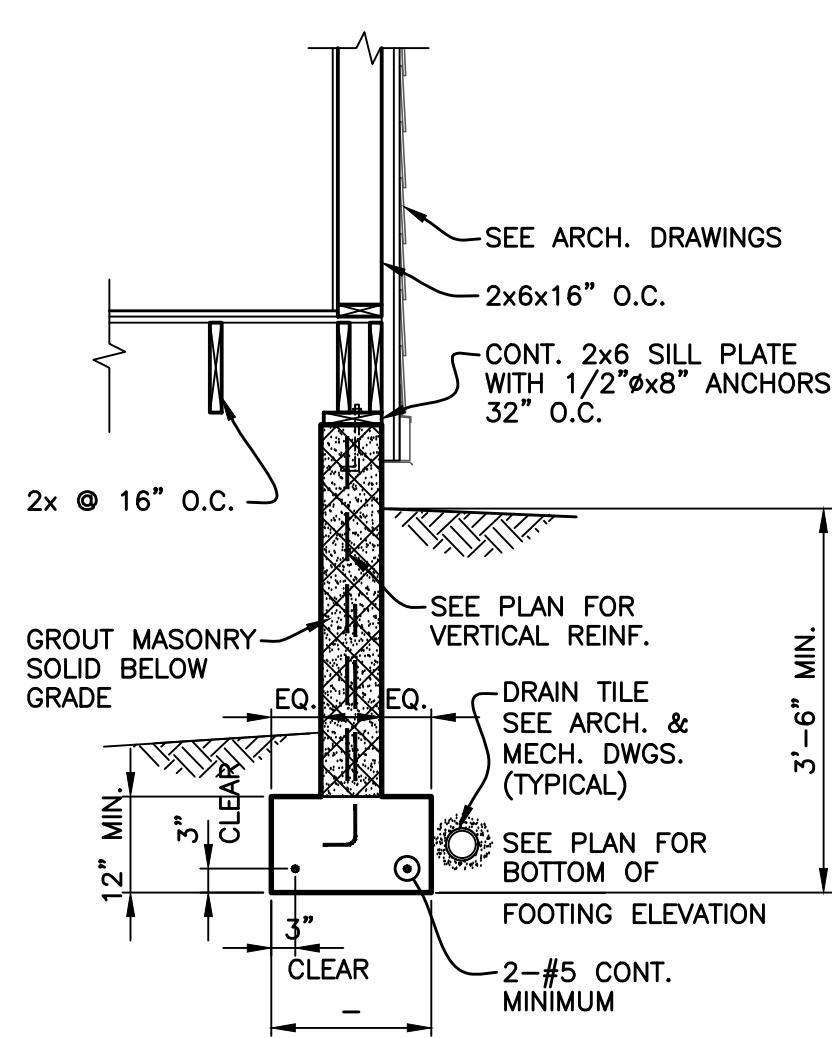
4 TYPICAL EXTERIOR WALL FOOTING

SCALE : 1/2" = 1'-0"



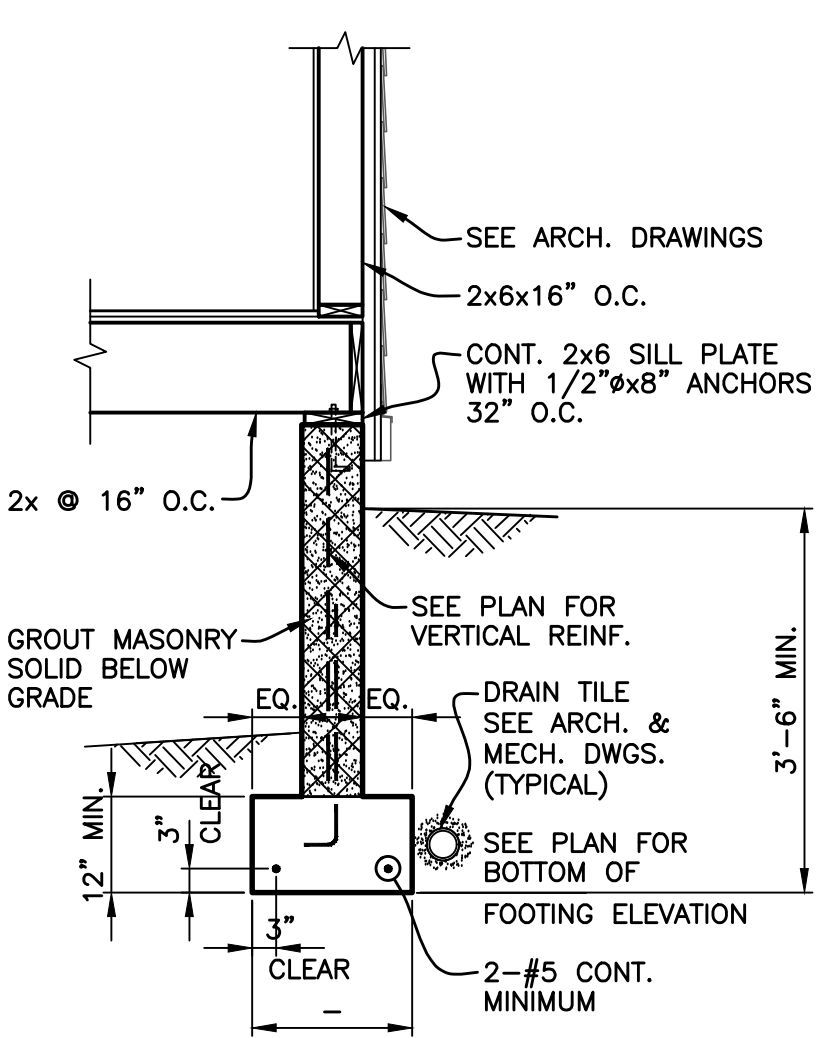
3 SECTION

SCALE : 1/2" = 1'-0"



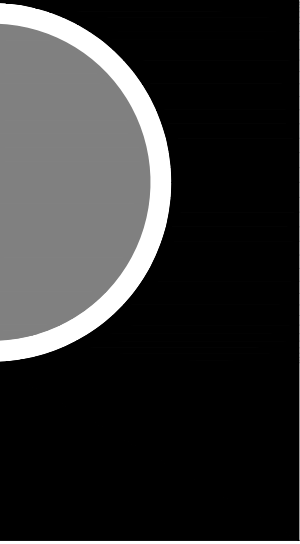
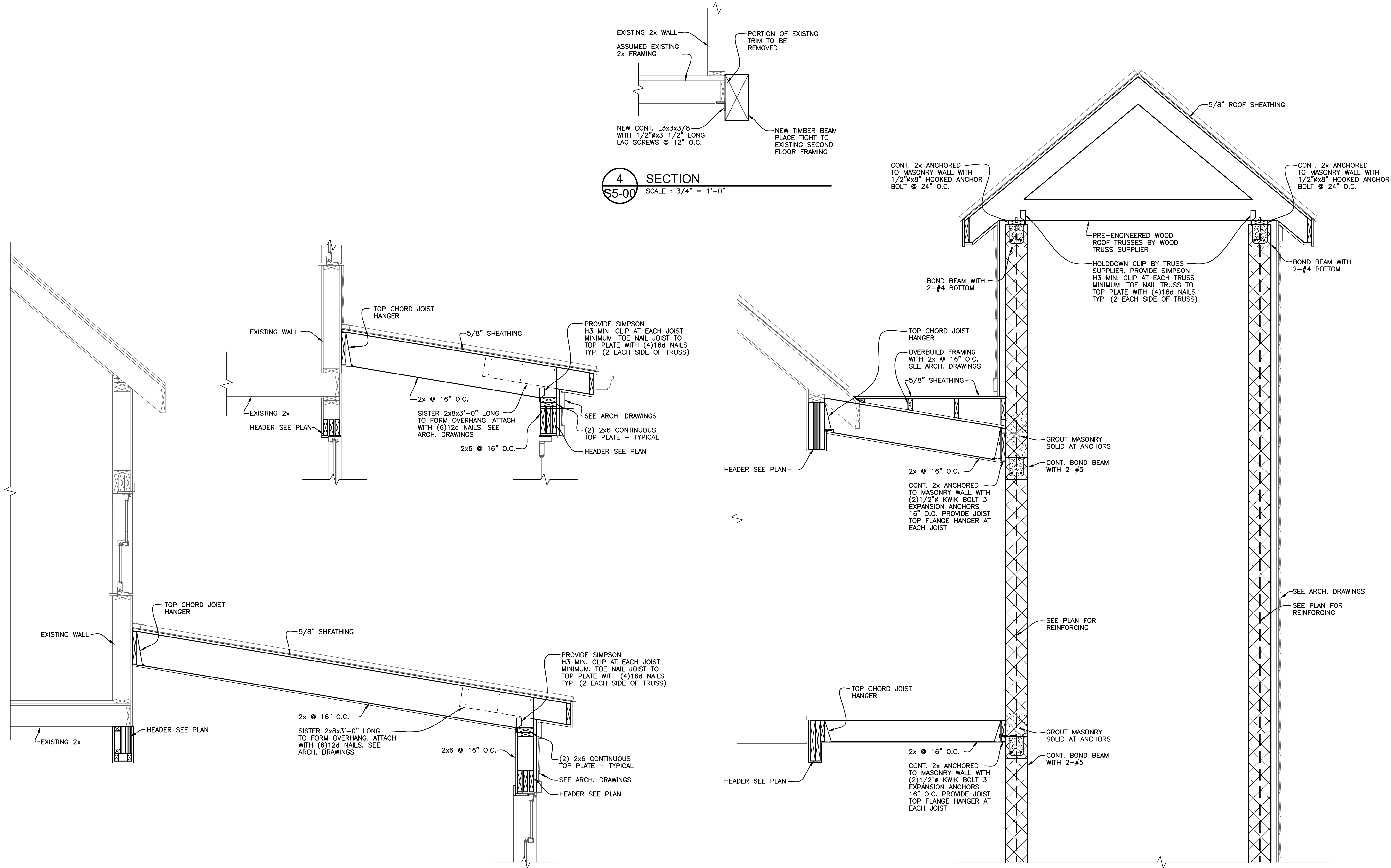
2 SECTION

SCALE : 1/2" = 1'-0"



1 SECTION

SCALE : 1/2" = 1'-0"



GENERAL DEMOLITION NOTES:

1.

REMOVE EXISTING MECHANICAL SERVICES AND EQUIPMENT AS INDICATED AND/OR DESCRIBED ALONG WITH SUPPORTS, HANGERS, CONTROLS, AND ALL RELATED ACCESSORIES.
2.

ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED TO BE EXISTING UNLESS OTHERWISE NOTED.
3.

FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING SERVICES PRIOR TO DEMOLITION.
4.

COORDINATE SHUTDOWN OF ANY EXISTING SYSTEMS WITH THE BUILDING SERVICES PERSONNEL.
5.

WHERE DUCT AND/OR PIPE INSULATION HAS BEEN DAMAGED, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
6.

ALL ITEMS REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS POSSESSION RIGHTS ARE WAIVED. REFER TO SPECIFICATIONS.
7.

LIMITS OF DEMOLITION ARE INDICATED ON THE DRAWINGS. SHOULD EXISTING FIELD CONDITIONS REQUIRE MODIFICATIONS OF THESE LIMITS FOR THE PROPER INSTALLATION OF NEW WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH MODIFICATIONS.
8.

ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED UNLESS OTHERWISE NOTED. CAP EXISTING PIPING, DUCTWORK, ETC. AT BRANCH MAINS. REMOVE ALL RELATED CONTROLS, WIRING, ETC., UNLESS OTHERWISE NOTED.

GENERAL HVAC NOTES:

1.

COORDINATE NEW DUCTWORK WITH SITE CONDITIONS, EQUIPMENT MANUFACTURER AND ALL OTHER TRADES TO PREVENT INTERFERENCE. RESIZE & FIELD ROUTE AS REQUIRED. USE EQUIVALENT DUCT SIZING.
2.

PROVIDE ACCESS AROUND ALL NEW EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS.
3.

ALL CORING THROUGH FLOORS SHALL BE BY MECHANICAL CONTRACTOR.
4.

ALL DUCTWORK SHALL BE ROUTED AS HIGH AS POSSIBLE, UNLESS OTHERWISE NOTED. COORDINATE ROUTING WITH OTHER TRADES TO PREVENT INTERFERENCE.
5.

BALANCE AIR HANDLING SYSTEMS & DISTRIBUTION INCLUDING SUPPLY, RETURN & OUTDOOR AIR TO INDICATED FLOW RATES. REFER TO HVAC PLAN & VENTILATION SCHEDULE.
6.

DUCT SIZES TO DIFFUSERS SHALL MATCH NECK SIZE OF EACH. REFER TO SCHEDULES.
7.

ALL CONCEALED SUPPLY AIR DUCTWORK SHALL BE INSULATED PER SPECIFICATIONS.
8.

UNLESS NOTED ALL DUCTWORK SHALL BE CONCEALED IN WALLS AND/OR CEILING SPACE.
9.

SEAL ALL PENETRATIONS THROUGH WALLS PER SPECIFICATIONS.
10.

COORDINATE EXACT LOCATIONS OF DIFFUSERS AND RETURN GRILLES WITH ARCHITECTURAL AND ELECTRICAL REFLECTED CEILING PLAN.
11.

COORDINATE T-STAT LOCATIONS WITH ARCHITECT.
12.

PROVIDE MANUAL BALANCING DAMPERS AT ALL ROUND BRANCH DUCT CONNECTIONS TO REGISTERS.

GENERAL UTILITY NOTES:

1.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
2.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD.
3.

DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.
4.

REWORK/ RELOCATE EXISTING GAS SERVICE TO CLEAR ADDITION. ASSIST OWNER WITH APPLYING FOR UTILITY WORK & COORDINATE WITH UTILITY COMPANY. REWORK & RECONNECT TO EXISTING GAS DISTRIBUTION IN BUILDING. FIELD VERIFY EXTENT OF WORK.

GENERAL MECHANICAL NOTES:

1.

SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS & SPECIFICATIONS THE GREATER QUANTITY OR QUALITY WORK SHALL BE PERFORMED. THIS WORK MUST BE SUBMITTED IN WRITING TO ENGINEER PRIOR TO FINAL BID FOR APPROVAL. NO EXTRAS SHALL BE ALLOWED AFTER THAT TIME. THIS SHALL ALSO PERTAIN TO ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS OR BETWEEN TRADES. ALL ITEMS SHALL BE ADDRESSED IN WRITING PRIOR TO FINAL BIDS.
2.

CONTRACTORS ARE CAUTIONED NOT TO SUBMIT A BID WITHOUT CAREFULLY REVIEWING THE COMPLETE CONTRACT DOCUMENTS INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TRADES, DRAWINGS, AND THE COMPLETE PROJECT MANUAL. NO ADDITIONAL CHARGE TO CONTRACT PRICE WILL BE ALLOWED FOR ADDITIONAL CONTRACTOR EXPENSE RESULTING FROM A FAILURE TO COMPLY WITH THIS REQUIREMENT.
3.

NO MODIFICATIONS TO THE SPECIFICATIONS, CONSTRUCTION DOCUMENTS, OR INTENT OF THE SCOPE OF WORK SHALL BE ALLOWED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ENGINEER. ALL MODIFICATIONS, CHANGE ORDERS, ALTERNATES, VALUE ENGINEERING, OR ANY REVISIONS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND ENGINEER FOR REVIEW.
4.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED EQUIPMENT AND OWNER PROVIDED EQUIPMENT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES RESPONSIBLE FOR FINAL CONNECTION OF ALL EXISTING AND RELOCATED EQUIPMENT.

GENERAL PLUMBING NOTES:

1.









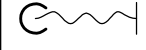
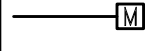
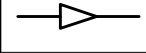

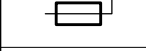
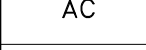

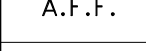
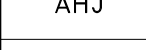
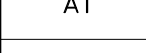
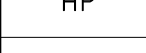
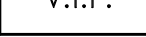
AT EACH CONNECTION OF GAS SUPPLY TO EQUIPMENT, PROVIDE A PIPE UNION, GAS SERVICE COCK, TEE, AND 12" LONG DIRT LEG WITH CAP.
2.

AS REQUIRED TO HANDLE ELEVATED GAS PRESSURE, PROVIDE GAS PRESSURE REGULATORS AT EQUIPMENT OR IN MAINS SERVING GROUPS OF EQUIPMENT. REGULATORS SHALL BE EQUAL TO MAXITROL 210 SERIES-BALANCED VALVE/POSITIVE LOCK-UP TYPE & CAPABLE OF INTERMITTENT 10 PSI SUPPLY OVERPRESSURE PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING DELIVERY PRESSURE & MAXIMUM INLET PRESSURE OF EQUIPMENT & ADJUST DESIGN ACCORDINGLY. COORDINATE WITH THE GAS UTILITY FOR REQUIRED ADJUSTMENTS AT THE SERVICE MANIFOLD NECESSARY TO PROPERLY FIRE ALL EQUIPMENT.

MECHANICAL ALTERNATE M1:

1.

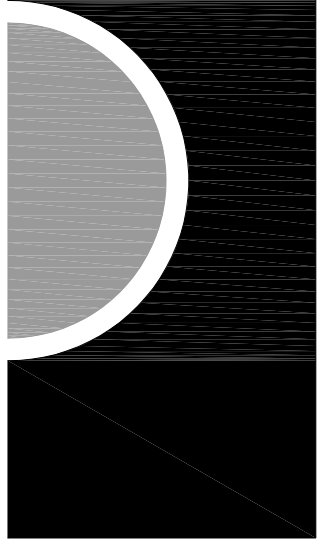
PROVIDE ALTERNATE PRICING TO REPLACE FIVE (5) FURNACE SYSTEMS AS NEW INCLUDING SPLIT DX COOLING CASED COIL & REMOTE OUTDOOR AIR COOLED CONDENSING UNIT. THESE SHALL REPLACE OLDER LENNOX UNITS THAT WERE INSTALLED CIRCA 2002. APPROX COOLING CAPACITY AS INDICATED ON THE DRAWINGS IS TO BE FIELD VERIFIED. MATCH FURNACE INPUT RATING. SOME EXISTING NAMEPLATES ARE NOT LEGIBLE. ADAPT TO & RE-USE EXISTING AIR DISTRIBUTION. PROVIDE NEW PROGRAMMABLE THERMOSTAT & WIRING. RE-USE GAS VENTING IF POSSIBLE OR REPLACE AS-NEW. RE-USE ELECTRICAL CIRCUITING. NEW OUTDOOR UNITS WILL BE INSTALLED IN NEW LOCATIONS INDICATED TO CLEAR NEW CONSTRUCTION. PROVIDE DX REFRIGERANT PIPING.

MECHANICAL LEGEND			
	AIR BALANCING DAMPER	CFH	CUBIC FEET PER HOUR
	GAS METER	CFM	CUBIC FEET PER MINUTE
	NEW CONNECTION TO EXISTING	DN	DOWN
	DEMOLITION LIMITS	(E)	EXISTING
	DIAMETER	EDH	ELECTRIC DUCT HEATER
	PLUG VALVE NON LUBRICATED TYPE (KEYPORT 400 SERIES) (GAS COCK)	EF	EXHAUST FAN
	RETURN REGISTER	ET	ELECTRICAL TRADES
	SUPPLY REGISTER	GC	GENERAL CONTRACTOR
	FLEXIBLE DUCT	HVAC	HEATING VENTILATING & AIR CONDITIONING
	MOTORIZED DAMPER	MT	MECHANICAL TRADES
	REDUCER	O.A.	OUTSIDE AIR
	FLEXIBLE DUCT CONNECTION	R.A.	RETURN AIR
	SPIN-IN FITTING WITH VOLUME DAMPER	RG	RETURN GRILLE
	AIR CONDITIONING	EG	EXHAUST GRILLE
	AIR COOLED CONDENSING UNIT	S.A.	SUPPLY AIR
	ABOVE FINISHED FLOOR	SR	SUPPLY REGISTER
	AHJ AUTHORITY HAVING JURISDICTION	TCC	TEMPERATURE CONTROLS CONTRACTOR
	AT ARCHITECTURAL TRADES	G	NATURAL GAS
	HP HEAT PUMP	DX	DX REFRIGERANT
	V.I.F. VERIFY IN FIELD	UOD	UNLESS OTHERWISE DETERMINED

MECHANICAL DRAWING INDEX	
SHEET NO.	SHEET TITLE
M0-01	MECHANICAL LEGEND, SHEET INDEX AND DETAILS
M0-02	MECHANICAL SCHEDULES
M0-03	MECHANICAL SCHEDULES
MD-00	BASEMENT DEMO PLAN
MD-01	MAIN LEVEL DEMO PLAN
MD-02	SECOND LEVEL DEMO PLAN
M1-00	BASEMENT MECHANICAL PLAN
M1-01	MAIN LEVEL MECHANICAL PLAN
M1-02	SECOND LEVEL MECHANICAL PLAN



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CONSULTANT



KEY PLAN

OWNER

City of Dexter

PROJECT NAME

New City Hall
Renovations

PROJECT NO.

21-113

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SHEET NAME

MECHANICAL
LEGEND, SHEET
INDEX AND DETAILS

SHEET NO.

M0-01

SPLIT DX HEAT PUMP SCHEDULE																																
INDOOR UNIT TAG	OUTDOOR UNIT TAG	SYSTEM TYPE	INDOOR UNIT TYPE	MANUFACTURER & MODEL NUMBERS				DX CAPACITIES						INDOOR UNIT SUPPLEMENTAL ELECTRIC HEAT			INDOOR UNIT ELECTRICAL				OUTDOOR UNIT ELECTRICAL			INDOOR UNIT DIMENSIONS AND WEIGHT		OUTDOOR UNIT DIMENSIONS AND WEIGHT		EFFICIENCY				NOTES/ ACCESSORIES
				MANUFACTURER	INDOOR UNIT	OUTDOOR UNIT	SYSTEM MODEL	NOMINAL TONS COOLING	SYSTEM RATED COOLING (MBH)	SYSTEM RATED HEATING (MBH)	REFRIG	OUTDOOR TEMP OPERATING RANGE COOLING (°F)	OUTDOOR TEMP OPERATING RANGE HEATING (°F)	KW	MBH	HEATING (MBH)	VOLTAGE	MCA	MOP	POWERED FROM OUTDOOR UNIT (YES OR NO)	VOLTAGE	MCA	MOP	L X W X H (IN)	WT (LBS)	W X H X D (IN)	WT (LBS)	SEER	EER (COOL)	COP (HEAT)	HSPF (HEAT)	
HP-1A-I, HP-1B-I	HP-1-O	THREE INDOOR HEAT PUMPS W/ ONE OUTDOOR INVERTER DRIVEN HEAT PUMP	CEILING MOUNT DUCTLESS CASSETTE, 1-TON COOLING EACH	FUJITSU	AUJ12RLF	36RLXFZH	3-TON OUTDOOR UNIT WITH 3 X 1-TON INDOOR UNITS	35,200	36,400	R410A	14 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA	YES	208-230/1/60	31.5	40	28 X 28 FACE GRILLE X 11 HEIGHT (MOUNTS THROUGH 2 X 2 T-BAR OPENING)	33	39 X 40 X 16	205	20.00	13.00	13.60	10.30	1	
HP-1C-I			HIGH WALL DUCTLESS, 1-TON COOLING										NA	NA	NA	208-230/1/60	NA	NA	YES													
HP-2-I	HP-2-O	INVERTER DRIVEN HEAT PUMP	WALL MOUNT DUCTLESS	FUJITSU	ASU30RLE	AOU30RLXEH	30RLXEH	2.5	30,000	32,000	R410A	-5 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA	YES	208-230/1/60	25.6	30	45 X 11 X 14	40	36 X 51 X 15	205	18.70	12.50	11.70	11.80	1
HP-3-I	HP-3-O	INVERTER DRIVEN HEAT PUMP	WALL MOUNT DUCTLESS	FUJITSU	ASU30RLE	AOU30RLXEH	30RLXEH	2.5	30,000	32,000	R410A	-5 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA	YES	208-230/1/60	25.6	30	45 X 11 X 14	40	36 X 51 X 15	205	18.70	12.50	11.70	11.80	1
HP-4-I	HP-4-O	INVERTER DRIVEN HEAT PUMP	WALL MOUNT DUCTLESS	FUJITSU	ASU30RLE	AOU30RLXEH	30RLXEH	2.5	30,000	32,000	R410A	-5 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA	YES	208-230/1/60	25.6	30	45 X 11 X 14	40	36 X 51 X 15	205	18.70	12.50	11.70	11.80	1
NOTES & ACCESSORIES																																
1	AUTO CHANGEOVER, WIRED & WIRELESS REMOTE CONTROLLERS, AIRFLOW ADJUSTMENT, BASE PAN HEATER, STANDARD WARRANTY: 5 YEARS PARTS, 7 YEARS COMPRESSOR, 24" HIGH BIGFOOT MFR CONDENSING UNIT ROOF SUPPORT SYSTEM.																															

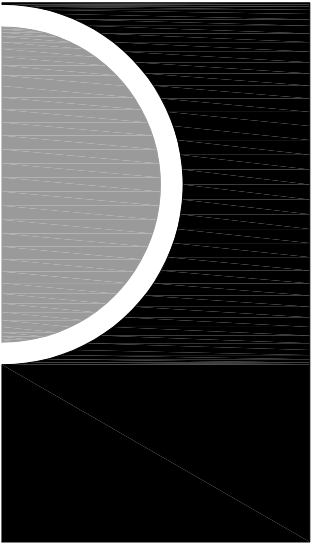
ENERGY RECOVERY VENTILATOR SCHEDULE																	
TAG	RENEW-AIRE MODEL NUMBER	CFM	EXTERNAL STATIC PRESSURE (IN W.C.)	FILTER EFFICIENCY	TOTAL EXCHANGE EFFECTIVENESS (%)			ELECTRICAL POWER DATA					UNIT PHYSICAL DATA				NOTES
					WINTER	SUMMER	SENSIBLE	UNIT VOLTAGE	SUPPLY AIR MOTOR HP	EXHAUST AIR MOTOR HP	MCA (AMPS)	MOPD (AMPS)	LENGTH (IN)	WIDTH (IN)	HEIGHT (IN)	WEIGHT (LBS)	
ERV-1	H3-1XJINH- S15EE-DGNT- L1	800	0.4	2" MERV 8	69	49	69	208/230/60/1	0.5	0.5	10.8	15.0	50	24	36	280	ALL BELOW
STATIC PLATE HX, HEAT AND HUMIDITY TRANSFER, NON-FUSED DISCONNECT, DIRECT DRIVE BLOWER MOTORS, MOTORIZED ISOLATION DAMPERS, 24V TRANSFORMER/ RELAY PACKAGE, SINGLE POINT POWER, EC MOTORS, POWERED DAMPERS, INTERLOCK TO RUN WITH RESPECTIVE FIRNACE SYSTEM.																	

GRILLE, REGISTER, AND DIFFUSER SCHEDULE								
TAG	SERVICE	BASIS OF DESIGN MFR	BASIS OF DESIGN MODEL NUMBER	CFM RANGE	NECK SIZE (IN)	FACE DIMENSIONS (IN)	MOUNTING	NOTES/ ACCESSORIES
S-1	FLOOR SUPPLY AIR REGISTER	PRICE	LFG	0 - 160	12 X 6	NECK DIMENSION WITH 1 INCH BORDER ALL AROUND	FLOOR/ SURFACE	1
NOTES & ACCESSORIES								
1	EXTRUDED ALUMINUM HEAVY DUTY PRESSED CORE CONSTRUCTION, HEAVY DUTY EXTRUDED ALUMINUM BORDER WITH REINFORCING SUPPORT BARS, CORE BARS PARALLEL TO LONG DIMENSION, 0 DEG DEFLECTION, 7/16" PENCIL PROOF BAR SPACING, COLOR AND FINISH TO BE SELECTED BY ARCHITECT - INCLUDE CHOICES IN SUBMITTAL PACKAGE.							

ELECTRIC FAN FORCED HEATER SCHEDULE													
TAG	BASIS OF DESIGN MFR	BASIS OF DESIGN MODEL NUMBER	ARRANGEMENT	KW	BTU/HR	CFM	TEMP RISE (°F)	VOLTAGE	HIGH SPEED AMPS	MOUNTING	ROUGH DIMENSIONS (IN)	WEIGHT (LBS)	NOTES/ ACCESSORIES
EUH-1	MARKEL	SERIES 3480 HEAVY DUTY COMMERCIAL RECESSED CEILING HEATER	FACE RETURN/ DISCHARGE	3.0	10,200	600	22	208/1/60	14.4	RECESSED CEILING	24" SQUARE X 10" HEIGHT	50	1
NOTES & ACCESSORIES													
1	DISCONNECT SWITCH, MANUAL RESET THERMAL LIMIT, WHITE POWDER COATED 20 GAUGE STEEL GRILL, 24V CONTROL TRNASFORMER, ENCLOSED STEEL FIN SHEATH ELEMENT, DISCONNECT SWITCH, UT 1001 REMOTE LOW VOLTAGE THERMOSTAT.												



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PROJECT NAME

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PROJECT NO.

21-113

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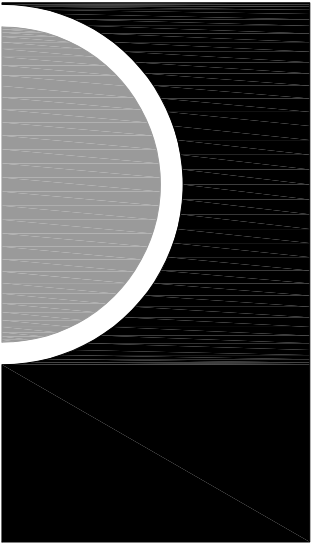
SS

SHEET NAME

MECHANICAL SCHEDULES

SHEET NO.

M0-03



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SHEET NAME

BASEMENT
DEMO PLAN

SHEET NO.

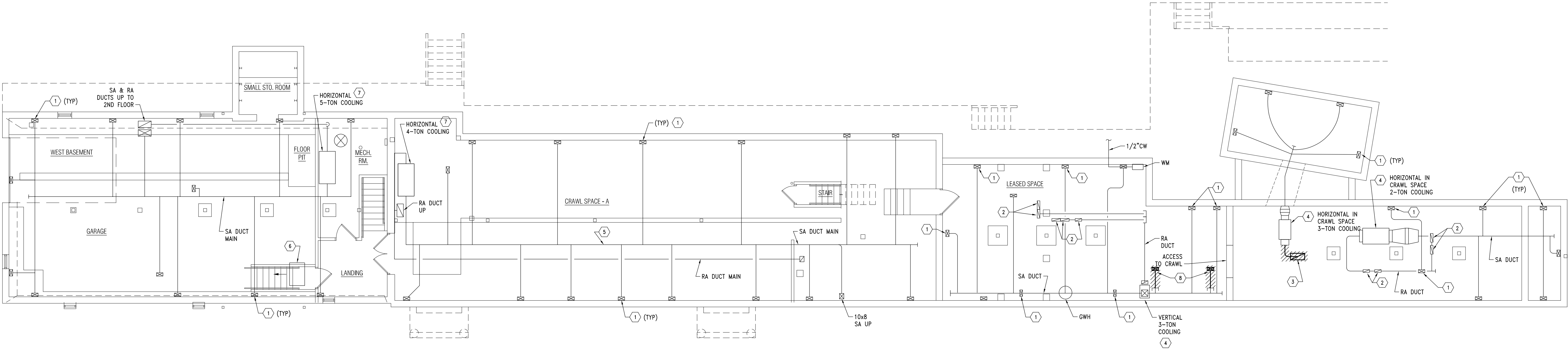
MD-00

GENERAL NOTES (THIS SHEET):

1. EXISTING HVAC SYSTEMS SHALL REMAIN UNLESS OTHERWISE NOTED FOR REWORK OR REPLACEMENT.

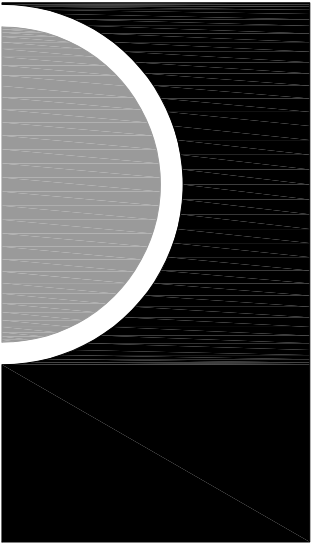
KEYED NOTES (THIS SHEET):

- 1 SA BOOT UP TO PERIMETER SUPPLY REGISTER ON FIRST FLOOR.
2 RA DUCT UP IN WALL CAVITY ABOVE TO SIDEWALL RETURN REGISTER ON FIRST FLOOR.
3 16"Ø FLEX DUCT & 24x10 UP TO FLOOR RA GRILLE ON FIRST FLOOR. REMOVE & REWORK FOR NEW LOCATION.
4 LENNOX FURNACE. APPROX COOLING CAPACITY AS INDICATED (V.I.F.). UNITS ARE CIRCA YEAR 2002. SEE MECHANICAL ALTERNATES ON MD-01 & NEW WORK PLANS FOR REPLACEMENT.
5 PATCH OPENING IN SA DUCT MAIN. (V.I.F.).
6 GAS UNIT HEADER. REPAIR VENTING (V.I.F.).
7 AMERICAN STANDARD FURNACE. APPROX CAPACITY AS INDICATED (V.I.F.) UNITS ARE CIRCA YEAR 2013.
8 DEMO SA RUNOUT TO 1ST FLOOR SR. CAP AT MAIN.



Basement Demo Plan
1/8" = 1'-0"





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SHEET NAME

MAIN LEVEL
DEMO PLAN

SHEET NO.

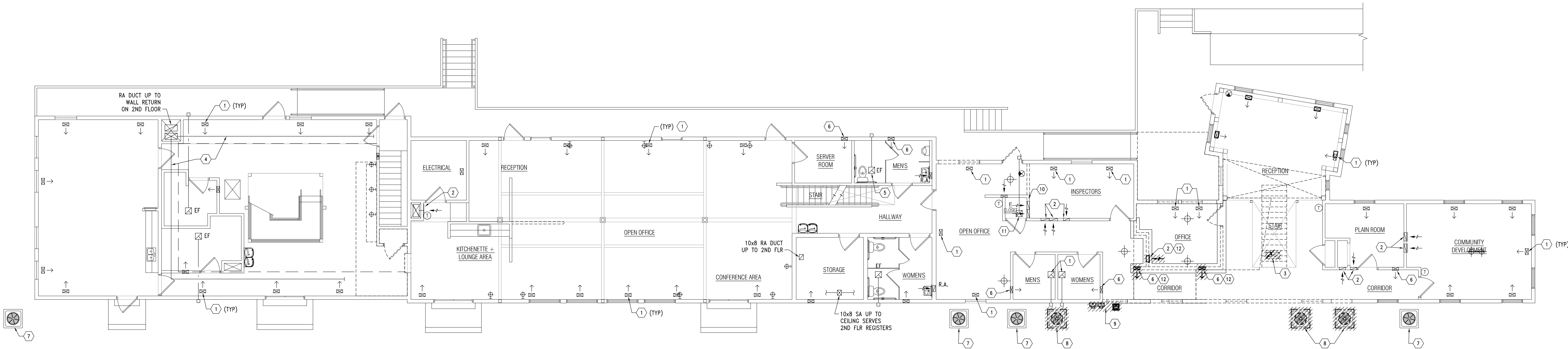
MD-01

GENERAL NOTES (THIS SHEET):

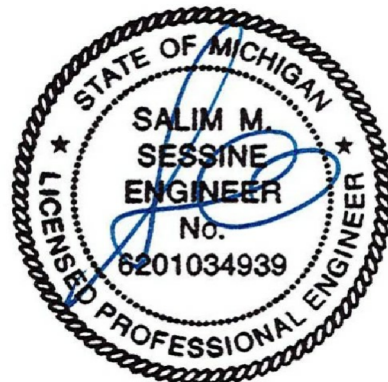
1. EXISTING HVAC SYSTEMS SHALL REMAIN UNLESS OTHERWISE NOTED FOR REWORK OR REPLACEMENT.

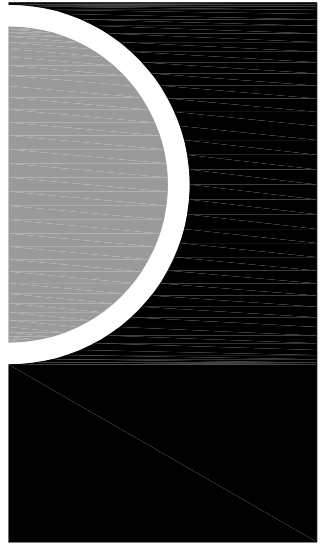
KEYED NOTES (THIS SHEET):

- 1 FLOOR SUPPLY AIR REGISTER.
2 WALL RETURN AIR GRILLE.
3 26x12 OD, 24x10 ID FLOOR RA GRILLE. REMOVE & REWORK FOR NEW CONSTRUCTION.
4 SA DUCT IN SOFFIT SERVING FLOOR SA REGISTERS ON 2ND FLOOR.
5 CEILING EXHAUST FAN WITH EXHAUST TERMINATION THRU WALL.
6 WALL SA REGISTER
7 ACCU ON GRADE. VERIFY FURNACE ASSOCIATION & RETAG.
8 RELOCATE ACCU TO BE CLEAR OF NEW CONSTRUCTION. REWORK DX PIPING & ELECTRICAL (V.I.F.)
9 NATURAL GAS SERVICE MANIFOLD METER & REGULATORS. COORDINATE WITH UTILITY TO RELOCATE & REWORK FOR NEW CONSTRUCTION.
10 RA GRILLE WAS REMOVED (HIGH ON WALL). RA OPENING REMAINS.
11 CEILING EXHAUST FAN WITH EXPOSED SPIRAL EA DUCT TO WALL CAP TERMINATION.
12 DEMO SUPPLY OR RETURN AIR GRILLE & DUCT RUNOUT DN TO BASEMENT & CAP AT MAIN.



N
1
Main Level Demo Plan
1/8" = 1'-0"





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P 586.469.3600

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CONSULTANT



KEY PLAN

OWNER

City of Dexter

PROJECT NAME

New City Hall
Renovations

PROJECT NO.

21-113

ISSUES / REVISIONS

Permits 12/22/2021

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SS

SHEET NAME

SECOND LEVEL
DEMO PLAN

SHEET NO.

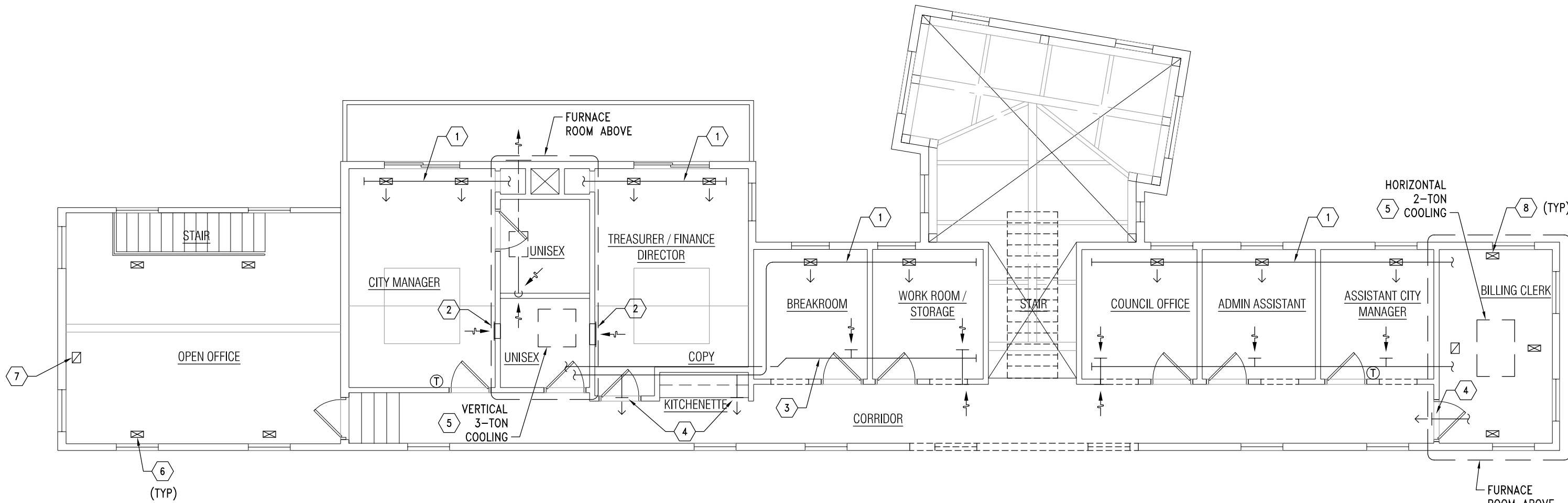
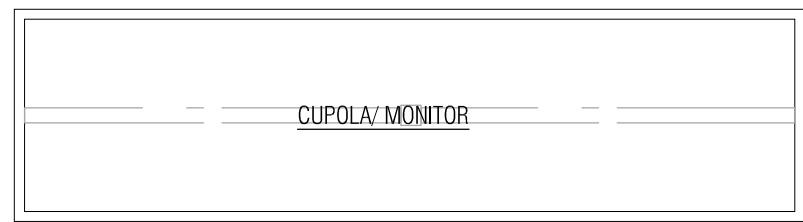
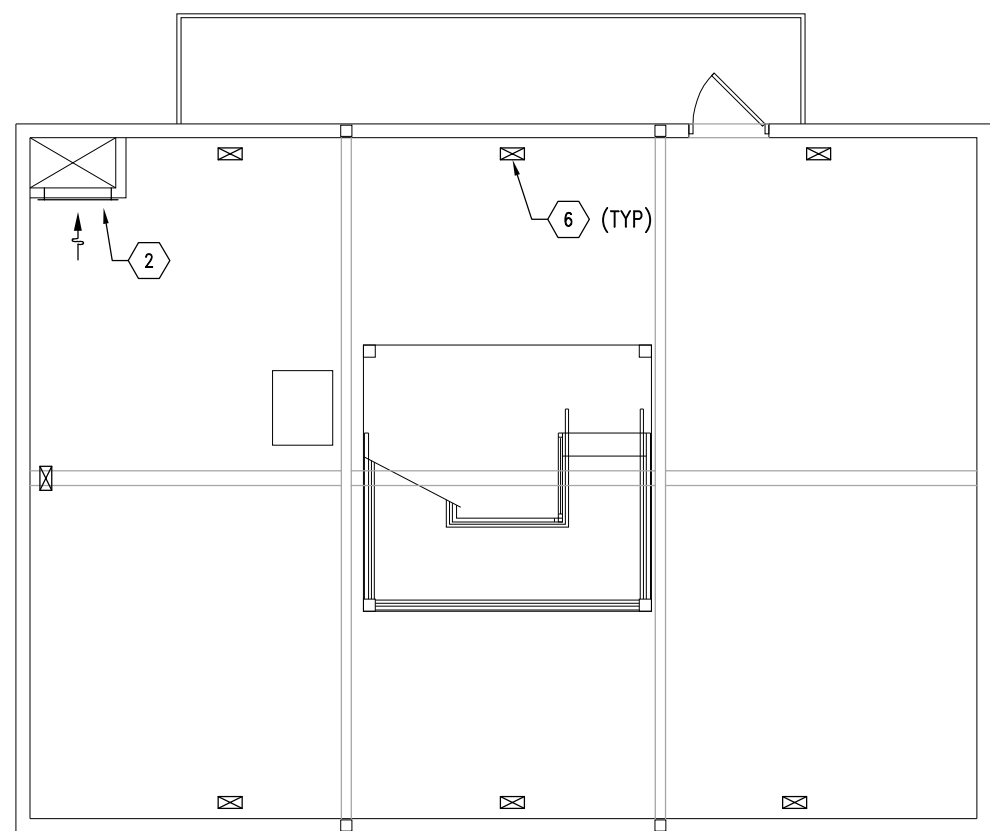
MD-02

GENERAL NOTES (THIS SHEET):

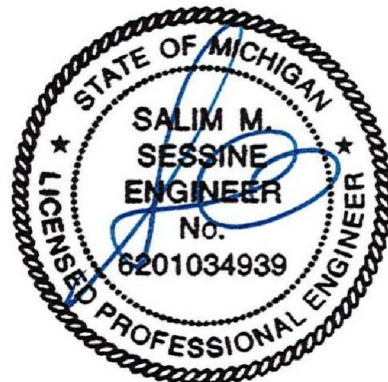
1. EXISTING HVAC SYSTEMS SHALL REMAIN UNLESS OTHERWISE NOTED FOR REWORK OR REPLACEMENT.

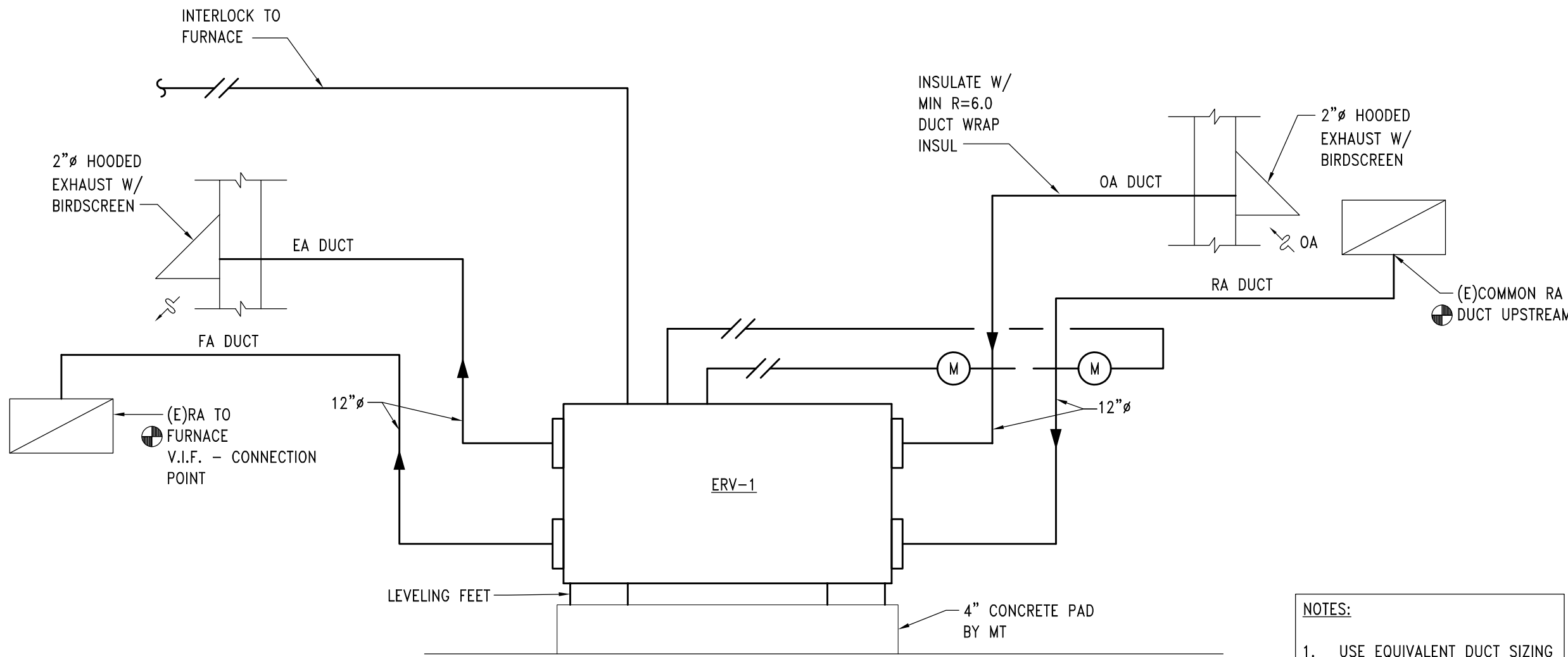
KEYED NOTES (THIS SHEET):

- 1 EXPOSED SPIRAL SA DUCT AT CEILING WITH SA REGISTERS.
2 WALL RETURN AIR REGISTER.
3 EXPOSED SPIRAL RA DUCT AT CEILING WITH RA REGISTERS.
4 WALL SUPPLY AIR REGISTER.
5 LENNOX FURNACE WITH SPLIT AC, APPROX COOLING CAPACITY AS INDICATED (V.I.F.). UNITS ARE CIRCA YEAR 2002. SEE MECHANICAL ALTERNATES ON MD-01 FOR REPLACEMENT.
6 FLOOR SA REGISTER.
7 FLOOR RA REGISTER.
8 CEILING SA REGISTER.
9 CEILING RA REGISTER.



N
1
Second Level Demo Plan
1/8" = 1'-0"





ENERGY RECOVERY VENTILATOR DIAGRAM
NTS

SEQUENCE:

- ERV RUNS WHEN FURNACE RUNS.
- OA & RA DAMPERS OPEN WHEN UNIT RUNS & CLOSE WHEN UNIT IS OFF.

NOTES:

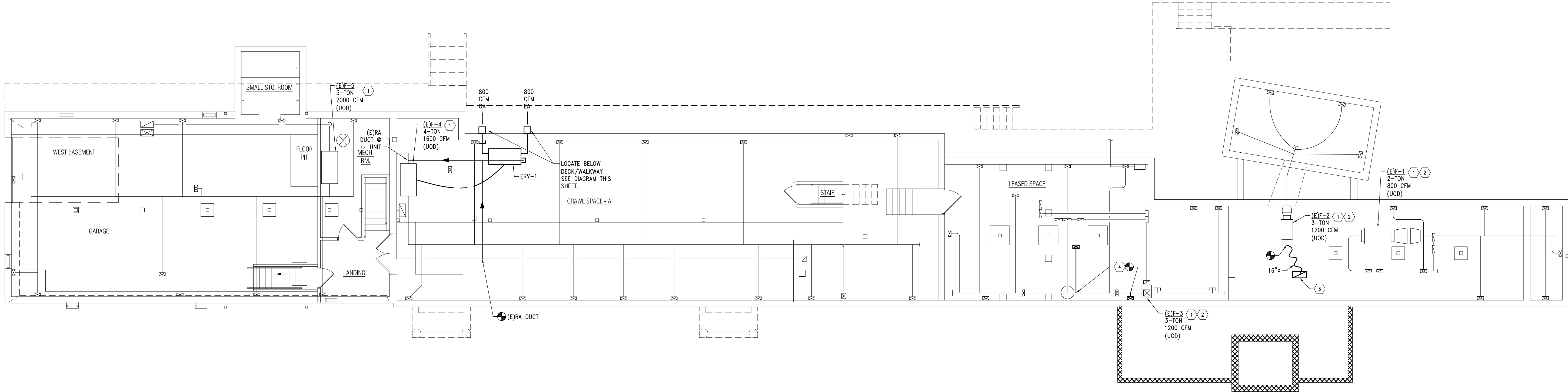
- USE EQUIVALENT DUCT SIZING AS REQUIRED FOR HEADROOM IN BASEMENT.
- ALL CONTROLS, WIRING, ETC. BY MT IN COMPLIANCE W/ ERV I.O.M.

GENERAL NOTES (THIS SHEET):

- REBALANCE ALL EXISTING FURNACE SYSTEMS & INDIVIDUAL ASSOCIATED SUPPLY AIR REGISTERS TO CFM INDICATED ON PLAN.
- REBALANCE OUTDOOR AIR INTAKES TO REQUIRED AMOUNT PER VENTILATION SCHEDULE.

KEYED NOTES:

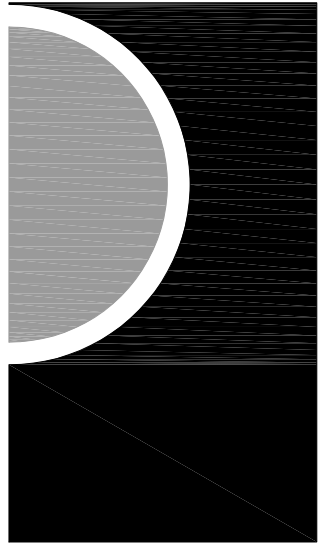
- PROVIDE MAINTENANCE INSPECTION & SERVICE TO EXISTING GAS FURNACE & SPLIT AC SYSTEMS. SUBMIT ASSESSMENT REPORT TO OWNER IDENTIFYING ANY ISSUES FOR CONSIDERATION OF REPAIR VERSUS REPLACEMENT.
- EXISTING LENNOX SEALED COMBUSTION FURNACE & SPLIT A/C SYSTEM INSTALLED CIRCA YEAR 2002. FIELD VERIFY CAPACITY OF FURNACE & SPLIT AC & PROVIDE ALTERNATE PRICING TO REPLACE THE SYSTEM. SEE M0.01.
- NEW LOCATION FOR (E) FLOOR RETURN AIR GRILLE. PROVIDE NEW BOOT & INSULATED FLEX DUCT. COORDINATE WITH (E) FLOOR JOISTS & ELEMENTS. VERIFY SIZING OF EXISTING RA DUCT TO UNIT CONNECTION.
- PROVIDE NEW 6"Ø RUNOUT & BOOT FOR NEW FLOOR SA REGISTER ON FIRST FLOOR.



N
1
Basement Mechanical Plan
1/8" = 1'-0"



PARTNERS



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MOUNT CLEMENS, MI 48043
P 586.469.3600

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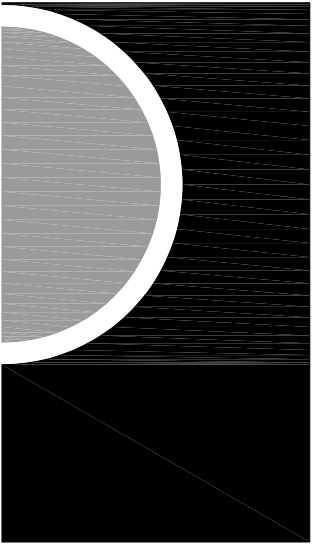
SS

SHEET NAME

**BASEMENT
MECHANICAL
PLAN**

SHEET NO.

M1-00



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SHEET NAME

MAIN LEVEL
MECHANICAL
PLAN

SHEET NO.

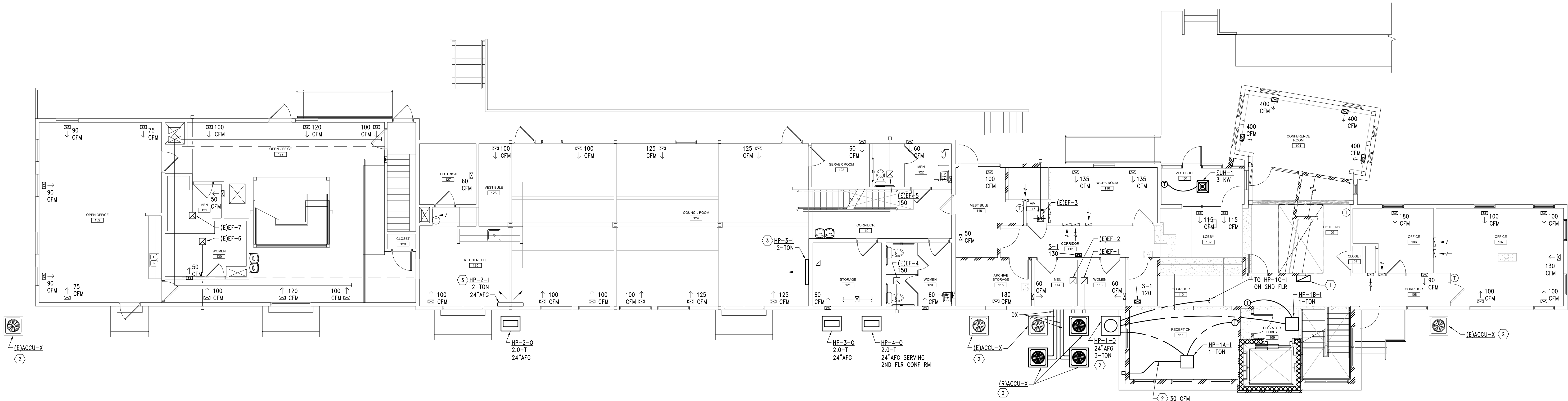
M1-01

GENERAL NOTES (THIS SHEET):

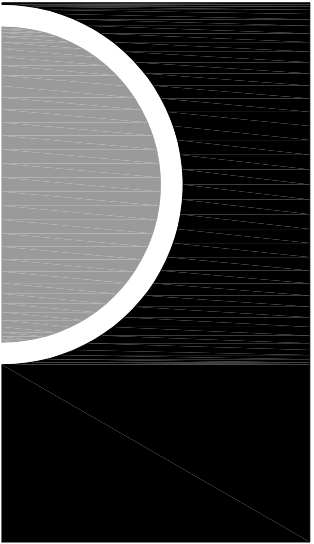
- REBALANCE ALL EXISTING FURNACE SYSTEMS & INDIVIDUAL ASSOCIATED REGISTERS TO CFM INDICATED ON PLAN.
- ROUTE AC CONDENSATE TO DRAINS IN BASEMENT. V.I.F.

KEYED NOTES:

- NEW LOCATION FOR (E) FLOOR RETURN AIR GRILLE. CLEAN & RECONDITION. REPLACE IN KIND IF DAMAGED. SEE DEMO PLAN FOR PREVIOUS LOCATION. COORDINATE WITH FLOOR JOISTS & (E) ELEMENTS.
- PROVIDE 4"Ø OA DUCTING WITH HOODED WALL CAP W/ BIRDSCREEN. INSULATE DUCT W/ R=6 DUCT WRAP. PROVIDE MANUAL DAMPER & BALANCE TO 30 CFM.
- MOUNT AT 80" A.F.F. U.O.D. DURING INSTALLATION & ARCHITECT. COMPLY W/ MFR I.O.M.



N
1
Main Level Mechanical Plan
1/8" = 1'-0"



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SHEET NAME

SECOND LEVEL
MECHANICAL
PLAN

SHEET NO.

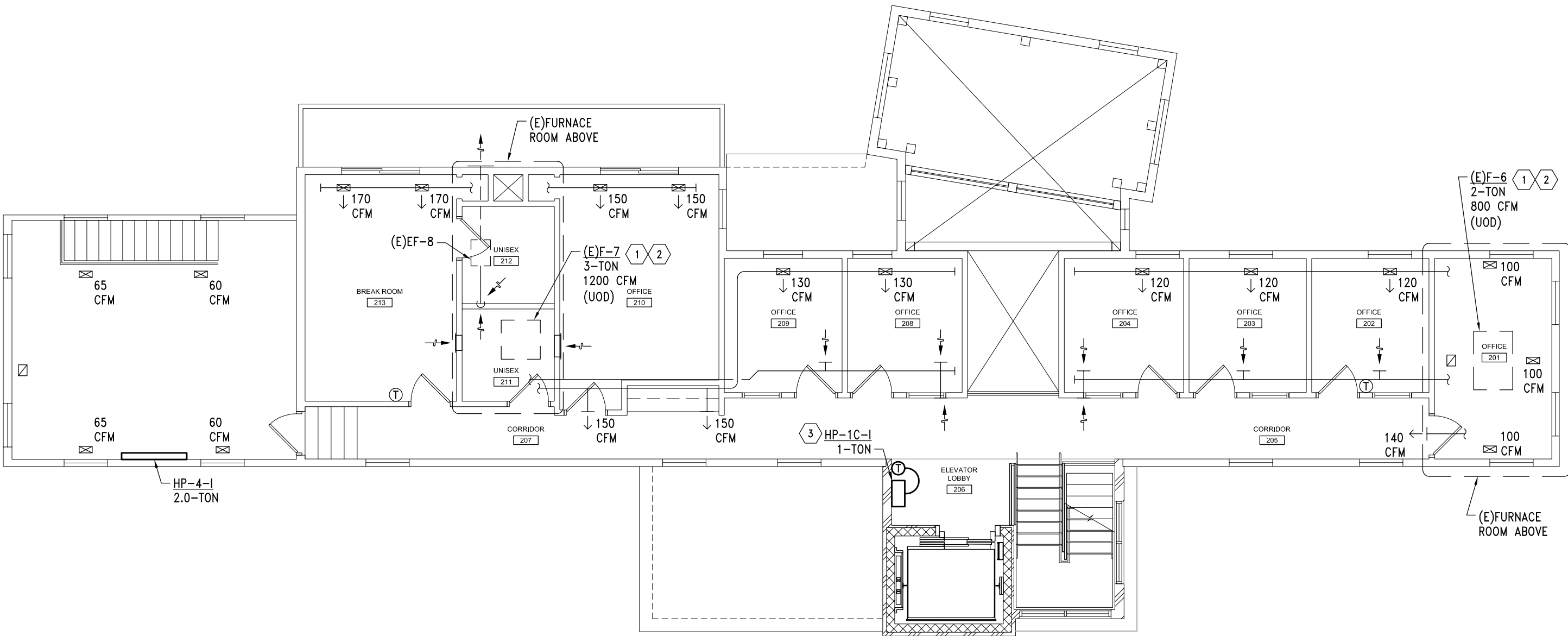
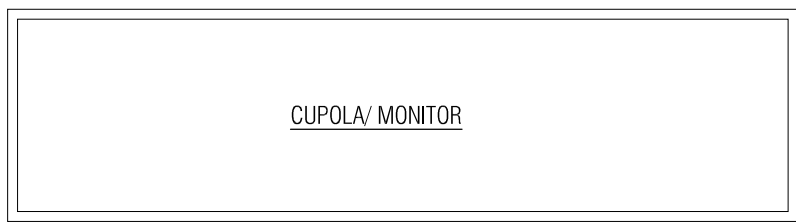
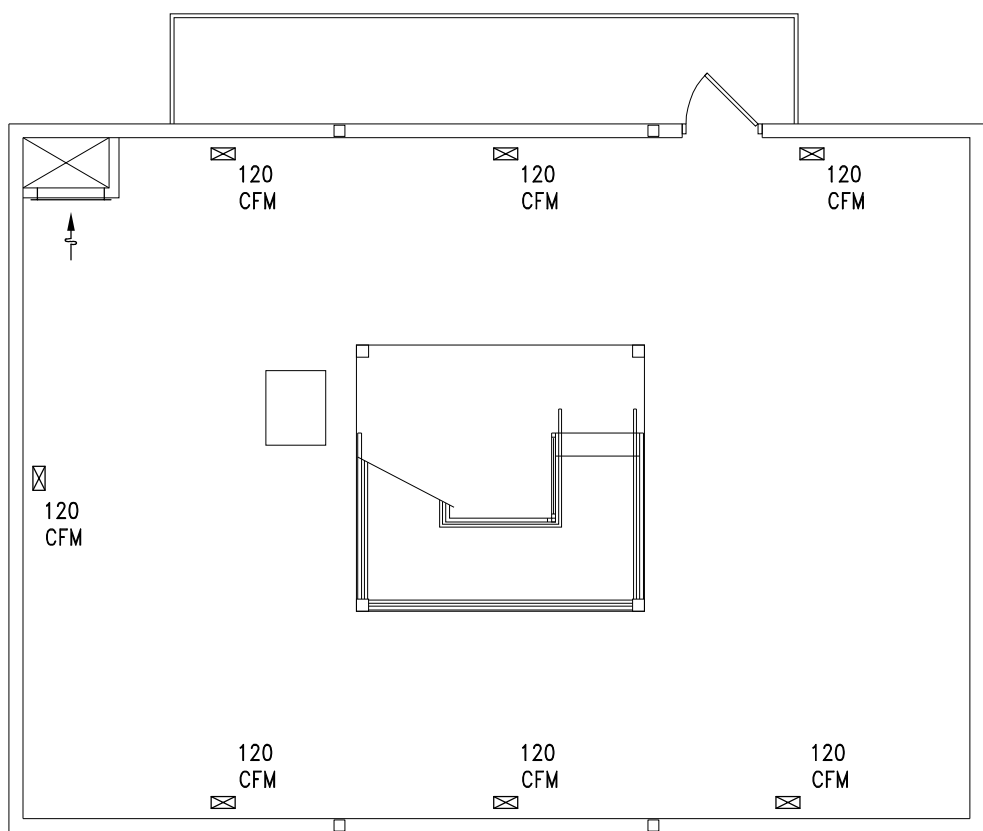
M1-02

GENERAL NOTES (THIS SHEET):

1. REBALANCE ALL EXISTING FURNACE SYSTEMS & INDIVIDUAL ASSOCIATED SUPPLY AIR REGISTERS TO CFM INDICATED ON PLAN.
2. ROUTE AC CONDENSATE TO DRAINS IN BASEMENT. V.I.F.

KEYED NOTES:

- 1 PROVIDE MAINTENANCE INSPECTION & SERVICE TO EXISTING GAS FURNACE & SPLIT AC SYSTEMS. SUBMIT ASSESSMENT REPORT TO OWNER IDENTIFYING ANY ISSUES FOR CONSIDERATION OF REPAIR VERSUS REPLACEMENT.
- 2 EXISTING LENNOX SEALED COMBUSTION FURNACE & SPLIT A/C SYSTEM INSTALLED CIRCA YEAR 2002. FIELD VERIFY CAPACITY OF FURNACE & SPLIT AC & PROVIDE ALTERNATE PRICING TO REPLACE THE SYSTEM. SEE M0.01.
- 3 MOUNT @ 80" A.F.F. U.O.D. DURING INSTALLATION & ARCHITECT. COMPLY W/ MFR. I.O.M.



Second Level Mechanical Plan
1/8" = 1'-0"



ELECTRICAL LEGEND *

A	FIXTURE TYPE	
	1x4 LIGHT FIXTURE	
	POLE MOUNTED LIGHTING FIXTURE	
	STRIP LIGHTING FIXTURE	
	2'x2' OR 2'x4' LIGHTING FIXTURE	
	FULL SHADED LIGHTING FIXTURES ARE WIRED UNSWITCHED NIGHT LIGHTS	
	HALF SHADED FIXTURES ARE FIXTURES PROVIDED WITH BUILT-IN EMERGENCY BATTERY PACK FOR EGRESS LIGHTING	
	RECESSED DOWN LIGHT	
	WALL MOUNTED LIGHTING FIXTURE	
	TRACK LIGHTING FIXTURE	
	EXIT LIGHTING FIXTURE -- SHADING INDICATES ILLUMINATED FACE (S) CHEVRONS AS INDICATED	
	EMERGENCY LIGHTING UNIT	
	COMBINATION OF EXIST AND EMERGENCY LIGHTING UNIT	
S	SINGLE POLE LIGHT SWITCH	
S3	THREE WAY LIGHT SWITCH	
S4	FOUR WAY LIGHT SWITCH	
Sk	KEY OPERATED SWITCH	
Sp	LIGHT SWITCH WITH PILOT LIGHT	
Sp3	THREE WAY LIGHT SWITCH WITH PILOT LIGHT	
So	DIMMER SWITCH, COMPATIBLE WITH LIGHTS CONTROLLED	
Swd	DIMMER SWITCH WITH WALL OCCUPANCY SENSOR (SINGLE POLE)	
Sds	THREE WAY LIGHT SWITCH WITH DIMMER	
St ST	TIMER SWITCH	
Slv	LOW VOLTAGE CONTROL STATION WITH DIMMING CAPABILITIES, NUMBER OF BUTTONS AS INDICATED TO PROVIDE PRESET SCENES, RISER, LOWER, ON, OFF CONTROL FOR ZONES INDICATED, COORDINATE WITH LIGHT DIMMING CONTRACTOR FOR DEVICE MODEL NUMBERS, QUANTITIES, LOCATIONS, AND ADDITIONAL REQUIREMENTS.	
	RELAY PACK WITH 0-10V DIMMING OUTPUT	
	CEILING MOUNTED OCCUPANCY SENSOR. DUAL TECHNOLOGY (PASSIVE INFRARED AND MICROPHONIC/ULTRASONIC), WITH AUXILIARY RELAY FOR HVAC CONTROL. PROVIDE QUANTITY OF 20A, 120V/277V RATED POWER PACKS AND RELAY PACKS AS REQUIRED TO CONTROL SWITCH LEGS INDICATED. ALL FIXTURES IN ROOM/SPACE ARE TO BE CONTROLLED BY THE SENSORS.	
Sw	WALL MOUNTED VACANCY SENSOR, SINGLE POLE. DUAL TECHNOLOGY (PASSIVE INFRARED AND MICROPHONICS/ULTRASONIC), 120/277V. SWITCH IS RATED 800W AT 120V AND 1200W AT 277V, 1/4 HP. IVORY WITH STAINLESS STEEL COVERPLATE. FACTORY COLOR-MATCHED PLATE IS NOT ACCEPTABLE.	
Sw2	SAME AS Sw EXCEPT WITH DUAL POLE	
	SINGLE RECEPTACLE	
	DUPLEX RECEPTACLE	
	QUADRUPLEX RECEPTACLE	
	DUPLEX RECEPTACLE WITH GROUND FAULT (GFCI)	
	FACELESS GROUND FAULT CIRCUIT INTERRUPTER	
	SAME AS DUPLEX RECEPTACLE EXCEPT CEILING MOUNTED	
	SAME AS DUPLEX RECEPTACLE EXCEPT SHOW WINDOW TO BE MOUNTED 6" ABOVE WINDOW, COORDINATE WITH OWNER/ARCHITECT PRIOR TO INSTALLATION	
	COMBINATION DUPLEX POWER RECEPTACLE AND TWO USB PORTS	
	SAME AS DUPLEX RECEPTACLE EXCEPT HORIZONTALLY MOUNTED	
	SPLIT RECEPTACLES	
	COMMERCIAL GRADE CORD REEL WITH GFCI MOUNTED TO STEEL STRUCTURE	
	SPECIAL PURPOSE RECEPTACLE -- NEMA TYPE	
	SPECIAL PURPOSE RECEPTACLE -- NEMA TYPE ON A CORD REEL MOUNTED TO STEEL STRUCTURE	
	DUPLEX RECEPTACLE FLOOR MOUNTED	
	CEILING JUNCTION BOX	
	WALL JUNCTION	
	PUSH BUTTON STATION (1, 2, OR 3 BUTTON)	
	DOOR ACTIVATOR PUSH PLATE	
	ELECTRIC CLOCK OUTLET	
	COMBINATION DATA AND TELEPHONE OUTLET	
	PHONE OUTLET SAME AS COMBINATION VOICE/DATA (W/ WALL MOUNTED AT +48V) DATA OUTLET	
	TELEVISION OUTLET, DOUBLE GANG BOX WITH SINGLE MUD RING AND 1" C TO CEILING SPACE	
	AUDIO/VIDEO OUTLET, DOUBLE GANG BACK BOX WITH 1 1/4" C TO ABOVE ACCESSIBLE CEILING. TERMINATE CONDUIT WITH INSULATING BUSHING, PROVIDE PULL STRING	
	DUPLEX RECEPTACLE & DATA/PHONE FLUSH FLOOR MOUNTED TWO GANG (2G) FLUSH RECTANGULAR STAMPED STEEL EQUIVALENT TO HUBBELL #B2432 WITH #S3826 FLIP TOP COVER	
	CEILING MOUNTED TWO GANG (2G) FLUSH BOX, DUPLEX RECEPTACLE & DATA/PHONE COMPARTMENTS	
	MULTI-SERVICE STAMPED STEEL FLUSH FLOOR BOX -- TYPE F1 -- WITH (2)-20A DUPLEX RECEPTACLES & (2) DATA COMPARTMENT, WIREMOLD #WB4 SERIES OR APPROVED EQUAL BY HUBBELL	
	MULTI-SERVICE STAMPED STEEL FLUSH FLOOR POKE-THROUGH BOX -- TYPE F2 -- WITH (2)-20A DUPLEX RECEPTACLES & (2) DATA COMPARTMENT, WIREMOLD OR APPROVED EQUAL BY HUBBELL.	
	FLOOR MOUNTED TWO GANG (2G) FLUSH BOX WITH SEPARATE POWER AND DATA COMPARTMENTS FOR FURNITURE CONNECTION	
	FIRE RATED FLUSH FLOOR POKE THRU WITH SEPARATE POWER AND DATA COMPARTMENTS FOR FURNITURE CONNECTION SIMILAR TO LEGRAND 4FATC.	

	FIRE RATED FLUSH FLOOR POKE THRU WITH DUPLEX OR QUAD RECEPTACLE & LOW VOLTAGE COMPARTMENTS SIMILAR TO LEGRAND RC4.		
	FIRE RATED RECESSED DEEP FLOOR POKE THRU WITH DUPLEX OR QUAD RECEPTACLE & LOW VOLTAGE COMPARTMENTS SIMILAR TO LEGRAND EVOLUTION 6 SERIES.		
	JUNCTION BOX FOR FLEXIBLE CONNECTION TO SYSTEMS (P: POWER, D: DATA). FURNITURE WHIP PROVIDED BY FURNITURE SUPPLIER. FOR NEW WORK PROVIDE 1" C OR 1 1/4" C FOR DATA TO ABOVE ACCESSIBLE CEILING. UNLESS OTHERWISE NOTED, COORDINATE LOCATION WITH FURNITURE SYSTEM SUPPLIER. PROVIDE FINAL CONNECTION AND COVERPLATE SUITABLE FOR WHIP CONNECTION.		
	DISTRIBUTION PANEL		
	SURFACE MOUNTED LIGHTING AND/OR RECEPTACLE PANEL		
	RECESSED MOUNTED LIGHTING AND/OR RECEPTACLE PANEL		
	MOLDED CASE CIRCUIT BREAKER – SURFACE MOUNTED IN NEMA ENCLOSURE		
	MOLDED CASE CIRCUIT BREAKER – FLUSH MOUNTED IN NEMA ENCLOSURE		
	MOTOR – SINGLE PHASE		
	MOTOR – THREE PHASE		
	MANUAL SINGLE PHASE MOTOR STARTER WITH PILOT LIGHT, LOCKABLE OFF, FOR MOTOR APPLICATIONS. MANUAL SINGLE PHASE MOTOR SWITCH WITH PILOT LIGHT, LOCKABLE OFF AND WITHOUT OVERLOADS FOR DISCONNECT APPLICATIONS TO EQUIPMENT NOT REQUIRING OVERLOADS AND FOR APPLICATIONS WHERE OVERLOADS ARE INTEGRAL TO MOTOR–BASED LOADS. FLUSH MOUNT STARTERS – / SWITCHES IN FINISHED SPACES. SURFACE MOUNT IN UNFINISHED SPACES.		
	NON–FUSIBLE DISCONNECT SWITCH		
	FUSIBLE DISCONNECT SWITCH		
	THREE PHASE COMBINATION MAGNETIC FUSIBLE MOTOR STARTER		
	BUS PLUG FUSIBLE DISCONNECT SWITCH		
	TRANSFORMER		
	CONTACTOR		
	METER		
	GROUND		
	HOMERUN TO LIGHTING PANEL		
	CABLE TRAY		
	PLUG–IN STRIP		
EF	EXHAUST FAN	EWC	ELECTRIC WATER COOLER
EDH	ELECT. DUCT HTR.	AFF	ABOVE FINISHED FLOOR
A	ABOVE COUNTER	WP	WEATHERPROOF
A/E	ARCHITECT / ENGINEER	RT	RAINTIGHT
CM	COFFEE MAKER	UFD	UNDER FLOOR DUCT
MW	MICROWAVE	FPB	FAN POWER BOX
HOA	HAND–OFF–AUTOMATIC	DW	DISHWASHER
PC	PHOTOCELL	GD	GARBAGE DISPOSAL
HG	HOSPITAL GRADE	REF	REFRIGERATOR
UH	UNIT HEATER	(E)	EXISTING TO REMAIN
UON	UNLESS OTHERWISE NOTED	(RE)	RELOCATED EXISTING
EG	EQUIPMENT GROUND	IG	ISOLATED GROUND
H	HORIZONTALLY MOUNT 6" ABOVE COUNTER BACK SPLASH		
GFI or GFR	GROUND FAULT CIRCUIT INTERRUPTER		
	POWER POLE VOICE/DATA/POWER		
	AUDIO/VISUAL HEAD END EQUIPMENT		
	DRIVER FOR 24V UNDER CABINET LED LIGHT		
	CARD READER		
	INTERCOM OUTLET		
	PHOTOELECTRIC CONTROLLER		
	COMBINE PARTITION SENSOR		
	WIRELESS ACCESS PANEL		
	POWER POLE VOICE/DATA/POWER		
	CONTROL PANEL, PROVIDE AS PART OF THE EQUIPMENT THEY CONTROL		
	TIME SWITCH		
	BELL		
	RADIO ALERT SYSTEM BELL		
	DOOR SWITCH		
	INTERCOM STATION		
	EMERGENCY POWER OFF PUSHBUTTON		
	FIRE ALARM CONTROL PANEL		
	FIRE ALARM ANNUNCIATOR PANEL		
	NOTIFICATION APPLIANCE CONTROL PANEL		
	MICROPHONE		
	CEILING MOUNTED SPEAKER		
	VOLUME CONTROL DIAL		
	SMOKE DETECTOR		
	HEAT DETECTOR		
	TAMPER SWITCH		
	FLOW SWITCH		
	OUTDOOR FIRE DEPARTMENT CONNECTION – AUDIO VISUAL DEVICE		
	MAGNETIC DOOR HOLDER		
	DUCT SMOKE DETECTOR		
	COMBINATION SMOKE/CO DETECTOR		
	MANUAL FIRE ALARM STATION		
	FIRE ALARM STROBE		
	FIRE ALARM HORN/STROBE		
	FIRE ALARM HORN/STROBE – CEILING MOUNTED		
	FIRE ALARM STROBE – CEILING MOUNTED		
* THIS IS STANDARD SYMBOL LIST – SOME OF THESE SYMBOL MAY NOT APPEAR ON DRAWINGS.			

MOUNTING HEIGHTS

EQUIPMENT OR OUTLETS	ELEVATIONS
WALL SWITCHES	4'-0" AFF
RECEPTACLES	1'-6" AFF
TELECOMMUNICATIONS OUTLETS	1'-6" AFF
TELECOMMUNICATIONS OUTLETS -- WALL PHONE	4'-6" AFF
CLOCK OUTLETS	7'-6" AFF
TV OUTLETS	1'-6" AFF
FIRE ALARM -- PULL STATIONS	4'-0" AFF
FIRE ALARM -- SPEAKERS, VISUAL UNITS, HORNS	7'-0" AFF
PUSHBUTTONS	4'-0" AFF
DISCONNECT SWITCHES	5'-6" AFF
MOTOR STARTERS	5'-6" AFF
PANELS & CABINETS	6'-0" TO TOP
VOLUME CONTROLS	4'-0" AFF
NURSE CALL STATIONS	4'-0" AFF
NURSE CALL DOME LIGHTS	7'-6" AFF
DIMMERS	4'-0" AFF
INDIVIDUAL CIRCUIT BREAKERS	5'-6" TO TOP
ACCESS CONTROL DEVICES	4'-0" AFF

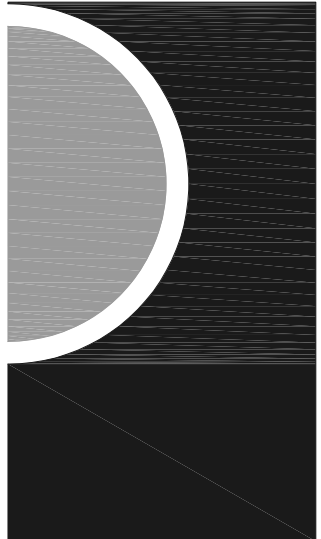
MOUNTING HEIGHT NOTES:

- ALL ELEVATIONS ARE TO CENTER LINE OF DEVICE, UNLESS OTHERWISE NOTED.
- REFER TO EQUIPMENT ELEVATION DRAWINGS FOR COORDINATION WITH CASEWORK.

ELECTRICAL SHEET INDEX

SHEET	DESCRIPTION
	ELECTRICAL LEGEND, SHEET INDEX AND DETAILS
E0-01	ELECTRICAL SPECIFICATION
E0-02	ELECTRICAL SPECIFICATION
E0-03	LIGHT FIXTURE SCHEDULE, ONE LINE DIAGRAM
E0-04	ELECTRICAL PANELS SCHEDULES
ED-01	MAIN LEVEL DEMO PLAN
ED-02	SECOND LEVEL DEMO PLAN
E1-01	MAIN LEVEL LIGHTING PLAN
E1-02	SECOND LEVEL LIGHTING PLAN
E2-01	MAIN LEVEL POWER PLAN
E2-02	SECOND LEVEL POWER PLAN

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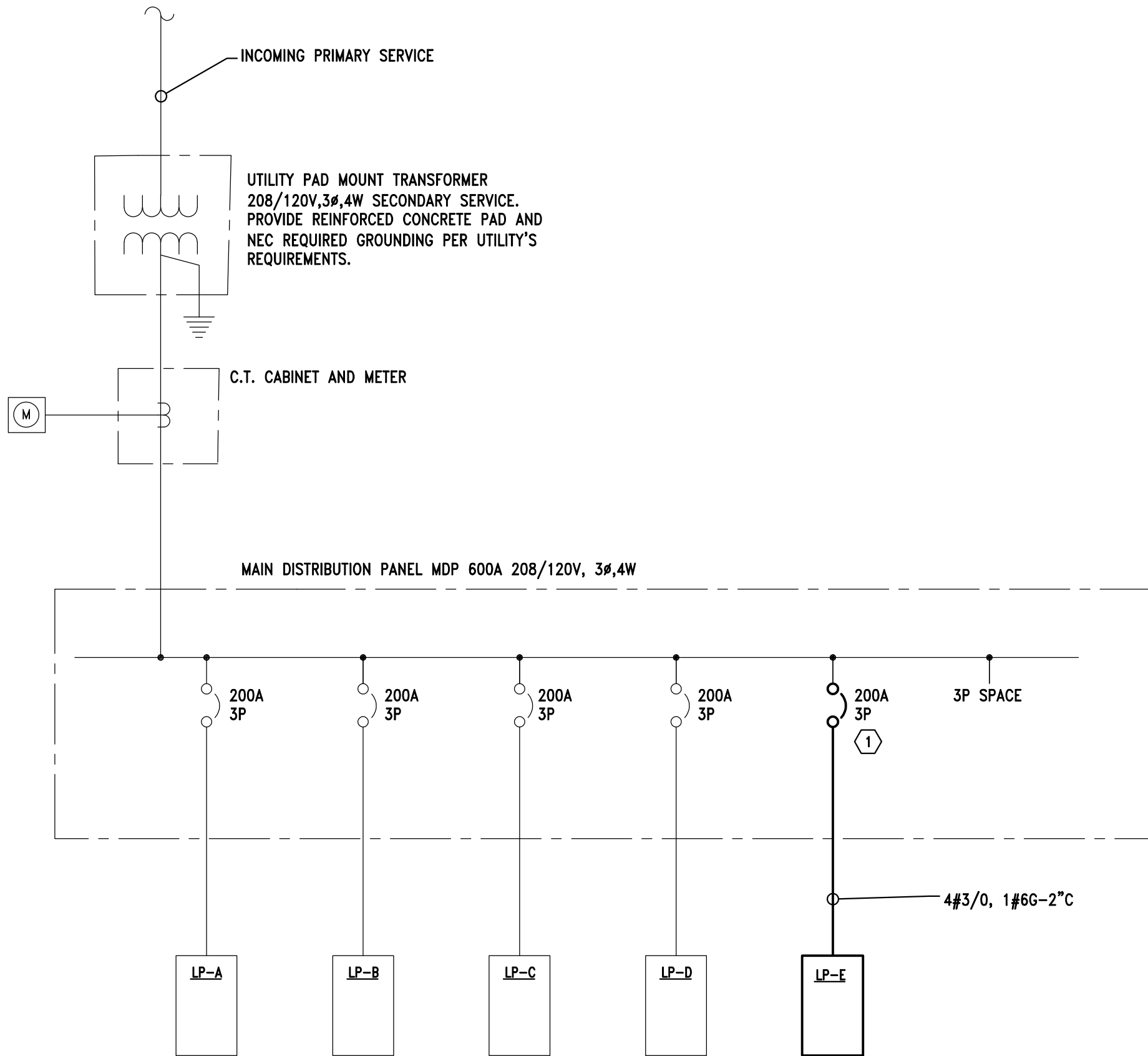
SHEET NAME

ELECTRICAL
LEGEND, SHEET
INDEX AND DETAILS

SHEET NO.

E0-01





ONE LINE DIAGRAM ②

NO SCALE

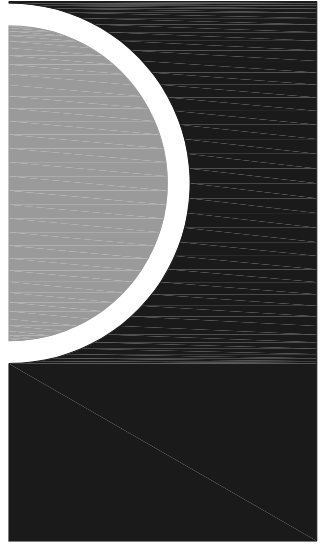
- KEY NOTES:
- ① PROVIDE NEW CIRCUIT BREAKER IN EXISTING SPACE.
- ② ALL NEW WORK IS SHOWN BOLD.

LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMPING	WATTS PER FIXTURE	REMARKS
L1	4"H X 4"W X LENGTH AS INDICATED ON PLAN SUSPENDED LINEAR DIRECT/INDIRECT LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, WHITE FINISH, FLUSH FROSTED WHITE DIFFUSERS, MULTI-VOLT 0-10V DIMMING DRIVER. FOCAL POINT SEEM 4 SERIES FINELITE HP-4 SERIES APPROVED EQUAL	1000 LUMENS DIRECT, 275 LUMENS INDIRECT PER LINEAR FOOT 3500K, 80 CRI	12W PER LINEAR FOOT	AIRCRAFT CABLE SUSPENSION, HEIGHT AS DIRECTED BY ARCHITECT.
L2	4.5"H X 2"W X LENGTH AS INDICATED ON PLAN SUSPENDED LINEAR DIRECT LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, WHITE FINISH, FLUSH FROSTED WHITE DIFFUSERS, MULTI-VOLT 0-10V DIMMING DRIVER. FOCAL POINT SEEM 2 SERIES FINELITE HP-2 SERIES APPROVED EQUAL	500 LUMENS PER LINEAR FOOT, 3500K, 80 CRI	4.5W PER LINEAR FOOT	AIRCRAFT CABLE SUSPENSION, HEIGHT AS DIRECTED BY ARCHITECT.
L3	SAME AS TYPE L2 EXCEPT RECESSED MOUNTING. FOCAL POINT SEEM 2 SERIES FINELITE HP-2 SERIES APPROVED EQUAL	500 LUMENS PER LINEAR FOOT, 3500K, 80 CRI	4.5W PER LINEAR FOOT	
L4	4.5"H X 2"W X LENGTH AS INDICATED ON PLAN SUSPENDED LINEAR DIRECT/INDIRECT LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, WHITE FINISH, FLUSH FROSTED WHITE DIFFUSERS, MULTI-VOLT 0-10V DIMMING DRIVER. FOCAL POINT SEEM 2 SERIES FINELITE HP-2 SERIES APPROVED EQUAL	625 LUMENS DIRECT, 250 LUMENS INDIRECT PER LINEAR FOOT 3500K, 80 CRI	8W PER LINEAR FOOT	AIRCRAFT CABLE SUSPENSION, HEIGHT AS DIRECTED BY ARCHITECT.
L5	6" DIAMETER LED RECESSED DOWNLIGHT FIXTURE WITH STEEL HOUSING, MEDIUM WIDE DISTRIBUTION, FLUSH LENS, SELF-FLANGED, CLEAR SEMI-SPECULAR, MULTI-VOLT 0-10V DIMMING DRIVER. GOTHAM EVO6 SERIES APPROVED EQUAL	2000 LUMENS, 3500K, 80 CRI	20W	
L6	2X2 LAY-IN RECESSED LED TROFFER WITH STEEL HOUSING, FLUSH WHITE DOOR FRAME, ACRYLIC PRISMATIC LENS, MULTI-VOLT 0-10V DIMMING DRIVER. LITHONIA 2GTL SERIES APPROVED EQUAL	3300 LUMENS, 3500K, 80 CRI	31W	
L7	4" DIAMETER CONAL TRACK HEAD WITH STEEL HOUSING, CLEAR GLASS LENS, WHITE FINISH, NARROW FLOOD DISTRIBUTION, DIMMING DRIVER, COMPATIBLE SINGLE CIRCUIT TRACK LENGTH AS INDICATED. JUNO 27W CONX II LED SERIES APPROVED EQUAL	1928 LUMENS 3500K, 90 CRI	27.4W	SUSPEND TRACK AS DIRECTED BY ARCHITECT.
L8	8.7"W X 5.35" H X 3.21"DIP WALL MOUNT LED DIRECT/INDIRECT SCONCE WITH SATIN CHROME FINISH, FROSTED ACRYLIC DIFFUSERS, 0-10V DIMMING DRIVER. EUREKA BOX 3414B SERIES APPROVED EQUAL	1020 LUMENS, 3500K, 85 CRI	12W	
L9	8"H X 11" W X 3"DIP WALL MOUNT LED FIXTURE WITH DIE-CAST ALUMINUM HOUSING, FINISH SELECTED BY ARCHITECT, IP68 RATED, INTEGRAL EMERGENCY BATTERY FOR 90 MINUTE MINIMUM EMERGENCY OPERATION LITHONIA WPX LED P1 SERIES APPROVED EQUAL	1550 LUMENS, 3000K	11W	CONNECT EMERGENCY FUNCTION AHEAD OF SWITCH CONTROL.
X1	LED EXIT LIGHT FIXTURE WITH WHITE POLYCARBONATE HOUSING, RED LETTERS, MOUNTING AND ARROWS AS INDICATED WITH SELF-CONTAINED NICAD BATTERY FOR 90 MINUTES MINIMUM EMERGENCY OPERATION, INTEGRAL BATTERY CHARGER, MULTI-VOLT DRIVER AND SELF-DIAGNOSTICS. LITHONIA LQM SERIES DUALITE EQUAL SURELITE EQUAL		1W	CONNECT TO NEAREST LOCAL LIGHTING CIRCUIT AHEAD OF LIGHTING CONTROL.
"E" SUFFIX	SAVE AS FIXTURE TYPE INDICATED TOGETHER WITH INTEGRAL BATTERY AND TRANSFER DEVICE TO ALLOW FULL CONTROL DURING NORMAL POWER OPERATION AND AUTOMATIC FULL BRIGHT DURING POWER FAILURE. PROVIDE BATTERY WITH 90 MINUTES MINIMUM OPERATION AND SELF-DIAGNOSTICS AND INTEGRAL CHARGER. BODINE IOTA			CONNECT TO NEAREST LOCAL LIGHTING CIRCUIT AHEAD OF LIGHTING CONTROL.

- LIGHT FIXTURE GENERAL NOTES:
1. INSTALL ALL FIXTURES AS DIRECTED BY CORRESPONDING ARCHITECTURAL DETAIL FOR THAT PARTICULAR FIXTURE TYPE.
 2. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LIGHT FIXTURE LOCATION.
 3. INSTALL REMOTE DRIVERS HIDDEN IN ACCESSIBLE LOCATIONS WITHOUT EXCEEDING MANUFACTURERS RECOMMENDATIONS FOR MAXIMUM DISTANCE FROM LAMP SOURCE. COORDINATE ALL DRIVER LOCATIONS WITH ARCHITECT.
 4. PROVIDE DIMMERS COMPATIBLE WITH LAMP TYPE AND DRIVER TYPE SPECIFIED.



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KEY PLAN

OWNER

City of Dexter

PROJECT NAME

New City Hall
Renovations

PROJECT NO.

21-113

ISSUES / REVISIONS

Permits 12/22/2021

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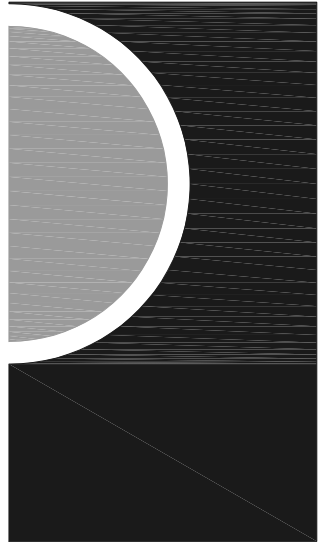
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SHEET NAME

LIGHT FIXTURE
SCHEDULE, ONE
LINE DIAGRAM

SHEET NO.

E0-03



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SHEET NAME

MAIN LEVEL
DEMO PLAN

SHEET NO.

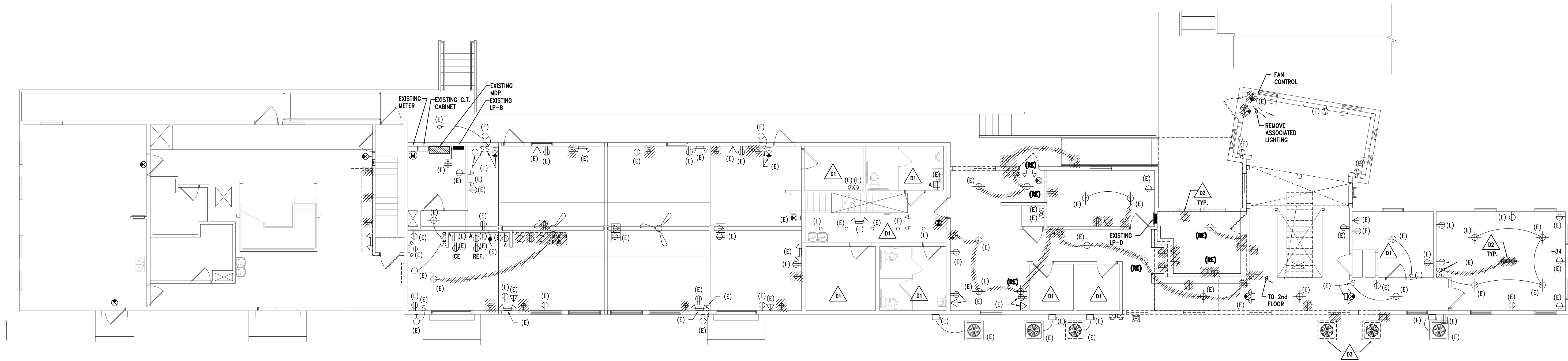
ED-01

KEY NOTES :

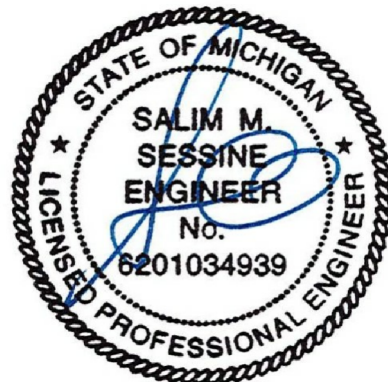
D1 NO WORK IN THIS ROOM.

D2 REMOVE ALL EQUIPMENT SHOWN HATCHED INCLUDING WIRE AND CONDUIT BACK TO SOURCE. MAINTAIN CIRCUITING TO DEVICES REMAINING.

D3 CONDENSING UNITS TO BE RELOCATED.

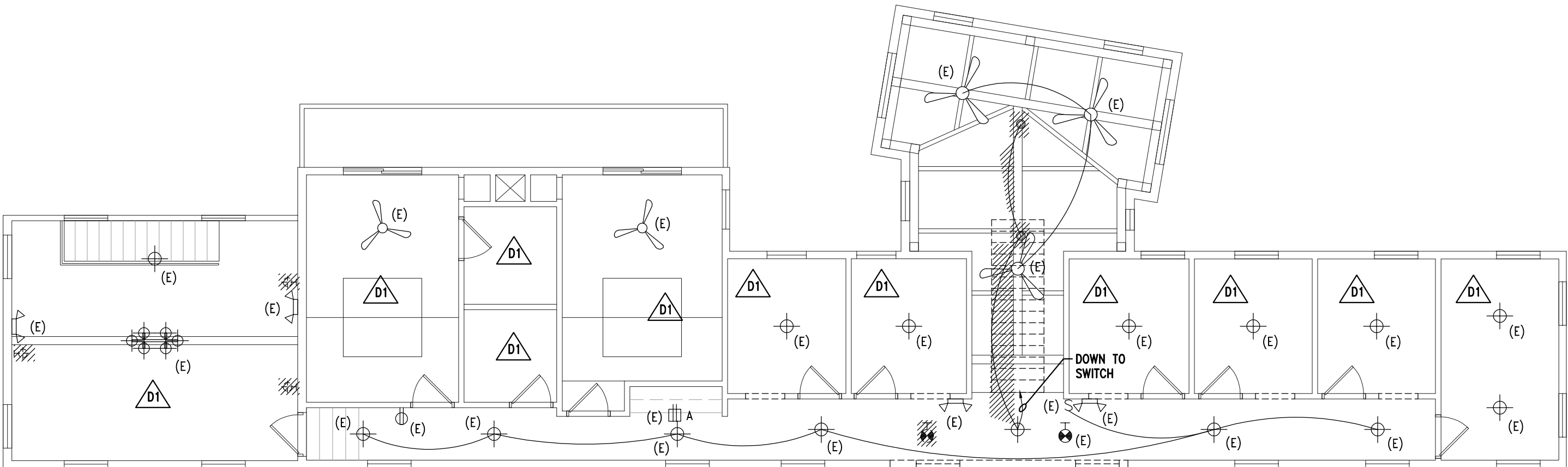


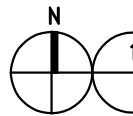
N
1
Main Level Demo Plan
1/8" = 1'-0"



KEY NOTES :

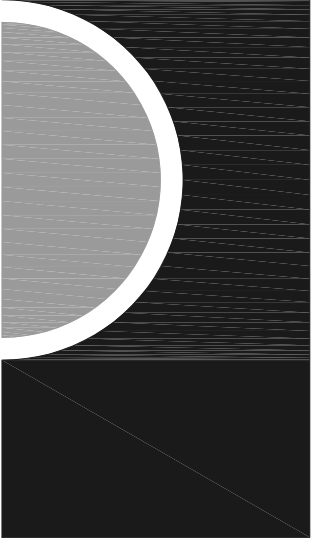
 NO WORK IN THIS ROOM.



 1
Second Level Demo Plan
1/8" = 1'-0"



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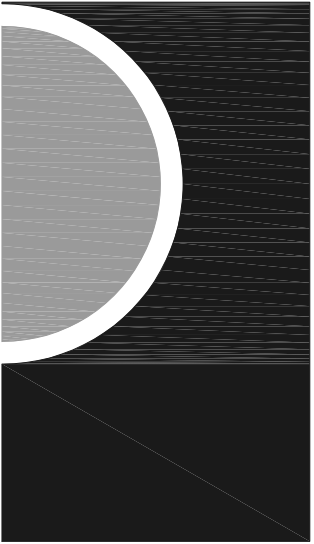
MJM

SHEET NAME

SECOND LEVEL
DEMO PLAN

SHEET NO.

ED-02



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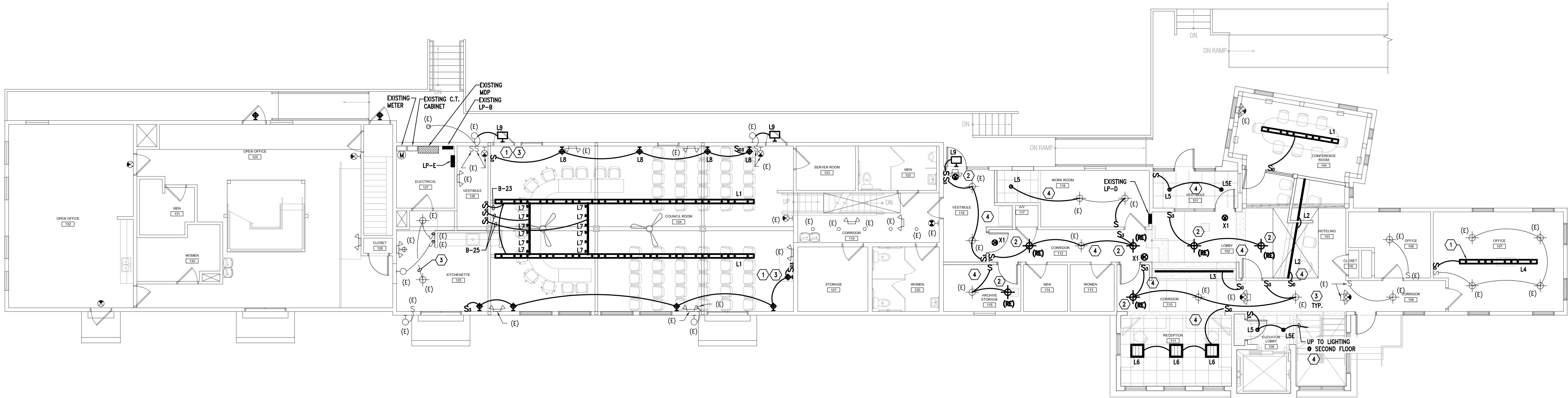
MAIN LEVEL
LIGHTING PLAN

SHEET NO.

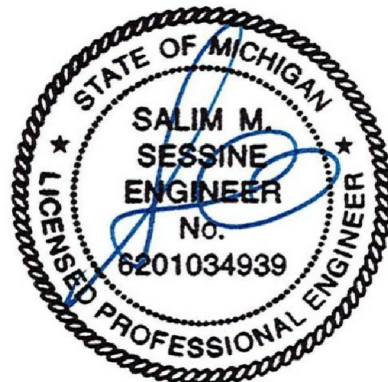
E1-01

KEY NOTES :

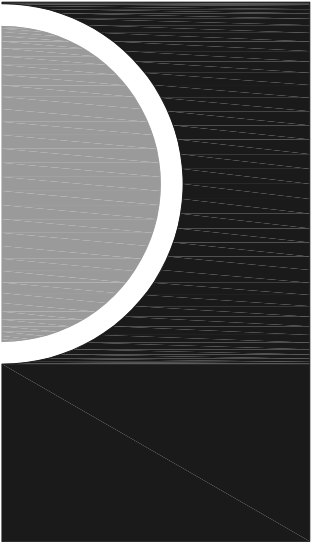
- 1 CONNECT TO EXISTING CIRCUIT.
- 2 NEW LOCATION FOR SALVAGED LIGHT FIXTURE.
- 3 RE-CONFIGURE LIGHTING CONTROL AS INDICATED.
- 4 RE-WORK LIGHTING CIRCUITS TO ACCOMMODATE NEW LIGHTING LAYOUT UNLESS OTHERWISE NOTED.



N
1 Main Level Lighting Plan
1/8" = 1'-0"



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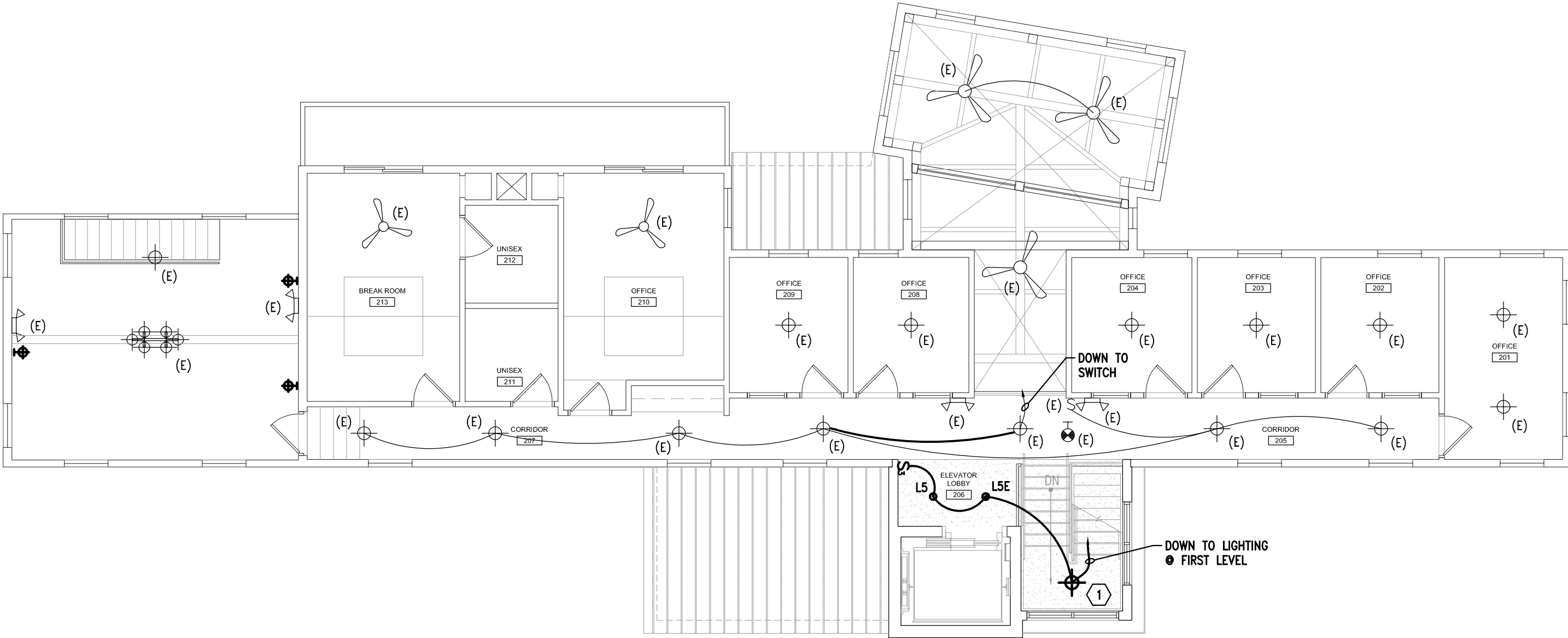
SECOND LEVEL
LIGHTING PLAN

SHEET NO.

E1-02

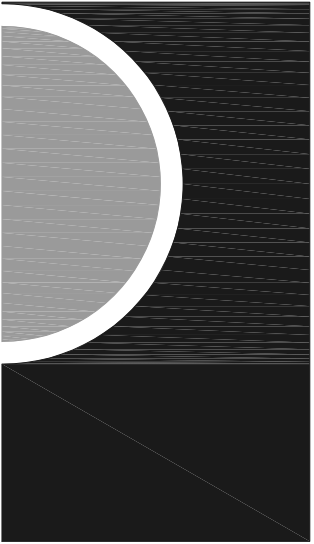
KEY NOTES :

- 1 RELOCATE "ARTICHOKE" FIXTURE FROM AREA "c". ADJUST SUSPENSION FOR 6'-8" CLEAR AFF.



Second Level Lighting Plan
1/8" = 1'-0"





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SHEET NAME

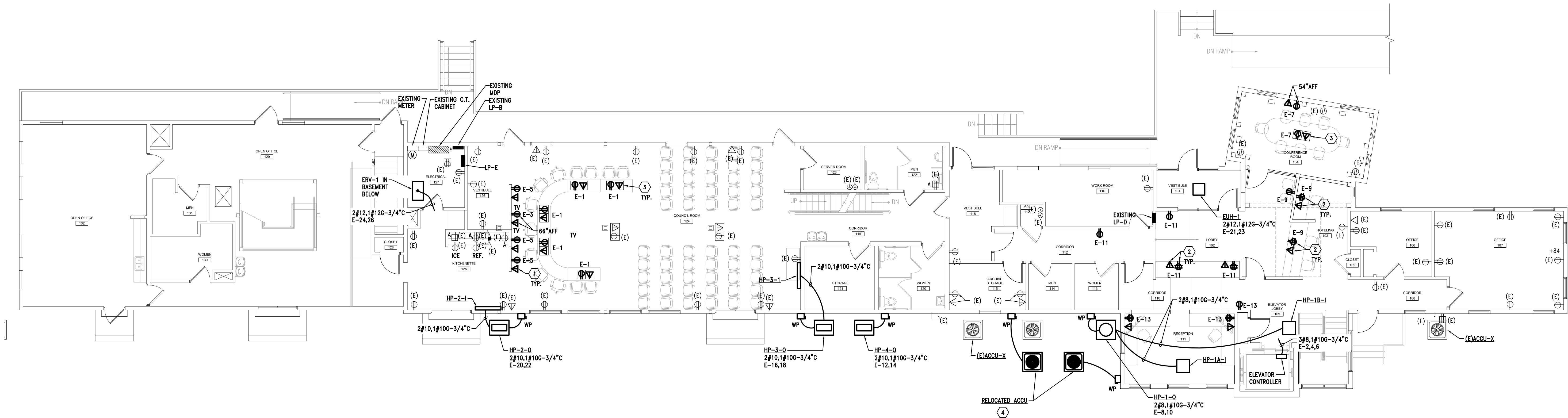
MAIN LEVEL
POWER PLAN

SHEET NO.

E2-01

KEY NOTES :

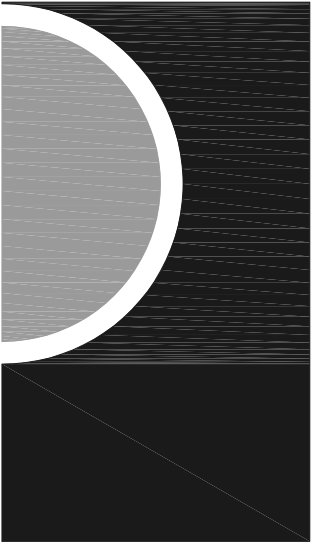
- 1 PROVIDE WITH 3/4" C STUBBED INTO CEILING AREA OF BASEMENT BELOW.
- 2 LOCATE DEVICES BENEATH COUNTER.
- 3 FLUSH FLOOR 2-GANG BOX WITH 1-20A-125V. DUPLEX RECEPTACLE AND DATA OUTLETS, RECTANGULAR FLIP COVER FOR EACH GANG, FINISH AS SELECTED BY ARCHITECT. LEGRAND WIREMOLD 880 SERIES.
- 4 RELOCATE DISCONNECT FROM EXISTING LOCATION PROVIDE NEW WIRING FROM SAME CIRCUIT TO NEW LOCATION. VERIFY SIZE OF WIRE AND SOURCE IN FIELD.



N
1
Main Level Power Plan
1/8" = 1'-0"



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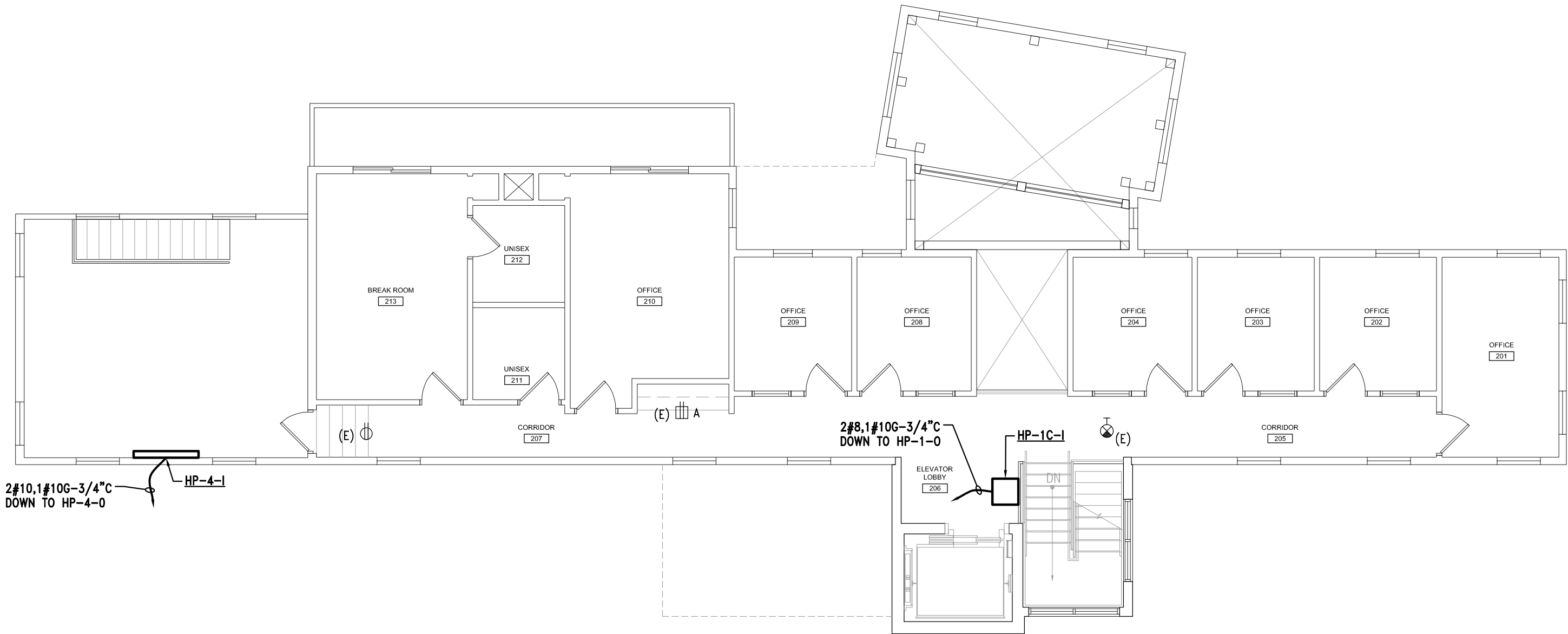
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SHEET NAME

SECOND LEVEL
POWER PLAN

SHEET NO.

E2-02



 1 Second Level Power Plan
1/8" = 1'-0"

