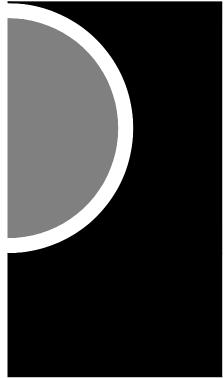
City Hall Renovations

City of Dexter

3515 Broad St. Dexter, MI 48130

PARTNERS



Architect: PARTNERS in Architecture, PLC

> 65 Market Street Mount Clemens, MI 48043 586-469-3600

Owner: City of Dexter

8140 Main Street Dexter, MI 48130 734-580-2234

Mechanical / Electrical Engineer: MA Engineering

400 S. Old Woodward Ave Birmingham, MI 48009 248-258-1610

Structural Engineer: Shymanski & Associates, LLC.

33426 Five Mile Rd. Livonia, MI 48154 734-855-4810

Drawing Inde	X
Sheet Number	Sheet Title
A0-00	Cover Sheet
Architectural	
A0-01	General Information
A0-02	Code Analysis & Life Safety Plans
A0-03	Schedules And Frame, Door, & Wall Types
A1-01	Composite Demolition Plans
A1-02	1st Floor Demolition Plan - Area A
A1-03	1st Floor Demolition Plan - Area B
A1-04	1st Floor Demolition Plan - Area C
A1-05	2nd Floor Demolition Plan - Area A
A1-10	1st Floor Demolition Ceiling Plan - Area A
A1-11	1st Floor Demolition Ceiling Plan - Area B
A1-12	1st Floor Demolition Ceiling Plan - Area C
A2-01	Architectural Site Plan
A3-00	Composite Floor Plans
A3-01	Basement Floor Plan - Area A
A3-02	1st Floor Plan - Area A
A3-03	1st Floor Plan - Area B
A3-04	1st Floor Plan - Area C
A3-05	2nd Floor Plan - Area A
A3-10	Plan Details
A3-21	Composite Roof Plan
A3-22	Roof Plan - Area A
A4-01	Composite Reflected Ceiling Plans
A4-02	1st Floor Reflected Ceiling Plan - Area A
A4-03	1st Floor Reflected Ceiling Plan - Area B
A4-04	2nd Floor Reflected Ceiling Plan - Area A
A5-01	Exterior Elevations
A5-02	Barn Exterior Elevations
A5-10	Building Sections
A6-01	Wall Sections
A6-02	Wall Sections
A6-03	Wall Sections
A6-10	Section Details
Structural	
A3-01	Unit A Foundation Plan
S3-02	Unit A First Floor Framing Plan
S3-03	Unit A Second Floor Framing Plan
S3-04	Unit A Roof Framing Plan
S3-05	Unit B Foundation, 1st & 2nd Floor Framing Plan
S3-06	Details
S4-00	General Notes
S4-01	General Notes

S4-02	Details								
S5-00	Details								
Mechanical									
M0-01	Mechanical Legend, Sheet Index and Details								
M0-02	Mechanical Schedules								
M0-03	Mechanical Schedules								
MD-00	Basement Demolition Plan								
MD-01	Main Level Demolition Plan								
MD-02	Second Level Demolition Plan								
M1-00	Basement Mechanical Plan								
M1-01	Main Level Mechanical Plan								
M1-02	Second Level Mechanical Plan								
Electrical									
E0-01	Electrical Legend, Sheet Index and Details								
E0-02	Electrical Specification								
E0-03	Light Fixture Schedule, One Line Diagram								
E0-04	Electrical Panels Schedules								
ED-01	Main Level Demolition Plan								
ED-02	Second Level Demolition Plan								
E1-01	Main Level Lighting Plan								
E1-02	Second Level Lighting Plan								
E2-01	Main Level Power Plan								
E2-02	Second Level Power Plan								

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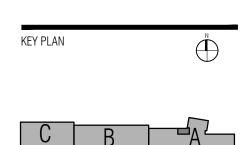
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OWNER

City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

TEMP. OCC. PERMIT9/13/2021New Elevator- Ref Only12/22/2021Bidding Construction12/22/2021

DRAWN BY

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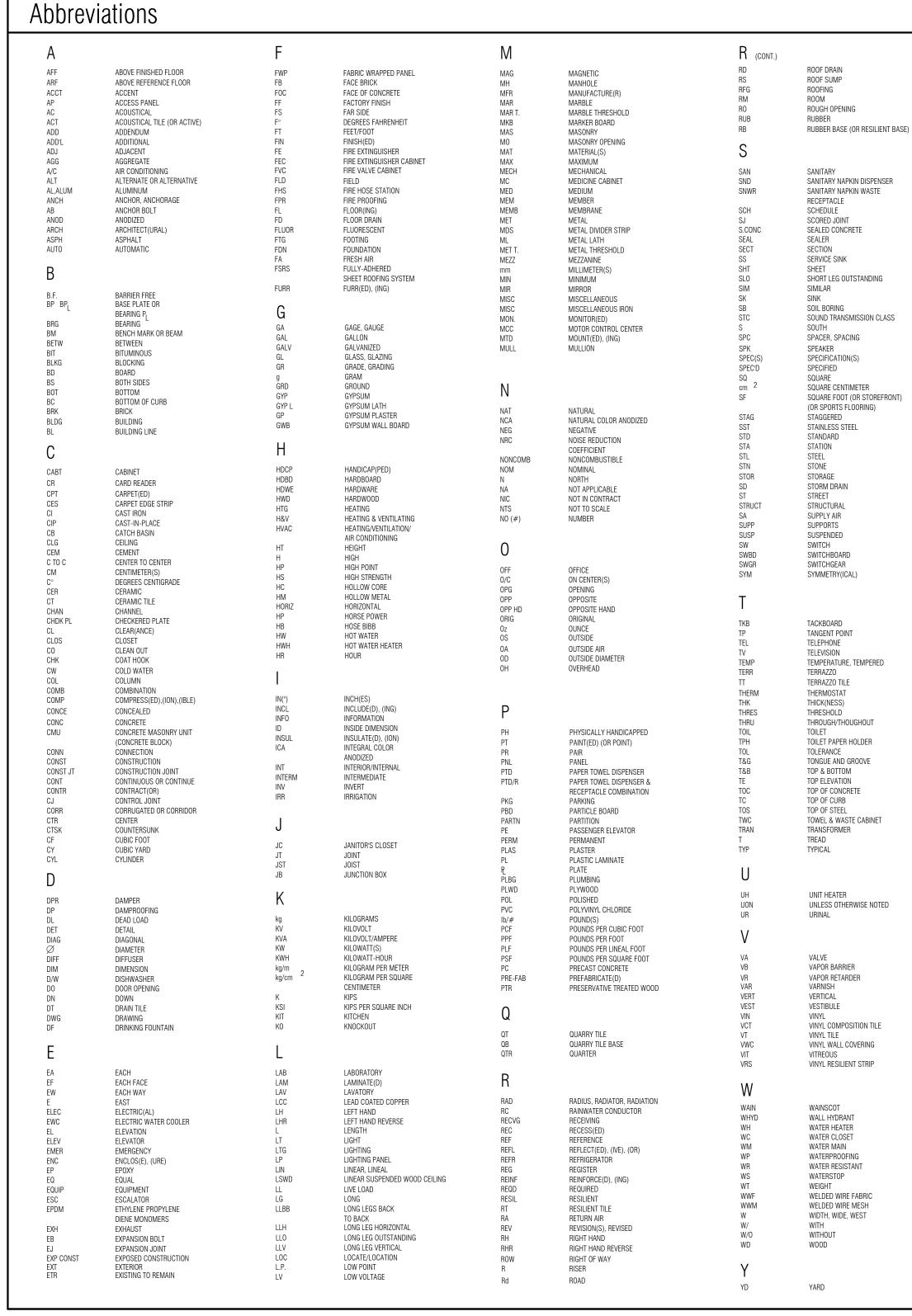
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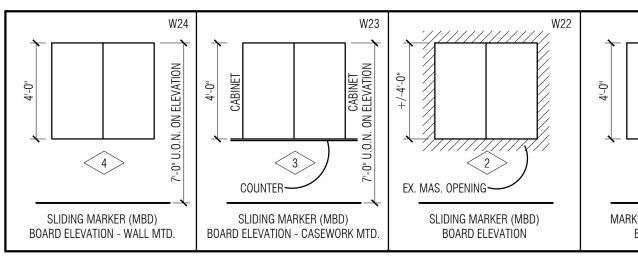
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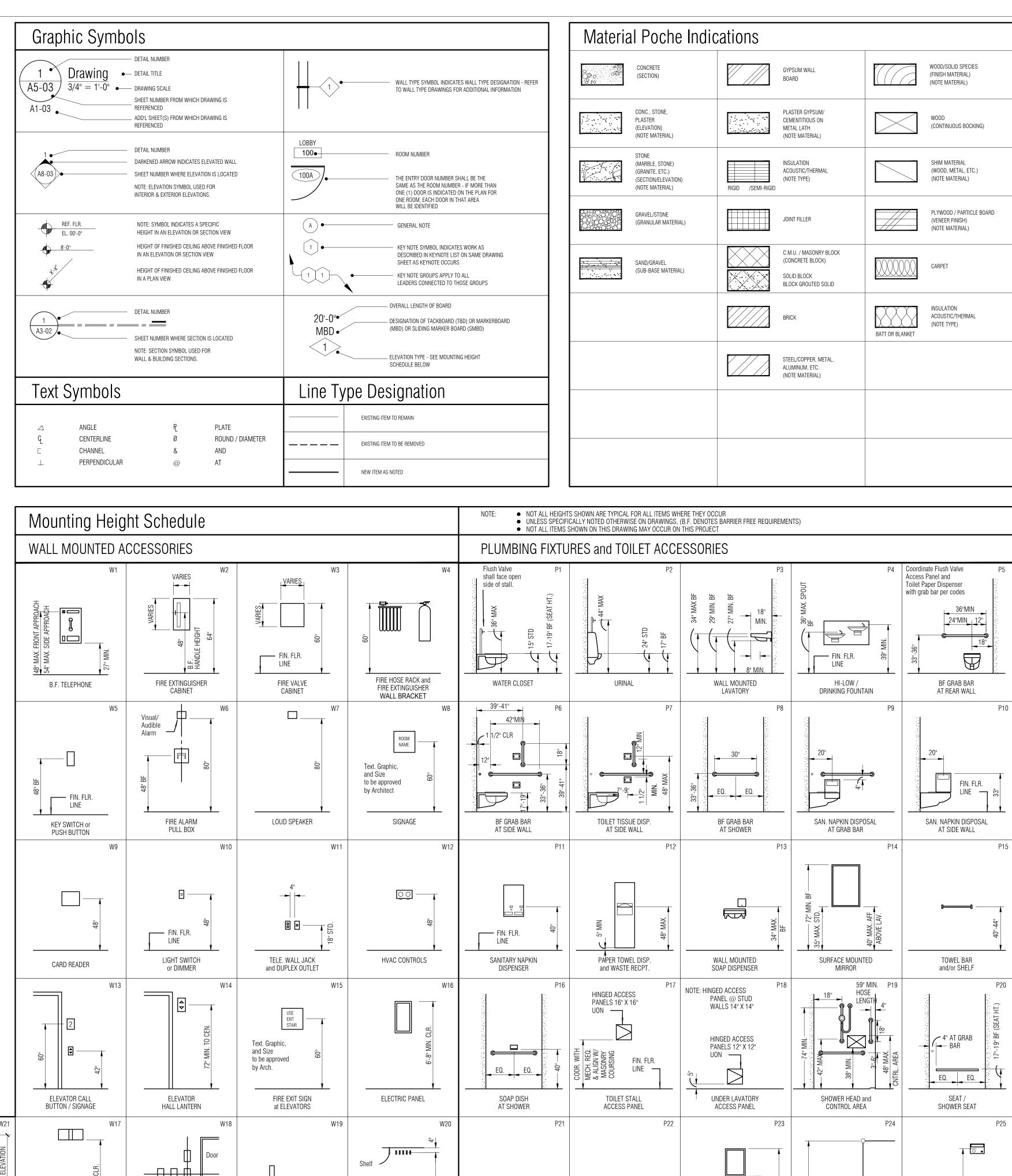
SHEET NAME

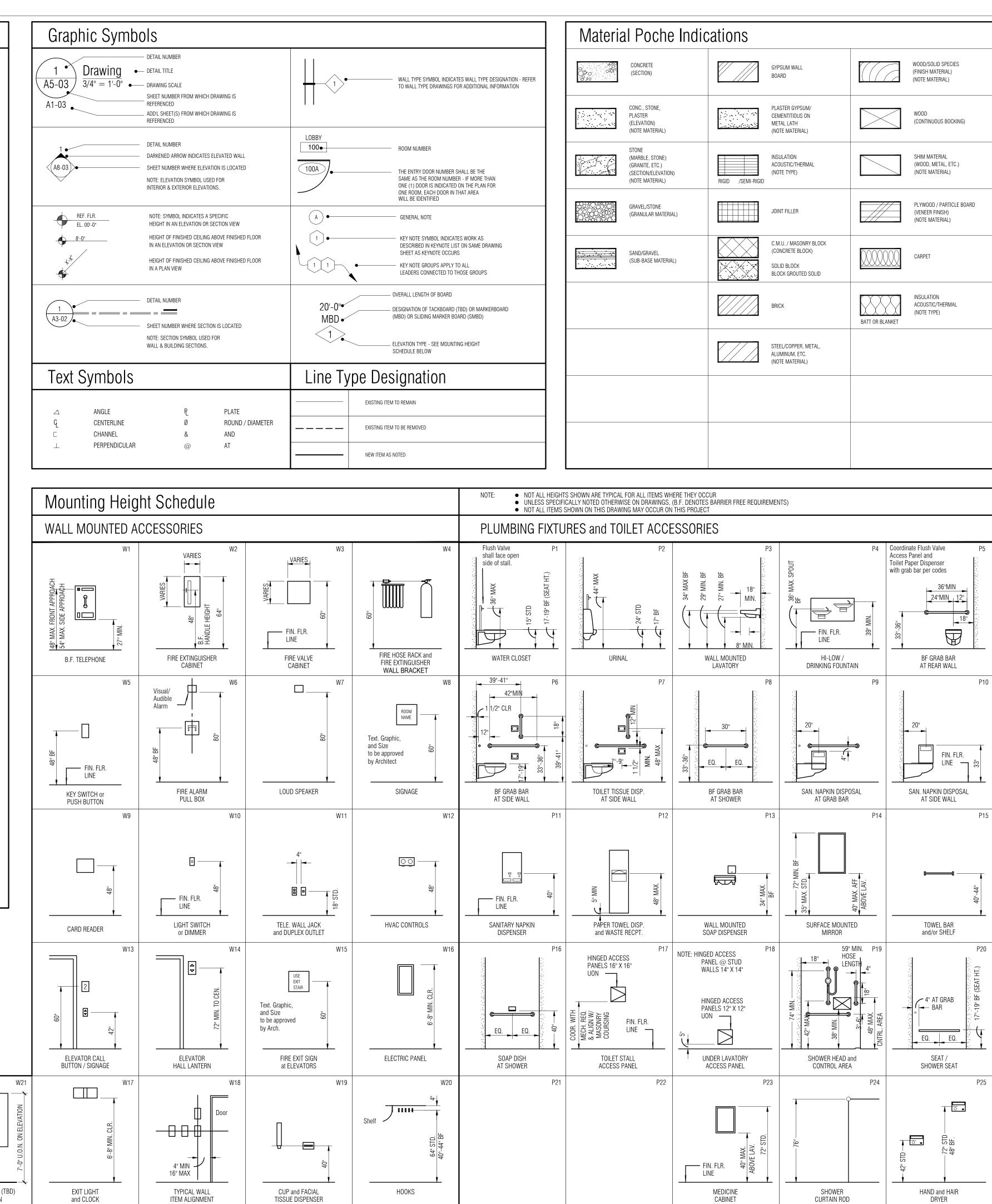
COVER SHEET











 $\langle 1 \rangle$ MARKER (MBD) / TACK (TBD) BOARD ELEVATION

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SHEET NO. A0-01

PARTNERS

BUILDING CODE ANALYS	SIS	
PROJECT INFORMATION: WINER: CITY OF DEXTER PROJECT: NEW CITY HALL RENOVATIONS. ADDRESS: 3515 BROAD ST, DEXTER, MI 48130 GOVERNING CODES: 2015 MICHIGAN REHABILITATION CODE (MRC). 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN RECHANICAL CODE 2015 MICHIGAN RECHANICAL CODE 2015 MICHIGAN RECHANICAL CODE 2016 MICHIGAN RECHANICAL CODE 2017 MICHIGAN RECHANICAL CODE 2018 MICHIGAN RECHANICAL CODE 2018 MICHIGAN RECHANICAL CODE 2019 MICHIGAN RECHANICAL CODE 2018 MICHIGAN RECHANICAL CODE 2019 MICHIGAN RECHANICAL CODE 2010 MICHIGAN RECHANICAL CODE 2011 MICHIGAN RELEARER NIKEL SOLON SULTER 2012 MICHIGAN RELEARER NIKEL SOLON SULTER 2012 MICHIGAN RELEARER SULTER 2012 MICHIGAN RELEARER SULTER 2013 MICHIGAN RELEARER SULTER 2014 MILLONG RELEARER SULTER SULTER 2010 MICHIGAN RELEARER SULTER SULTER ALLOWABLE BUILDING REGET (FIRE/SMOKE PROTECTION FEATURES (N/A EXISTING): MAX AREA OF WALL OPENINGS (TABLE 507.8) X<3:0* HRS 3-0* X<5:0* S-0* HRS 5-0* HRS 5-0* HRS 5-0* HRS 20* HRS 21* HR INER 21* HR INER 21* HR INER 21* HR INDRS 21*	OCCUPANT LOADS: MAXIMUM FLOOR AREA ALLOWANCES (TABLE 1004.1.2): BUSINESS: 10 SF NET S-1 STORAGE 300 SF GROSS OCCUPANT LOAD TOTALS: 1ST FLR: 229 ALLOW., 66 ACTUAL 2ND FLR: 61 ALLOW., 7 ACTUAL TOTAL: 830 ALLOW., 7 ACTUAL MEANS OF EGRESS SIZING (1005.3.1 & 2): STAIRWAYS:PER OCCUPANT MIN. NUMBER OF EXITS WITHIN MEANS OF EGRESS SYSTEM (1) SPACES (TABLE 1006.2.1): OCCUPANT LOADS -49: Y YN, 2 EXITS RECD, 2 EXITS COMMON PATH OF EGRESS TRAVEL: 75 MAX., 73-9° ACTU MINIMUM NUMBER OF EXITS FEOM MEANS OF EGRESS SYSTEM STORIES (TABLE 1006.3.1): OCCUPANT LOADS -49: Y YN, 2 EXITS RECD, 2 EXITS COMMON PATH OF EGRESS TRAVEL: 75 MAX., 73-9° ACTU MINIMUM NUMBER OF EXITS FEOM MEANS OF EGRESS SYSTEM STORIES WITH ONE EXIT (TABLE 1006.3.2(2)): 1 STORY: DCCUPANT LOAD -59 MAXY XN COMMON PATH OF EGRESS TRAVEL: 73-9° MAX. DISTANCE APART OF REQUIRED EXITS (1007.1.1): (1/3.1/2) LENGTH OF MAX DIAG DIM OF BLOG/SPACE NO. OF ACCESSIBLE MEANS OF EGRESS (1009.1): 2 REOD, STAIRWAYS - ACCESSIBLE (1009.3): NA CLEAR WIDTH: 3-6° MIN., 4-0° ACTUAL AREAS OF REFUGE INCORPORATED: Y YN NO. OF SPACES (1008.6.3): 1 REOD, 1 PROVIDED MIN. REOD CLEAR DOOR WIDTH: NA STAIRWAYS: NON-ACCESSIBLE (1011.2): N/A CLEAR WIDTH: _MA STAIRWAYS: NON-ACCESSIBLE (1011.2): N/A CLEAR WIDTH: _MA STAIRWAYS: NON-ACCESSIBLE (1011.2): N/A CLEAR WIDTH: _MN, _ACTUAL HONDALS (1015.3): _ REOD, _ACTUAL MIN. #ECOD CLEAR DOOR WIDTH: NA STAIRWAYS: NON-ACCESSIBLE (1011.2): N/A CLEAR WIDTH: _MN, _ACTUAL MINACTUAL MINACTUAL MINACTUAL <td< th=""></td<>
	(1109.2) NO. OF EX.FIX.TORE THE/ACCESS. TOLET. <u>2</u> MIN., <u>2</u> PROVIDED (1109.1.2) W.C. COMPARTMENTS, MIN. 5% REQ'D.: <u>3</u> PROVIDED <u>4</u> (1109.1.3) LAVATORIES, MIN. 5% REQ'D.: <u>1</u> PROVIDED <u>1</u> (1109.3) SINKS, MIN. 5% REQ'D.: <u>1</u> PROVIDED <u>1</u> (1109.5.1) B.F. DRINKING FOUNTAINS: <u>1</u> MIN. REQ'D., <u>1</u> PROVIDED <u>2</u>	BUILDING CONSTRUCTION TYPE: <u>5B</u> FIRE RESISTIVE RATING REQUIREMENTS (TABLE 4.1.1, PER NFPA

(1006.2.1): S PROVIDED

TUAL

EM (1006.3.1):

, <u>2</u> Provided

, <u>N/A</u> ACTUAL

0'-8" ACTUAL

FIRE RESISTIVE RATING REQUIREMENTS (TABLE 4.1.1, PER NFPA 220):

EXTERIOR BEARING WALLS: 0 HRS INTERIOR BEARING WALLS: 0 HRS COLUMNS: 0 HRS

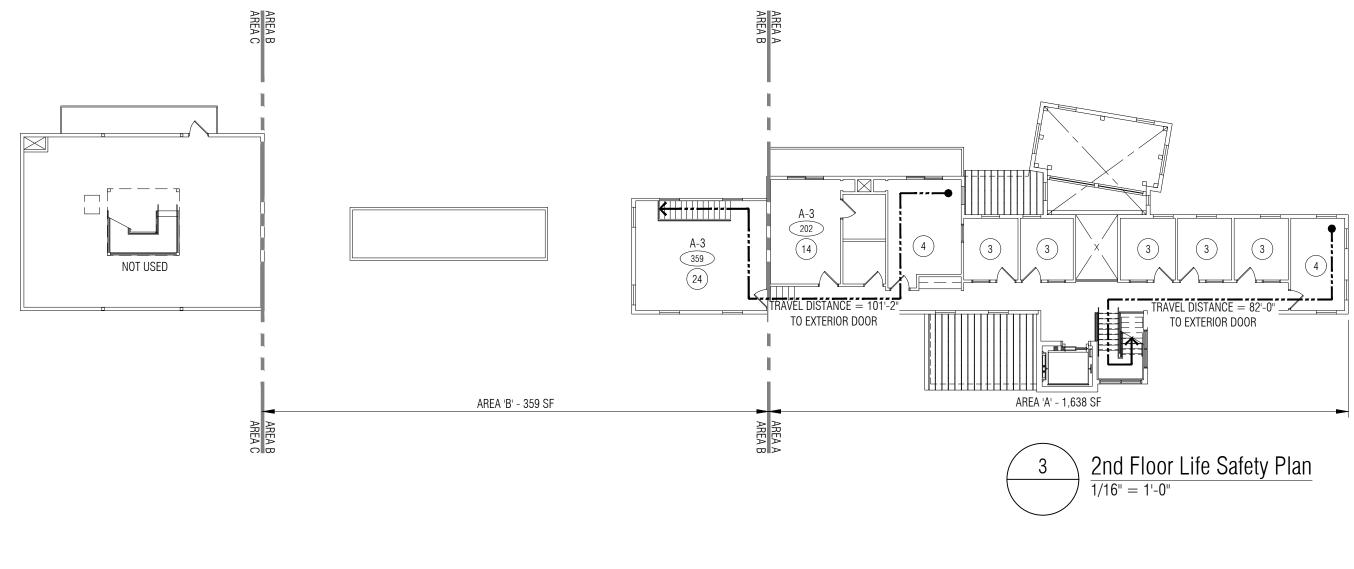
Beams, Girders, Trusses: 0 Hrs Floor/Ceiling: 0 Hrs

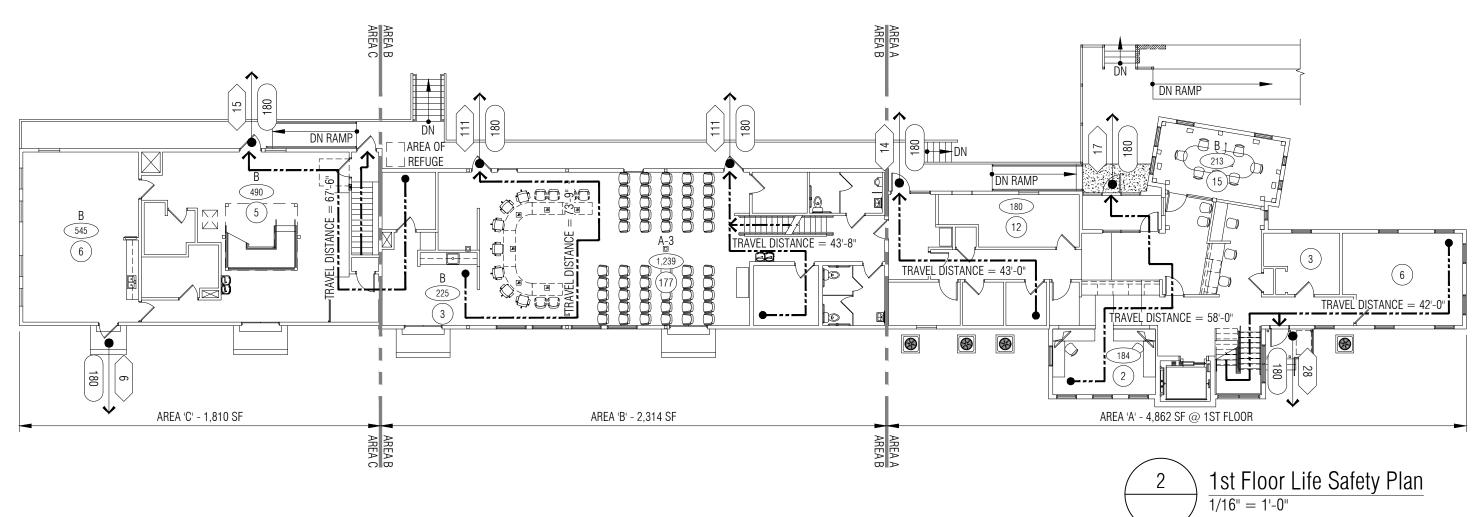
0 HRS

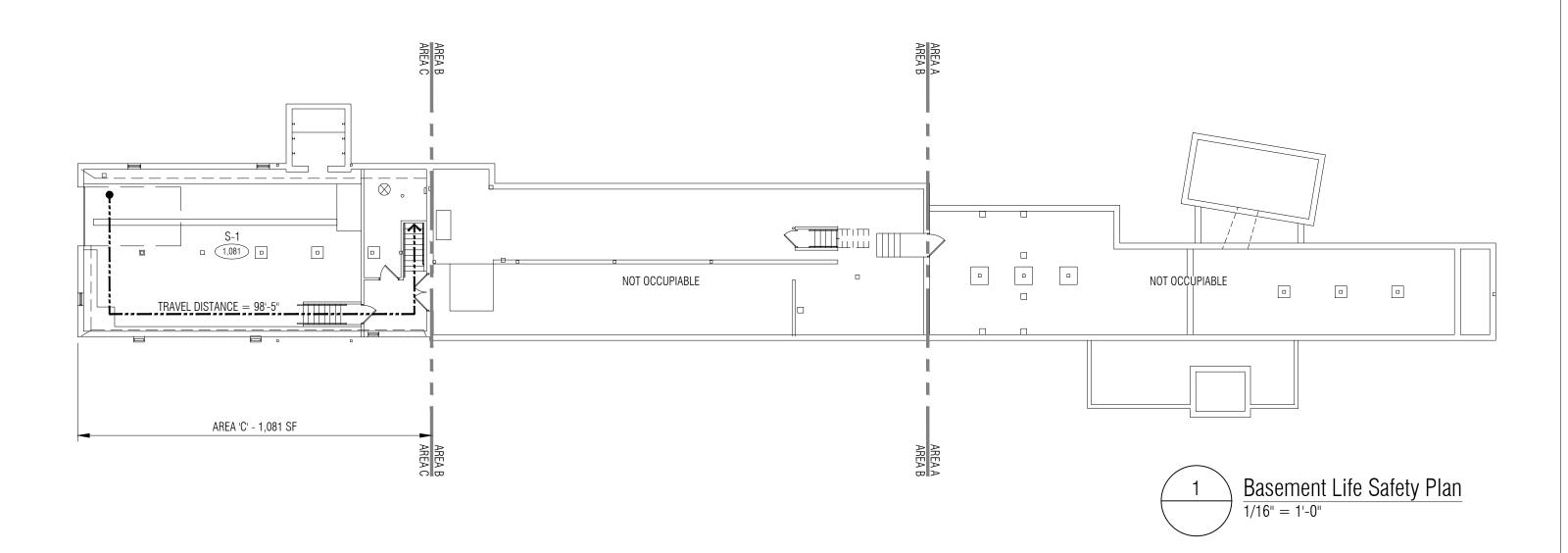
0 HRS 0 HRS

ROOF/CEILING:

INT. NON-LOAD BEARING: EXT. NON-LOAD BEARING:







CODE AND LIFE SAFETY PLAN LEGEND EXIT ACCESS TRAVEL DISTANCE A: 0'-0" DENOTES INDIVIDUAL EGRESS PATH AND DISTANCE OF TRAVEL BY SEGMENT # AREA OF ROOM OR SPACE (SQUARE FEET) OCCUPANT LOAD EXITING THROUGH •<u>#</u> EGRESS COMPONENT OCCUPANT CAPACITY OF EGRESS COMPONENT FEC FIRE EXTINGUISHER CABINET # OCCUPANT LOAD OF ROOM OR AREA

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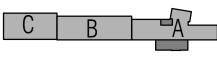
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KEY PLAN	



OWNER City of Dexter

PROJECT NAME City Hall Renovations

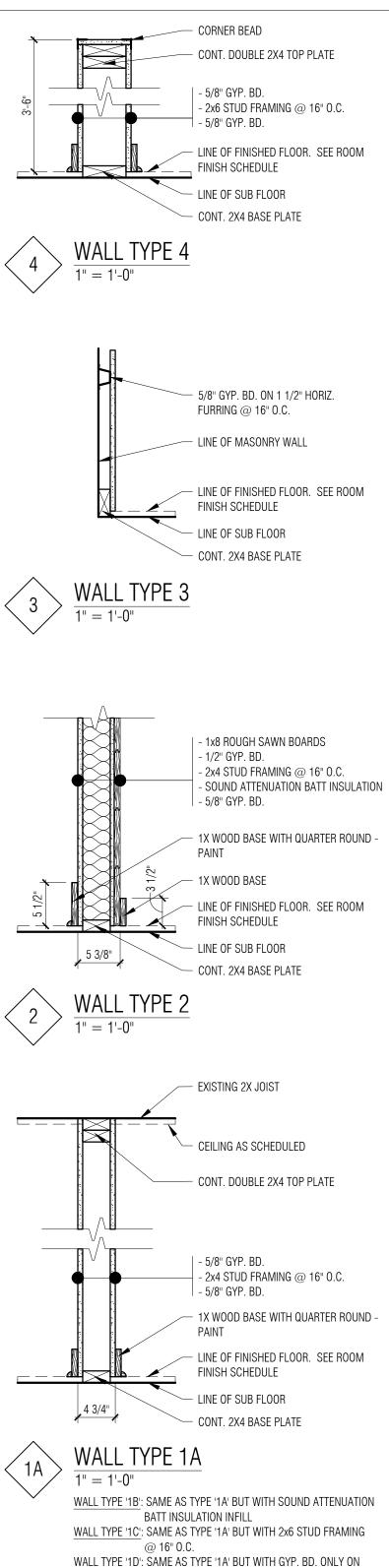
3515 Broad St. Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS TEMP. OCC. PERMIT 9/13/2021 Bidding Construction 12/22/2021

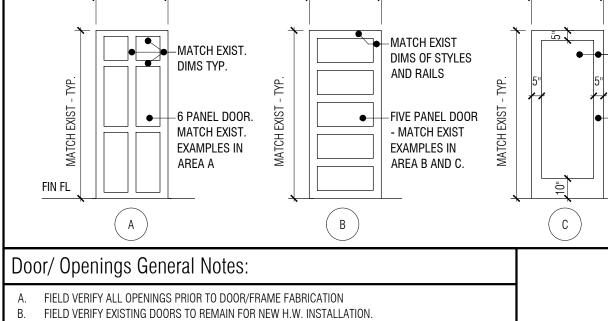
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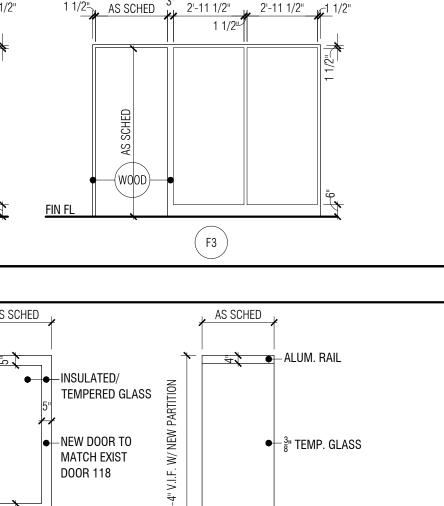


WALL TYPE 'TC'	: SAIVIE AS TYPE '	IA, BUL M	11H 2X6 STUL) FRAN
	@ 16" 0.C.			
WALL TYPE '1D'	: SAME AS TYPE	1A' BUT W	ITH GYP. BD.	ONLY
	EXPOSED SIDE			

]	Door /	Opening Schedule														Room	Finish Schedule								
		DOOR / OPENING SIZE (W X H)		DOOR			FRAME			DETAILS		HARDWARE									WA	LLS			
	DOOR NO.	(CONTRACTOR TO VERIFY DOOR SIZE IF OPENING IS EXISTING)	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	THRES. / SIL I	SET #	LABEL (MIN.)	DOOR / OPENING KEY NOTES		ROOM N	D. ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CEILING FINISH	ROOM FINISH KEY NOTES
	101	3'-0" X 7'-0"	С	WD/GL	PNT-3	F2	ALUM	PNT-3			T5	01	-			101	VESTIBULE	CPT-2	B-1	-	-	-	-	ACT-1	
	102	3'-0" X 7'-0"	С	WD/GL	PNT-3	F3	ALUM	PNT-3				07	-			102	LOBBY	PCT-1	B-1 / B-2	PNT-1	PNT-2	PNT-1 / PNT-5	PNT-1 / EXIST WD	PNT-1	2
	104	3'-0" X 7'-0"	D	WD/GL	PNT-3	-	-	-				08	-			103	HOTELING	WD-1	EXIST / B-1	PNT-2	EXIST	PNT-2	PNT-2	EXIST	
	105	EXIST	A	WD	EXIST	EXIST	WD	EXIST				09	-			104	CONFERENCE	EXIST	EXIST / B-2	-	-	PNT-2 / -	EXIST - WD	-	
	106	EXIST	А	WD	EXIST	EXIST	WD	EXIST				10	-			105	CLOSET	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	107	EXIST	A	WD	EXIST	EXIST	WD	EXIST				10	-			106	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	108	3'-0" X 7'-0"	С	WD/GL	PNT-3	F1	WD	PNT-3				11	-			107	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	109	3'-0" X 7'-0"	A	WD	PNT-3	F1	WD	PNT-3				02	-			108	CORRIDOR	EXIST	EXIST	PNT-1	EXIST	PNT-1	_	PNT-1	
	110	3'-0" X 7'-0"	A	WD	PNT-3	F1	WD	PNT-3				03	-			109	ELEV. LOBBY	WD-1	B-1	-	-	PNT-1	PNT-1	ACT-1	
	112	3'-0" X 7'-0"	А	WD	PNT-3	F1	WD	PNT-3				13	-			110	CORRIDOR	WD-1	B-1	-	-	PNT-1	PNT-1	PNT-1	
	113	EXIST	A	WD	EXIST	EXIST	WD	EXIST				14	-			111	RECEPTION OFFICE	CPNT-1	B-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
	114	EXIST	A	WD	EXIST	EXIST	WD	EXIST				14	-			112	CORRIDOR	EXIST	EXIST / B-1	PNT-1	PNT-1	PNT-2	PNT-1	PNT-1	
	115	3'-0" X 7'-0"	A	WD	PNT-3	F1	WD	PNT-3				03	_			113	WOMEN'S	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
	116	EXIST	A	WD	EXIST	EXIST	WS	EXIST				04	-			114	MEN'S	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
æ	117	EXIST	A	WD	EXIST	EXIST	WD	EXIST				09	-		l cc		ARCHIVE STORAGE	EXIST	EXIST / B-1	PNT-1	EXIST	EXIST	PNT-1	EXIST	
0	118	3'-0" X 7'-0"	С	WD/GL	PNT-3	F2	ALUM	PNT-3				05	_		008	116	WORK ROOM	EXIST	EXIST / B-1	PNT-1	EXIST	PNT-1	PNT-1	EXIST / PNT-1 / ACT-1	
	119	EXIST	EXIST	WD	PNT-3	EXIST	WD	EXIST				15	EXIST				AV	EXIST	EXIST	EXIST	EXIST	-	EXIST	EXIST	
FIRS ⁻	120	EXIST	 B	WD	EXIST	EXIST	WD	EXIST				16	_		FIRST	118	VESTIBULE	EXIST	EXIST / B-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	
	121	EXIST	 	WD	EXIST	EXIST	WD	EXIST				17	_			- 119	CORRIDOR	EXIST	EXIST	PNT-1	PNT-1	PNT-1	_	EXIST	
	122	EXIST	B	WD	EXIST	EXIST	WD	EXIST				16	_			120	WOMEN'S	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
	123	EXIST	B	WD	EXIST	EXIST	WD	EXIST				17	_			120	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	124A	EXIST	EXIST	WD/GL	EXIST	EXIST	WD	EXIST				18	_			122	MEN'S	EXIST	EXIST	PNT-4	PNT-4	PNT-4	PNT-4	EXIST	
	124A	EXIST	EXIST	WD/GL	EXIST	EXIST	WD	EXIST				18					SERVER	EXIST	EXIST	EXIST		EXIST	EXIST	EXIST	
	1240	EXIST	LAIST R		EXIST	EXIST	WD	EXIST					-			123 124	COUNCIL ROOM	EXIST	EXIST	PNT-1	EXIST PNT-1	PNT-1	PNT-1 / PNT-4	EXIST	2
	127	3'-0" X 7'-0" (V.I.F.)	D 	WD	PNT-3		WD	PNT-3				09	-				KITCHENETTE		EXIST	EXIST	PNT-1	PNT-1	PNT-1		<u> </u>
		EXIST	EXIST	WD WD/GL	EXIST	F1 EXIST	WD	EXIST				09	-			125		EXIST						EXIST	
	129A		EXI31		EXIST			EXIST				06	-			126	VESTIBULE	EXIST	EXIST	PNT-1	PNT-1	PNT-1	PNT-1	EXIST	
	129B	EXIST	D	WD	EXIST	EXIST	WD					19	-			127	ELECTRICAL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	130	EXIST	D	WD		EXIST	WD	EXIST				14	-			128	CLOSET	VCT	B-1	PNT-1	PNT-1	PNT-1	PNT-1	EXIST	1
	131	EXIST	R	WD	EXIST	EXIST	WD	EXIST				14	-			129	OPEN OFFICE	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	EXIST	
	132A	EXIST	B	WD	EXIST	EXIST	WD	EXIST				20	-			130	WOMEN'S	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	132B	EXIST	В	WD	EXIST	EXIST	WD	EXIST				20	-			131	MEN'S	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
		5,407			5,407	5,407		5,407								132	CONFERENCE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	201	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-			STAIR 1	STAIR	WD	WD	-	PNT-1	PNT-1	PNT-1	PNT-1	
	202	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-												
	203	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-			201	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	204	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-			202	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
	208	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-			203	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
00R	209	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-			204	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
	210A	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	10	-		OB	205	CORRIDOR	EXIST	EXIST	PNT-1	EXIST	EXIST	-	EXIST	
	210B	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	20	-		FLOO	2 06	ELEVATOR LOBBY	EXIST	EXIST / B-1	-	-	PNT-1	PNT-1	PNT-1	
SECOND	211	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	14	-		Q	207	CORRIDOR	EXIST	EXIST	PNT-1	-	EXIST	-	EXIST	
S	212	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	14	-		SECOND	208	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
	213A	EXIST	A	WD	EXIST	EXIST	WD	EXIST	-	-	-	20	-		S	209	OFFICE	EXIST	EXIST	EXIST	EXIST	PNT-1	EXIST	EXIST	
	213B	EXIST	А	WD	EXIST	EXIST	WD	EXIST	-	-	-	20	-			210	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
	214	EXIST	А	WD	EXIST	EXIST	WD	EXIST	-	-	-	19	-			211	UNISEX	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
ſ																212	UNISEX	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
Frame Types					213	BREAKROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST												
		1 1/2"AS SCHED1 1/	2"	1 1/	2", 2'-11	1/2" 3"	AS SCHED	3" 2'-1	11 1/2"1	1/2"	1 1/2", /	S SCHED	3" 2'-11 1/2"	2'-11 1/2" Jun 1 1/2"		214	CONFERENCE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
			-	-7							·/		1 1/			·									
					'I				יי <u>ד</u> (*	'I 					Gen	eral Notes:								
										- -				11		A. (ENERAL NOTE.								

(W00D) (WOOD) FIN FL FIN F (F2) (F1) Door Types AS SCHED AS SCHED AS SCHED

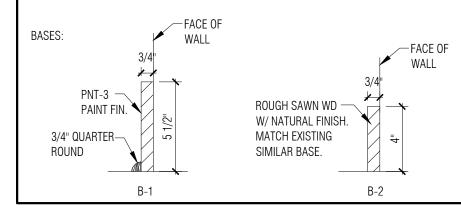




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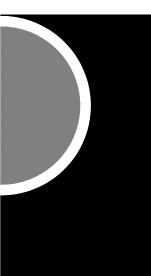
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- Room Finish Key Notes:
- NEW RAMP AND LANDING FINISH CPT-2. REFER TO INT. ELEVATION. PNT-5 LOCATION.
- 8. REFER TO PLAN FOR ACCENT COLOR LOCATION. PNT-4 LOCATION.
- FINISH KEY:
- WD-1: SALVAGE EXISTING WOOD FLOOR. REINSTALL TO MATCH AND BLEND WITH EXISTING TO REMAIN IN ADJACENT AREAS.
- CPT-1: OFFICE CARPET REFER TO SPECS
 CPT-2: (WALK OFF CARPET) REFER TO SPECS
- PCT-1: LOBBY FLOOR TILE REFER TO SPECS
- PNT-1: MATCH EXISTING WALL COLOR
- PNT-2: ACCENT WALL COLOR "GREEN" REFER TO SPECS
- PNT-3: MATCH EXISTING DOOR, TRIM AND WALL BASE TRIM COLOR- REFER TO SPECS • PNT-4: ACCENT WALL COLOR - "COPPER" - REFER TO SPECS
- PNT-5: ACCENT WALL COLOR "GREY" REFER TO SPECS





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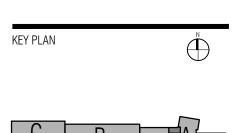
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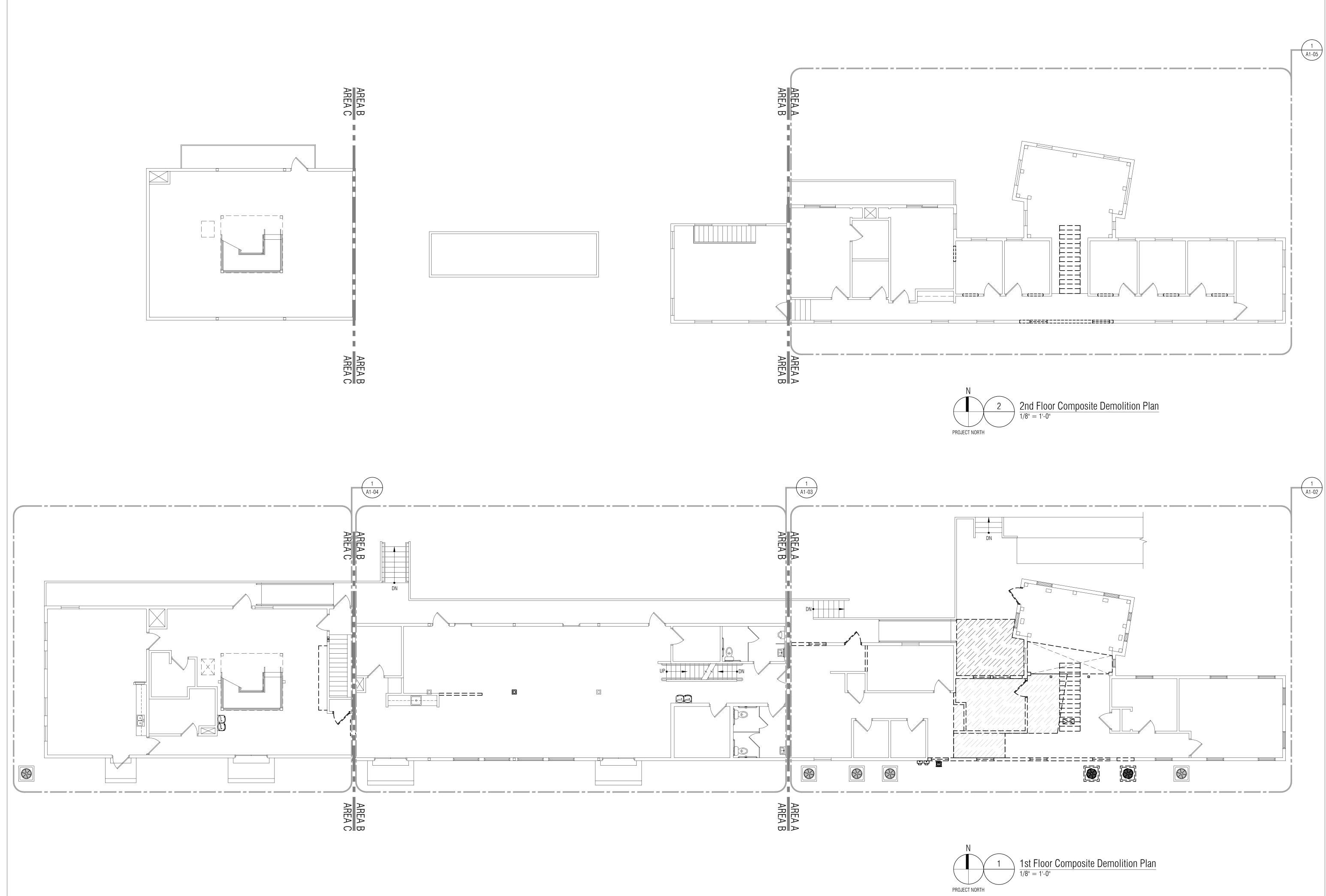
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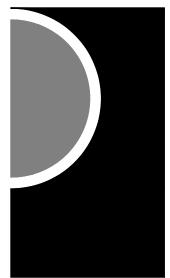
SL APPROVED BY

DWG SHEET NAME

SCHEDULES AND FRAME, DOOR, & WALL TYPES



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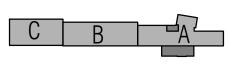
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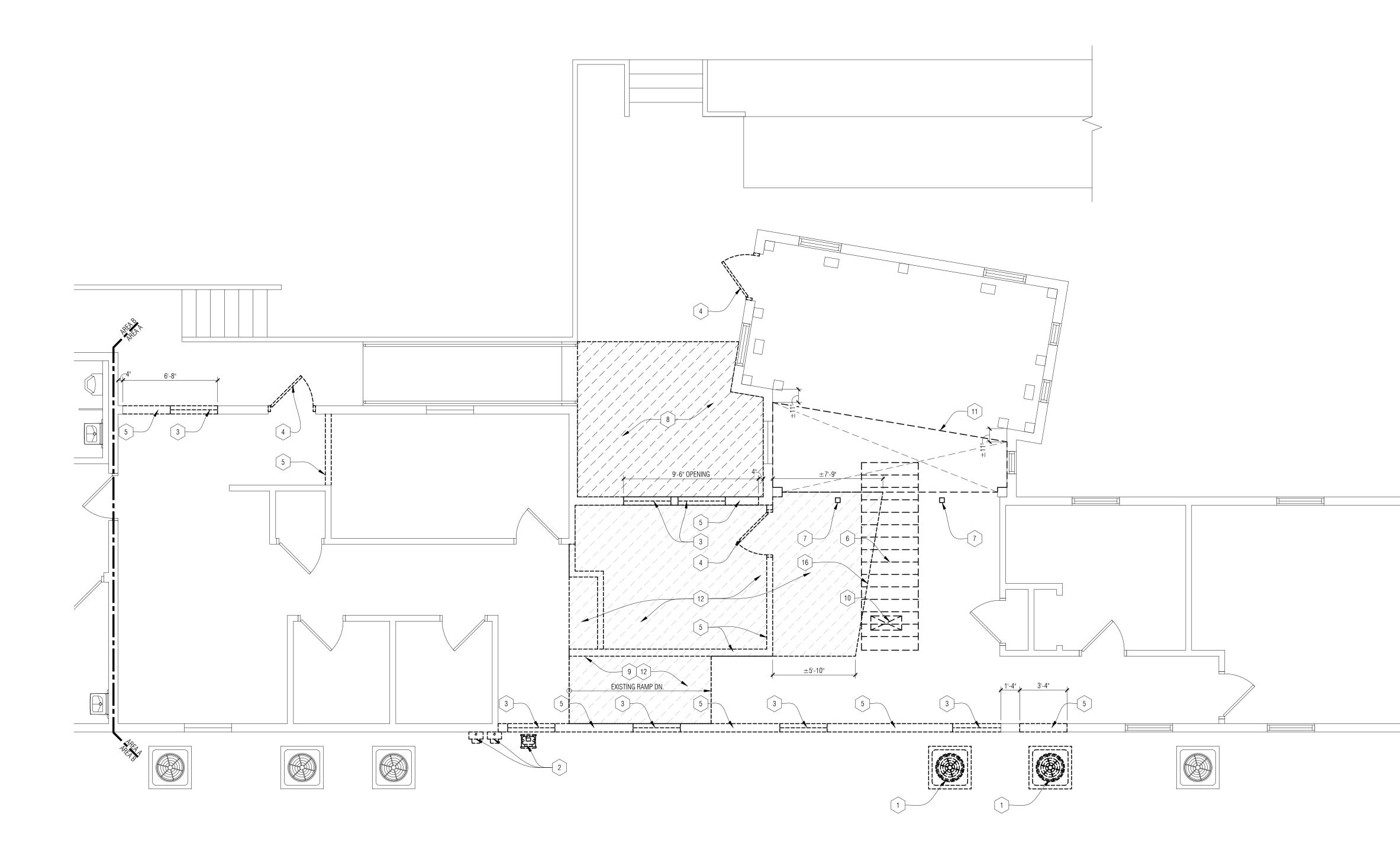
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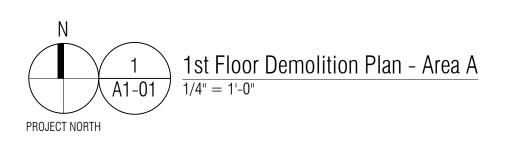
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DRAWN BY CWP/AR CHECKED BY SL APPROVED BY DWG SHEET NAME COMPOSITE DEMOLITION PLANS





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- 14BUILT-N WOOD AND STEEL TABLE TO BE REMOVED AND RETURNED10TO OWNER. PATCH & REPAIR WALL AS REQUIRED.
- $\fbox{15}$ Limit of Flooring Removal to align with back of toe kick @ New transaction counter.

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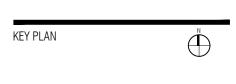
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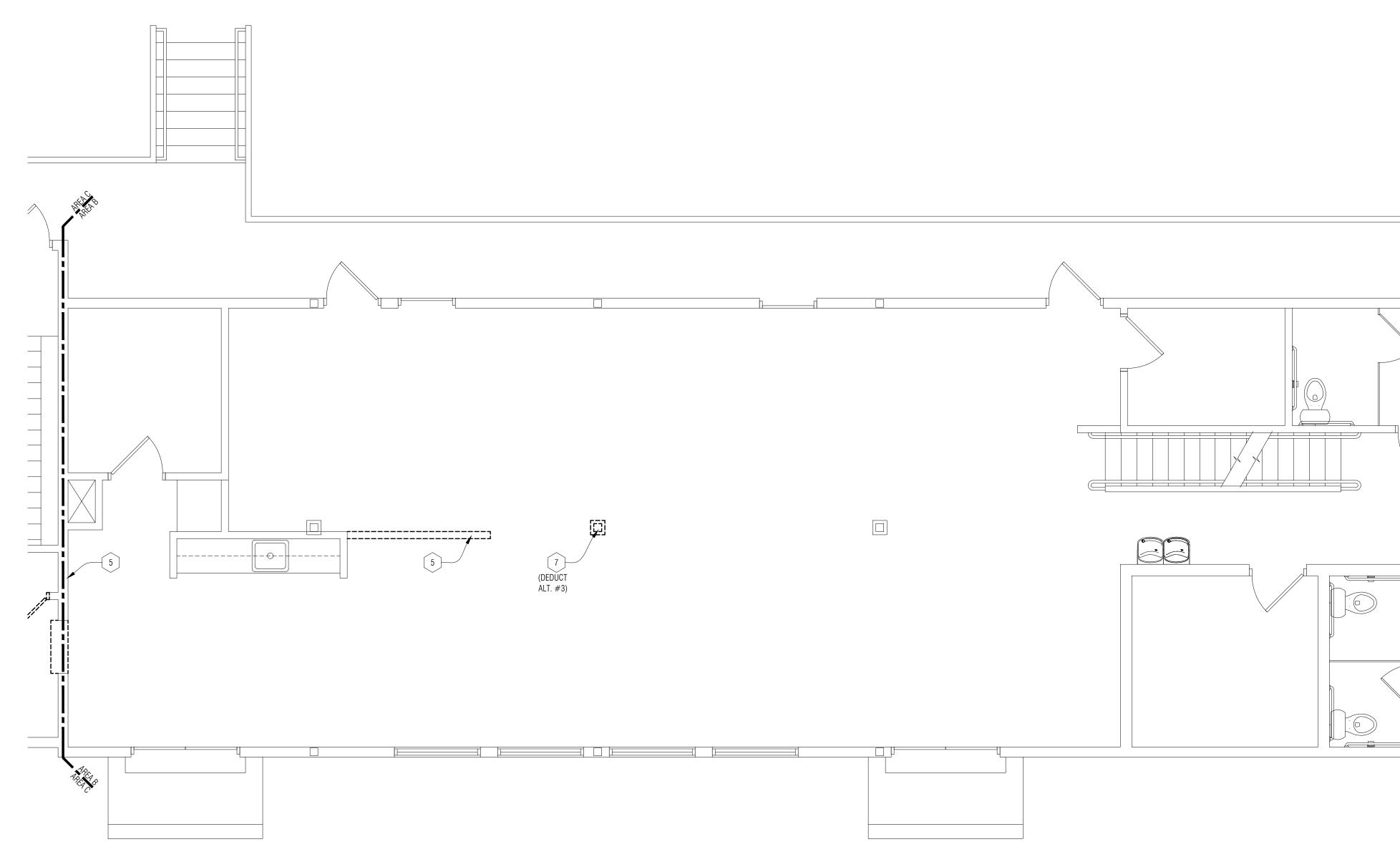
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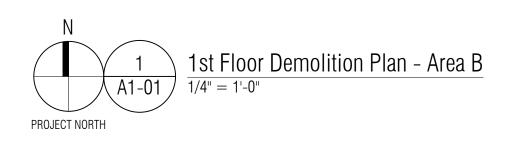
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DEMOLITION PLAN - AREA A





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- $\fbox{15}$ LIMIT OF FLOORING REMOVAL TO ALIGN WITH BACK OF TOE KICK @ NEW TRANSACTION COUNTER.

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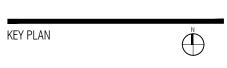
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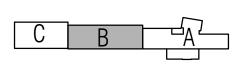
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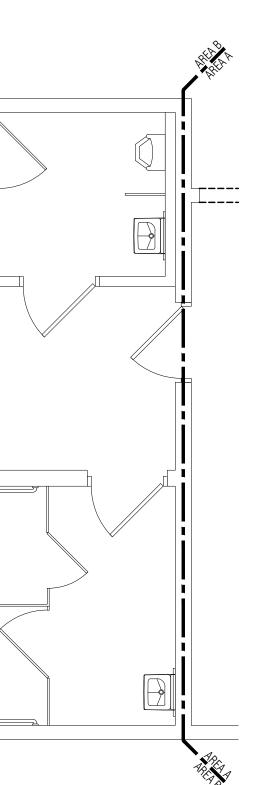
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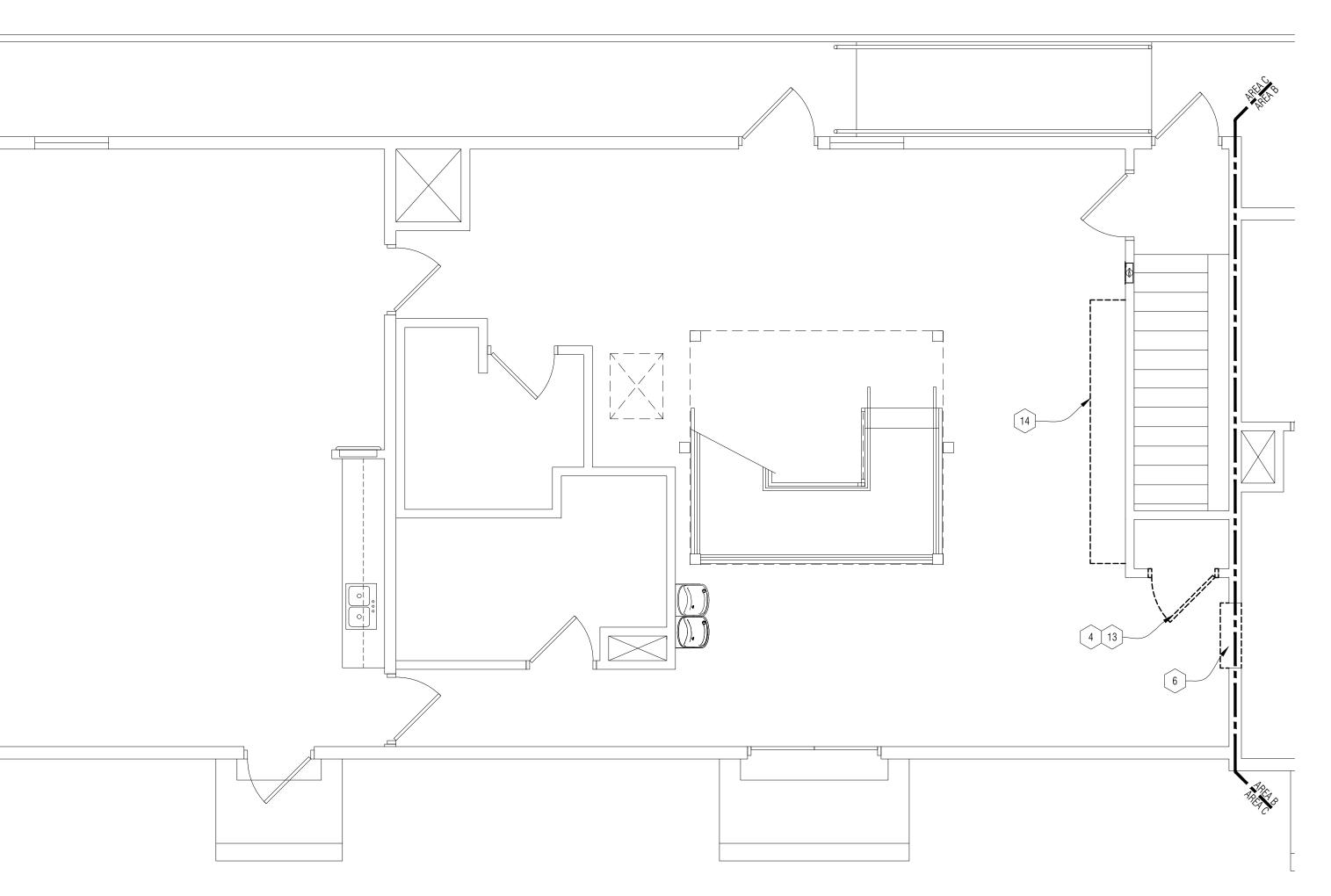
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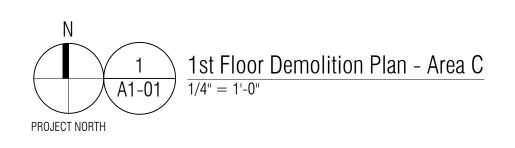
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DEMOLITION PLAN - AREA B









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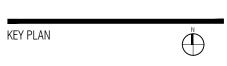
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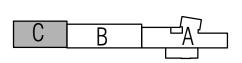
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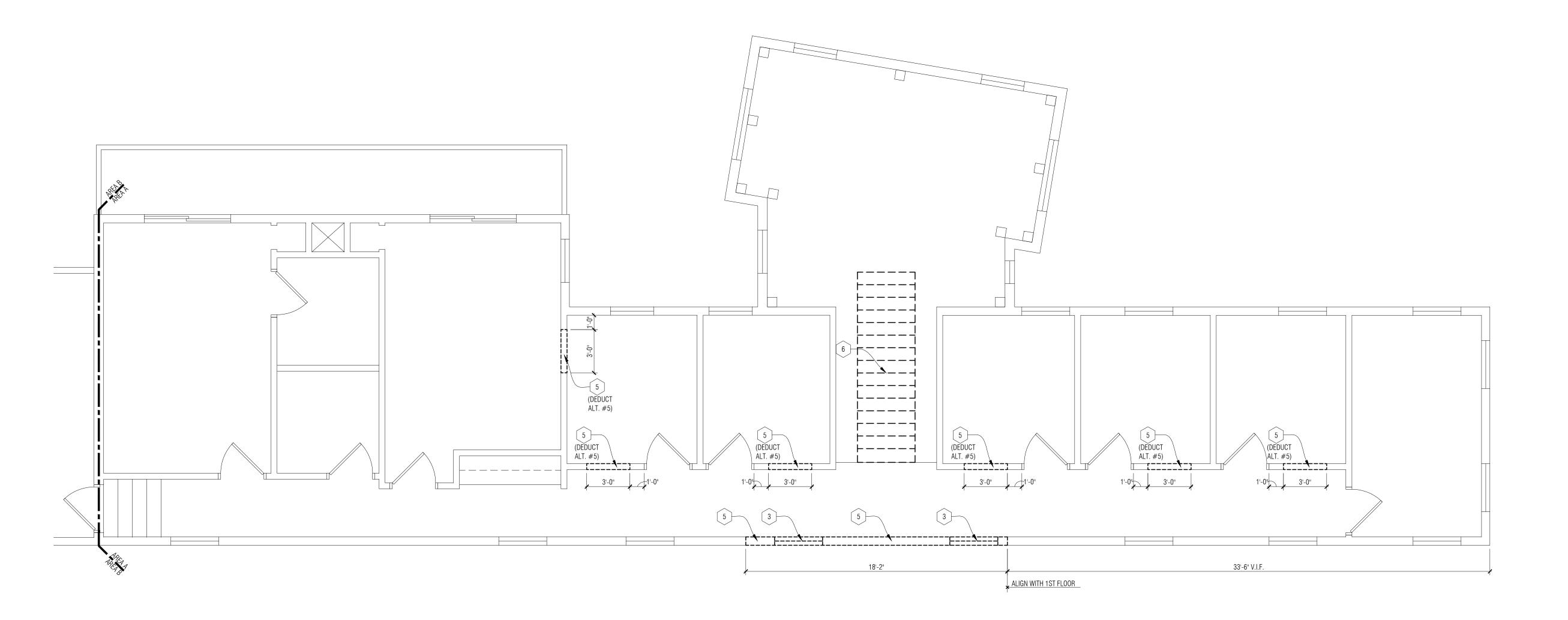
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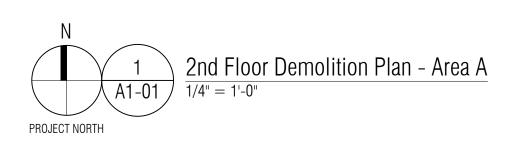
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1ST FLOOR DEMOLITION PLAN - AREA C





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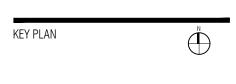
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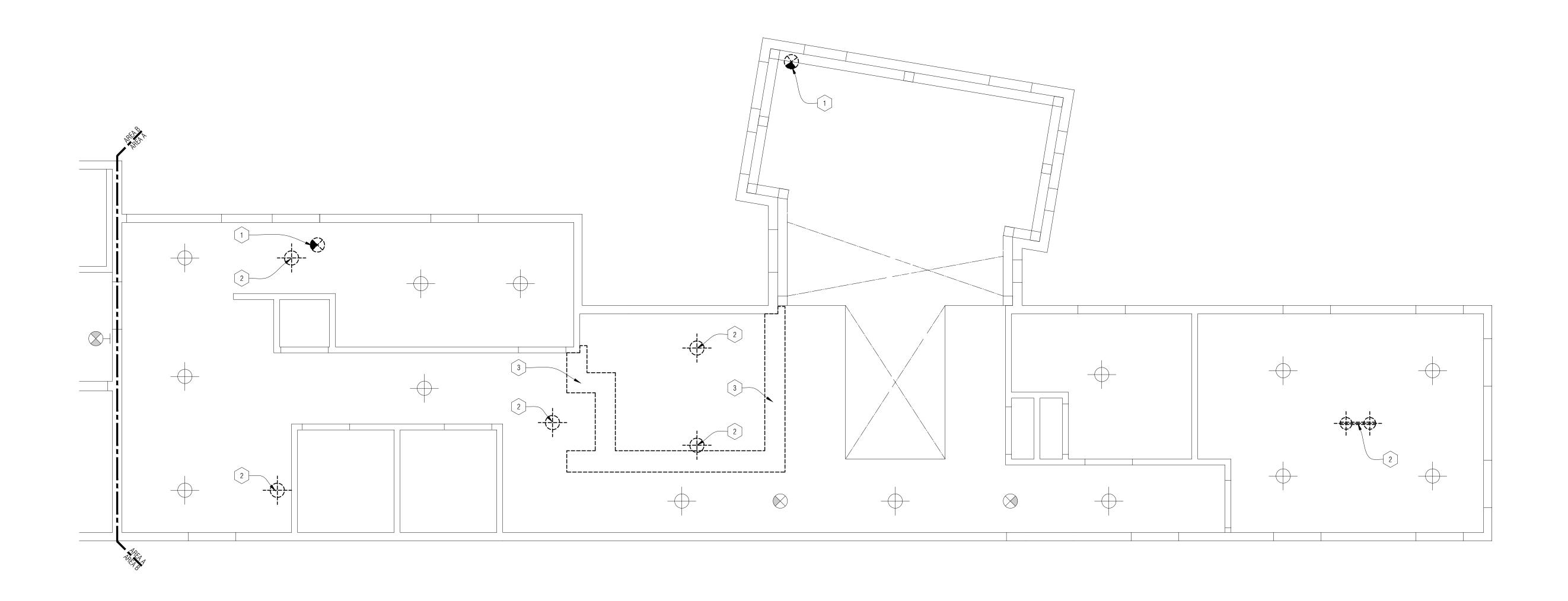
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CHECKED BY
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APPROVED BY
DWG
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2ND FLOOR DEMOLITION PLAN - AREA A





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- H. MAINTAIN EXISTING FIRE RATING WHERE OCCURS AND WHERE POSSIBLE DURING DEMOLITION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION AS WELL AS CONSTRUCTION MANAGER'S INSTRUCTIONS.

I. DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF-SITE, U.O.N. DEMOLITION PLANS - KEY NOTES:

- LIGHT FIXTURE TO BE REMOVED COMPLETE. RETURN FIXTURE TO OWNER.
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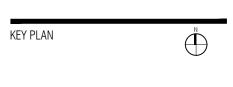
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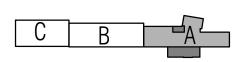
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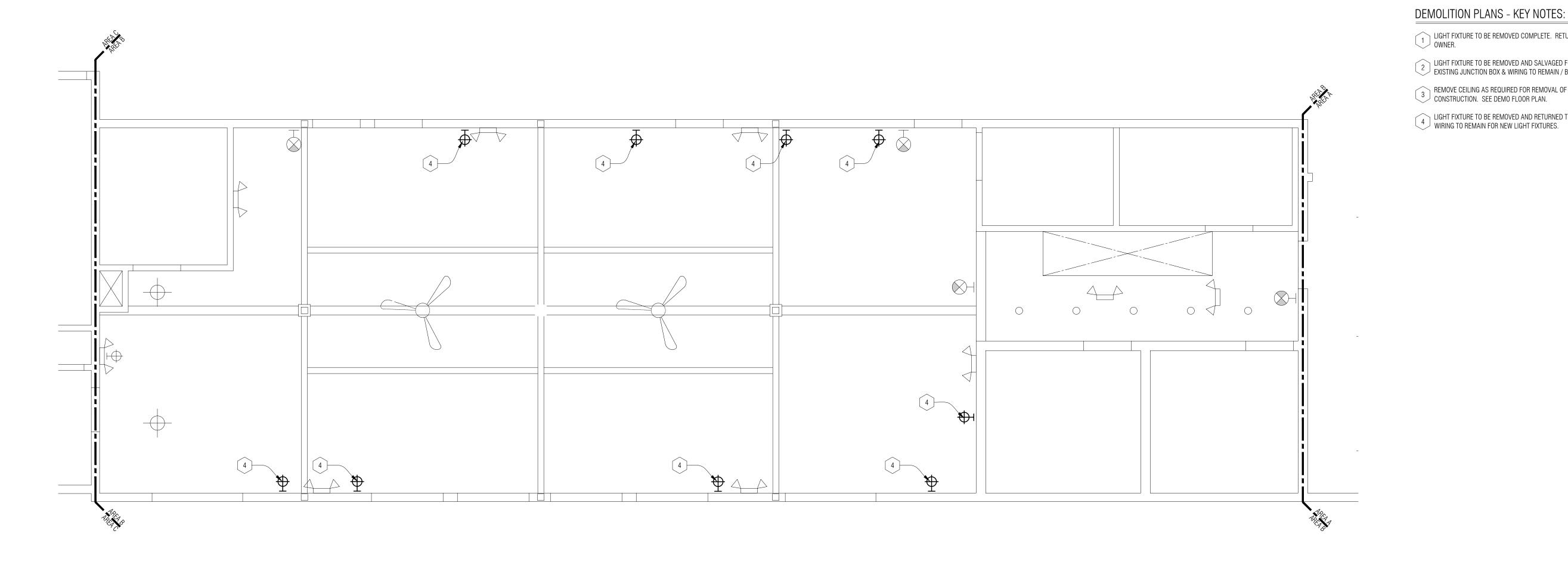
PROJECT NAME City Hall Renovations

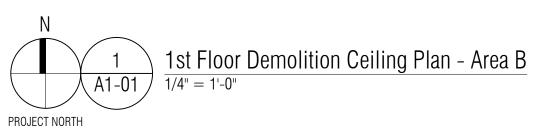
3515 Broad St. Dexter, MI 48130

PROJECT NO.

21-113

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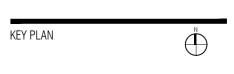
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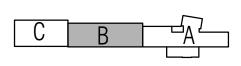
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City of Dexter

PROJECT NAME City Hall Renovations

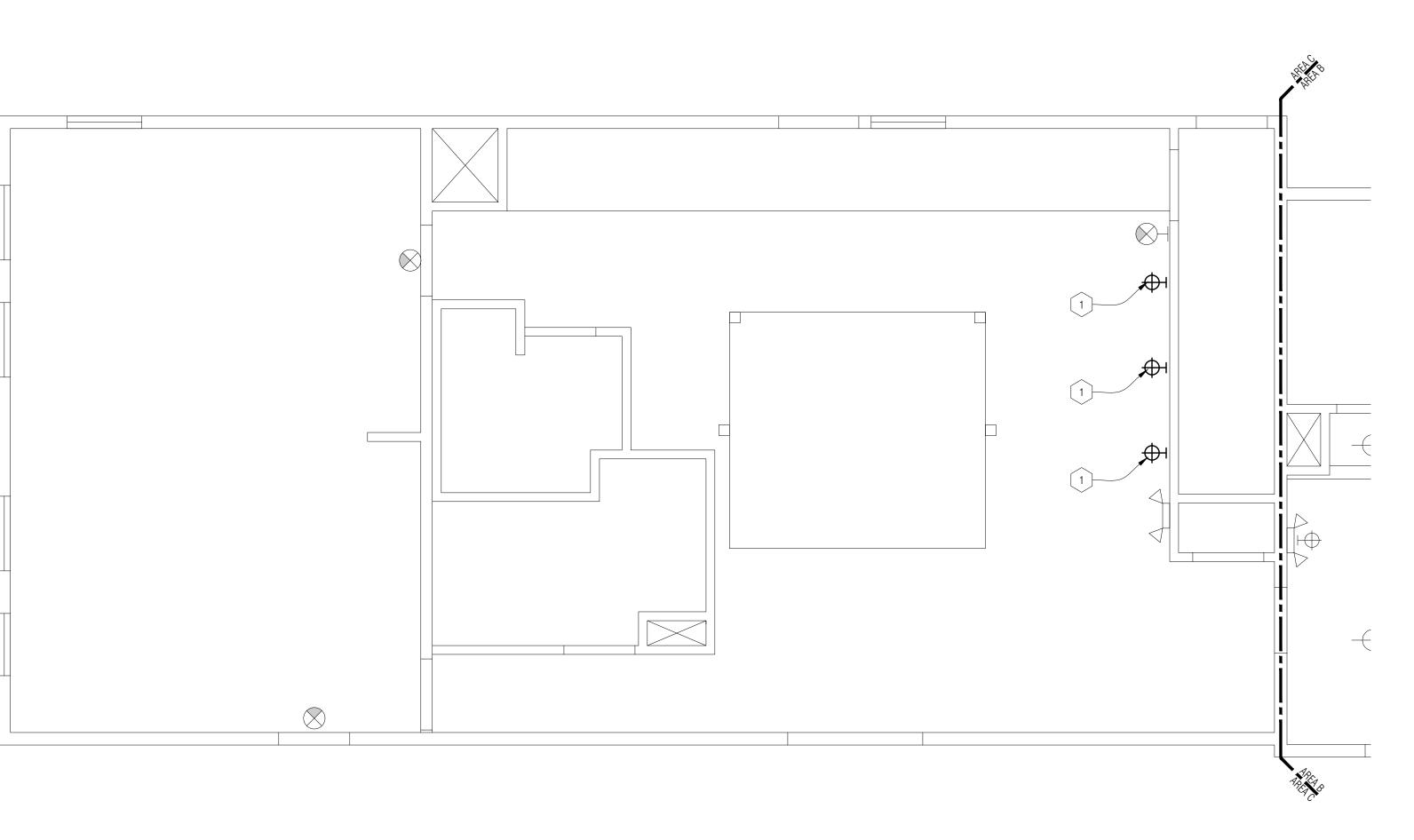
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PROJECT NO.

21-113

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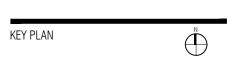
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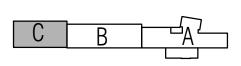
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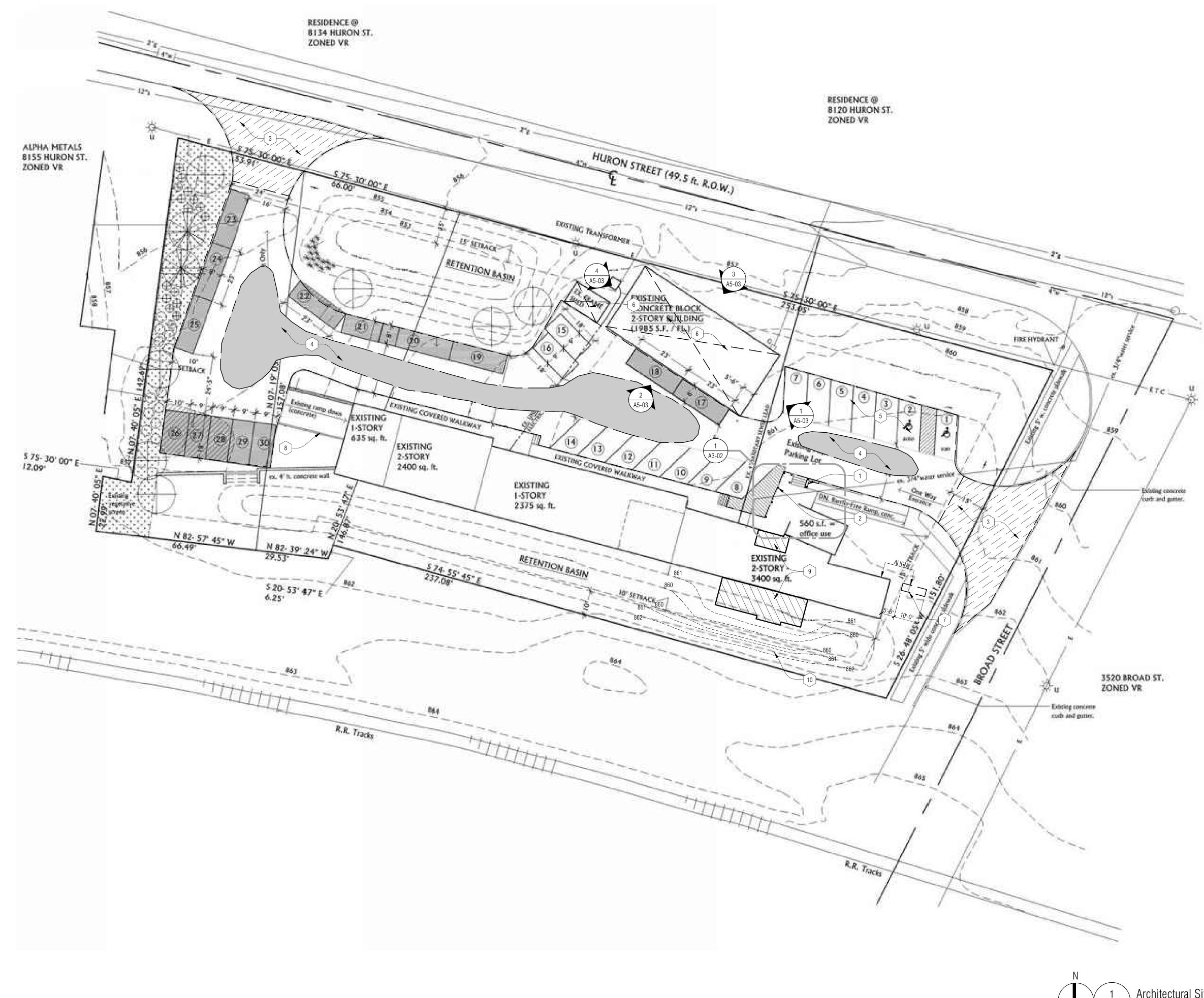
PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

PROJECT NO.

21-113

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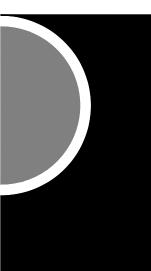




SITE PLAN KEY NOTES:

- REBUILD MASONRY RETAINING WALL CORNER AT CRACKED EXISTING ASSEMBLY. REMOVE & RESET MASONRY ALONG LENGTH OF STAIR AND FOR \pm 5'-0" ALONG THE NORTH ELEVATION. PROVIDE ELASTOMERIC SEALANT & BACKER ROD AT ALL CRACKS IN EXISTING CONCRETE STAIR.
- REMOVE ALL CORRODED STEEL BASE PLATES ANCHOR BRACKETS ² AT BOTTOM OF EACH WOOD POST IN EXISTING GUARDRAIL. REMOVE RUST STAINS FROM CONCRETE. REPLACE BRACKETS WITH GALVANIZED BRACKETS OF SIMILAR DESIGN. THRU BOLT BRACKETS TO WOOD POST TO ENSURE SOLID, STABLE CONNECTION. PROVIDE ASPHALT ISOLATION BETWEEN BRACKET & CONCRETE. ANCHOR BRACKET TO CONCRETE WITH EXPANSION ANCHORS SET IN EPOXY.
- 3 ADD ALTERNATE #1: REMOVE AND REPLACE ASPHALT PAVING IN THIS AREA.
- 4 ADD ALTERNATE #1: REMOVE AND REPLACE ALL DETERIORATED & CRACKED ASPHALT AT CENTER AREAS. TYP.
- ADD ALTERNATE #1: RESTRIPE PARKING SPACES AS SHOWN, INCLUDING BARRIER FREE SPACES.
- 6 ADD ALTERNATE #2: BARN AND SHED RENOVATIONS. SEE EXTERIOR ELEVATION SHEETS FOR MORE INFORMATION.
- 7 ADD ALTERNATE #3: NEW MONUMENT SIGN.
- 8] REPAINT EXISTING STEEL PIPE RAIL, COMPLETE.
- 9 BUILDING ADDITION
- 10 REGRADE ELEVATIONS @ ADDITION TO MAINTAIN GRADE LEVELS @ FACE OF BUILDING. MAINTAIN PITCH OF GRADE TO EXISTING ELEVATION @ BOTTOM OF SWALE. MAINTAIN CONTINUITY OF SWALE ELEVATIONS AROUND ADDITION AS SHOWN.





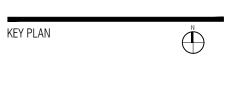
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City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

PROJECT NO.

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ISSUES / REVISIONS Bidding Construction 12/22/2021

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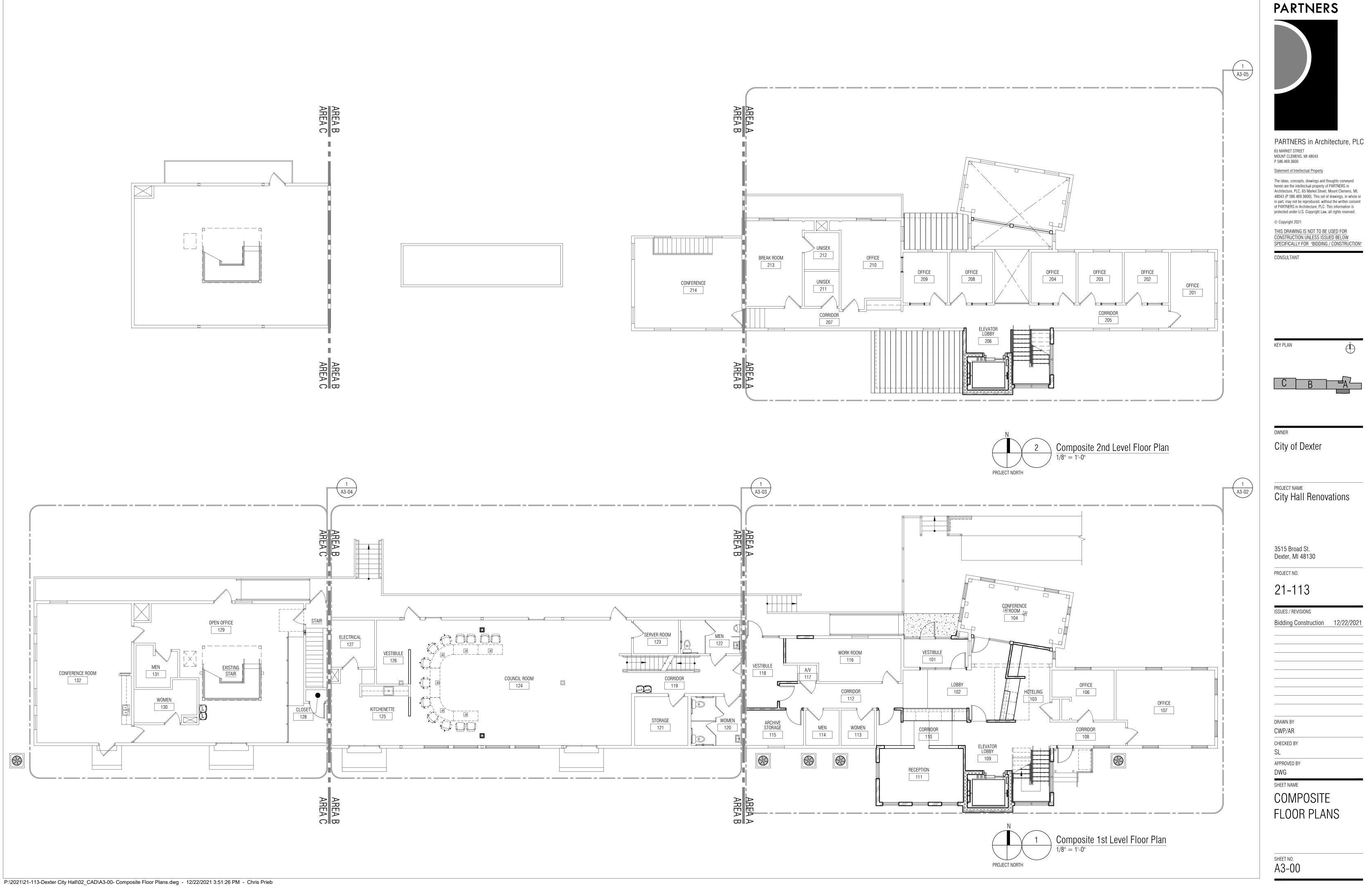
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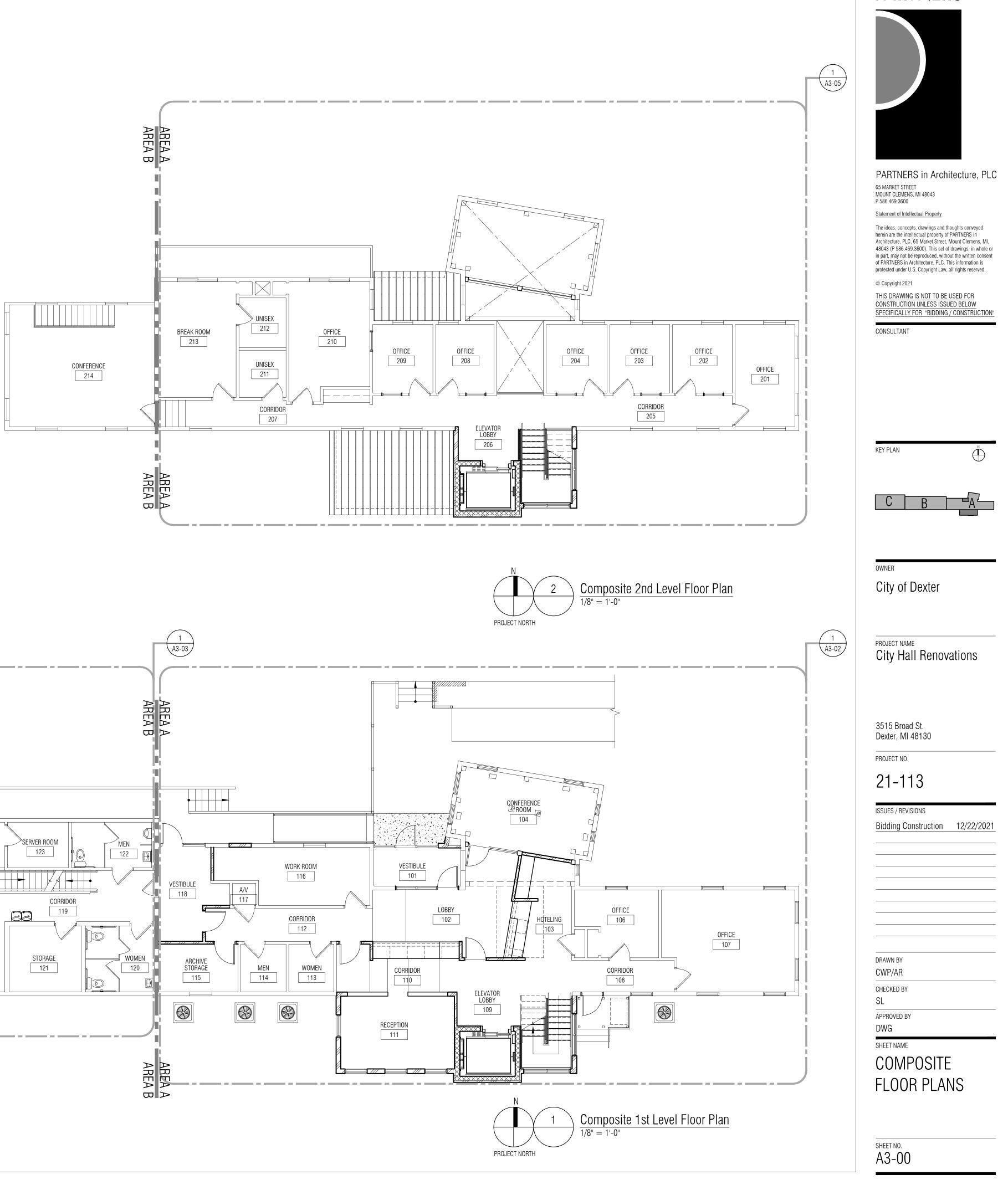
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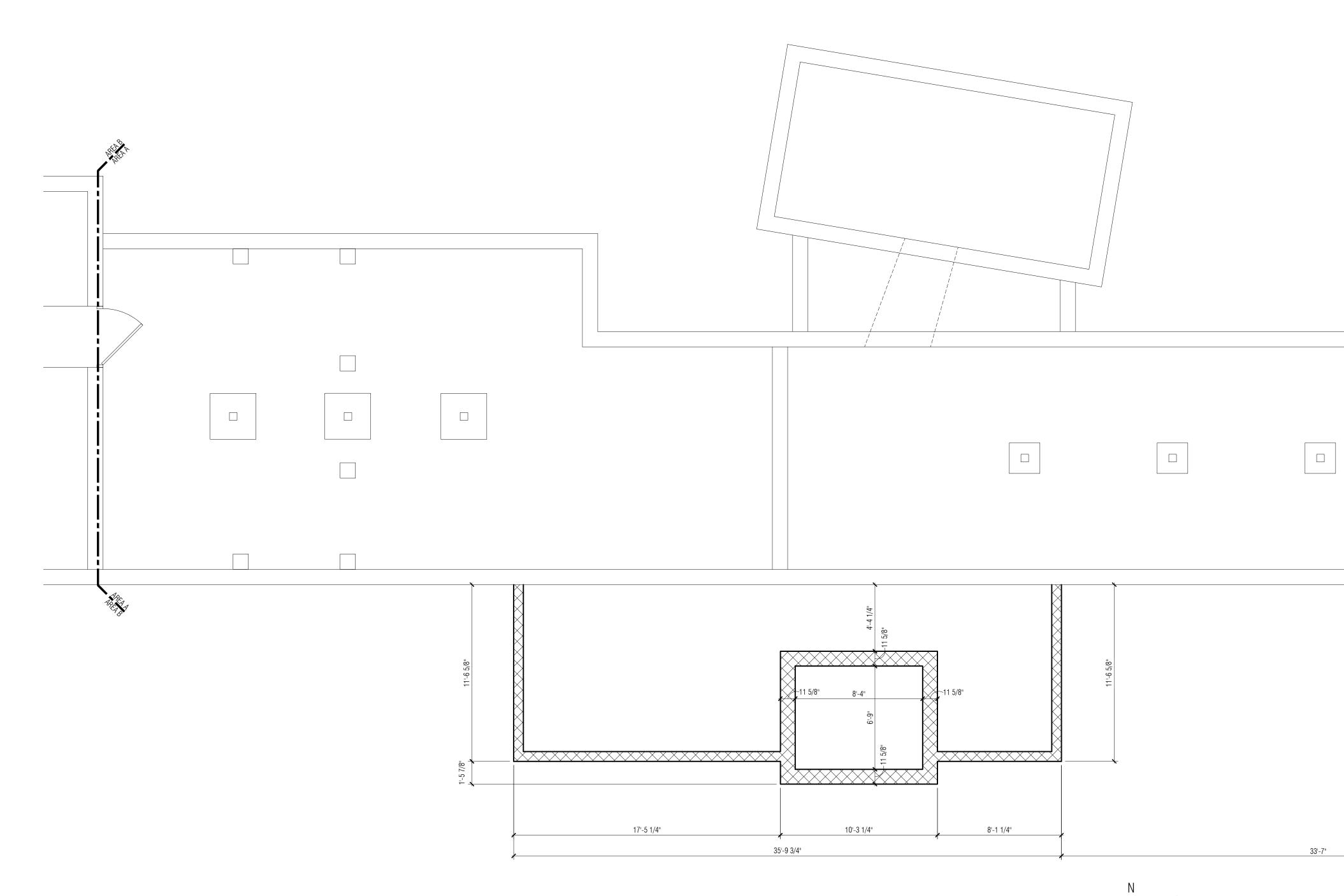
SHEET NAME

ARCHITECTURAL SITE PLAN









N 1 A3-01 PROJECT NORTH 1 st Floor Plan - Area A1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES:

- A. ALL DIMENSIONS ARE TO FINISH FACE OF WALL WALL THICKNESS IS SHOWN AS NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
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FLOOR PLAN KEY NOTES:

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- 2 EXISTING DOORS TO BE LOCKED IN CLOSED POSITION. BY OWNER.
- 3 INFILL EXISTING OPENING WITH MATCHING WALL CONSTRUCTION. PREP WALL FOR NEW FINISH.
- 4 NEW 8 X 8 TIMBER COLUMN FINISHED TO MATCH EXISTING TIMBER.
- 5 EXTEND LANDING CONSTRUCTION INTO EXISTING CLOSET TO MAINTAIN FLOOR LEVEL. ADJUST DOOR OPENING HEADER LOCATION TO WORK WITH EXISTING DOOR AT NEW HEIGHT. VERIFY EXISTING DOOR, FRAM, AND HEADER WILL FIT AT NEW HEIGHT.
- 6 NEW WALL CONSTRUCTION TO MATCH HEIGHT OF EXISTING ADJACENT WALLS.
- 7 FLOOR CURB CONSTRUCTION. REFER TO SECTIONS FOR MORE INFORMATION.
- 8 METAL PIT LADDER SECURED TO CMU WALL CONSTRUCTION. REFER TO DETAILS ON SHEET A3-10 FOR MORE INFORMATION.
- 9 1 X 6 DECK BOARDS ON 2 X 8 WOOD JOISTS @ 16" O.C. WITH 4 X 4 WOOD POSTS. SET POSTS MINIMUM 42" BELOW GRADE. ALL WOOD TO BE PRESERVATIVE TREATED. GALVANIZED 1 1/2" O.D. STEEL PIPE RAIL AND POSTS. ANCHOR TO WOOD DECK WITH EXPOSED BASE PLATE AS REQUIRED.
- 10 NEW STEEL COLUMN WITH GYP BD SURROUND. REFER TO STRUCT.
- 11 POWER & DATA FLOOR BOX. COORDINATE FLOOR LOCATIONS WITH OWNERS FURNITURE PLACEMENT PRIOR TO INSTALLATION. SEE ELECTRICAL.
- 12 REBUILD MASONRY RETAINING WALL CORNER AT CRACKED EXISTING ASSEMBLY. REMOVE & RESET MASONRY ALONG LENGTH OF STAIR AND FOR ±5'-0" ALONG THE NORTH ELEVATION. PROVIDE ELASTOMERIC SEALANT & BACKER ROD AT ALL CRACKS IN EXISTING CONCRETE STAIR.
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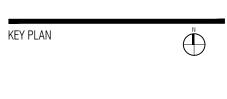
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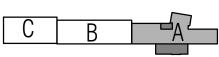
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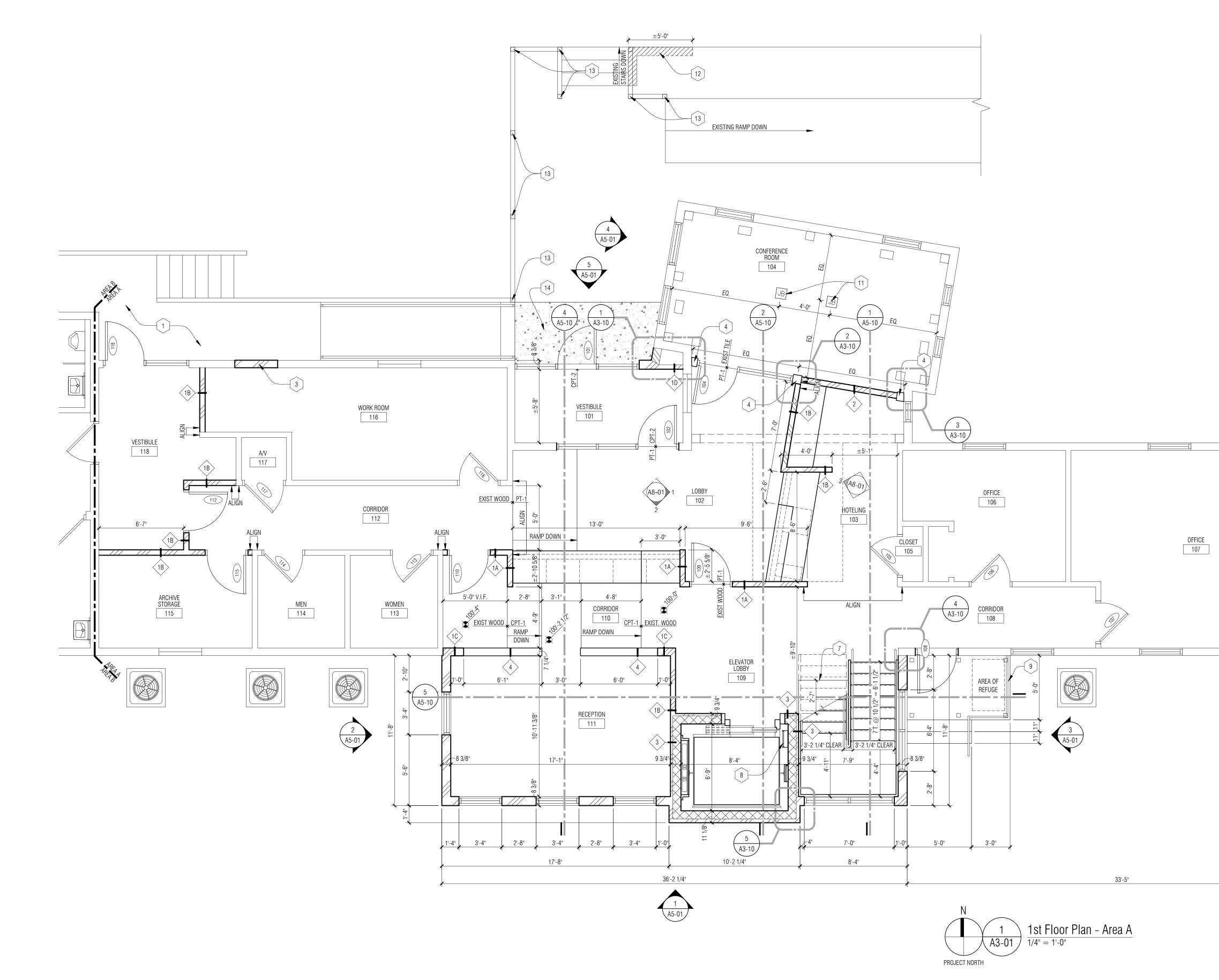
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ISSUES / REVISIONS

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CHECKED BY	
SL	
APPROVED BY	
DWG	
SHEET NAME	
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BASEMENT FLOOR PLAN - AREA A



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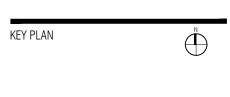
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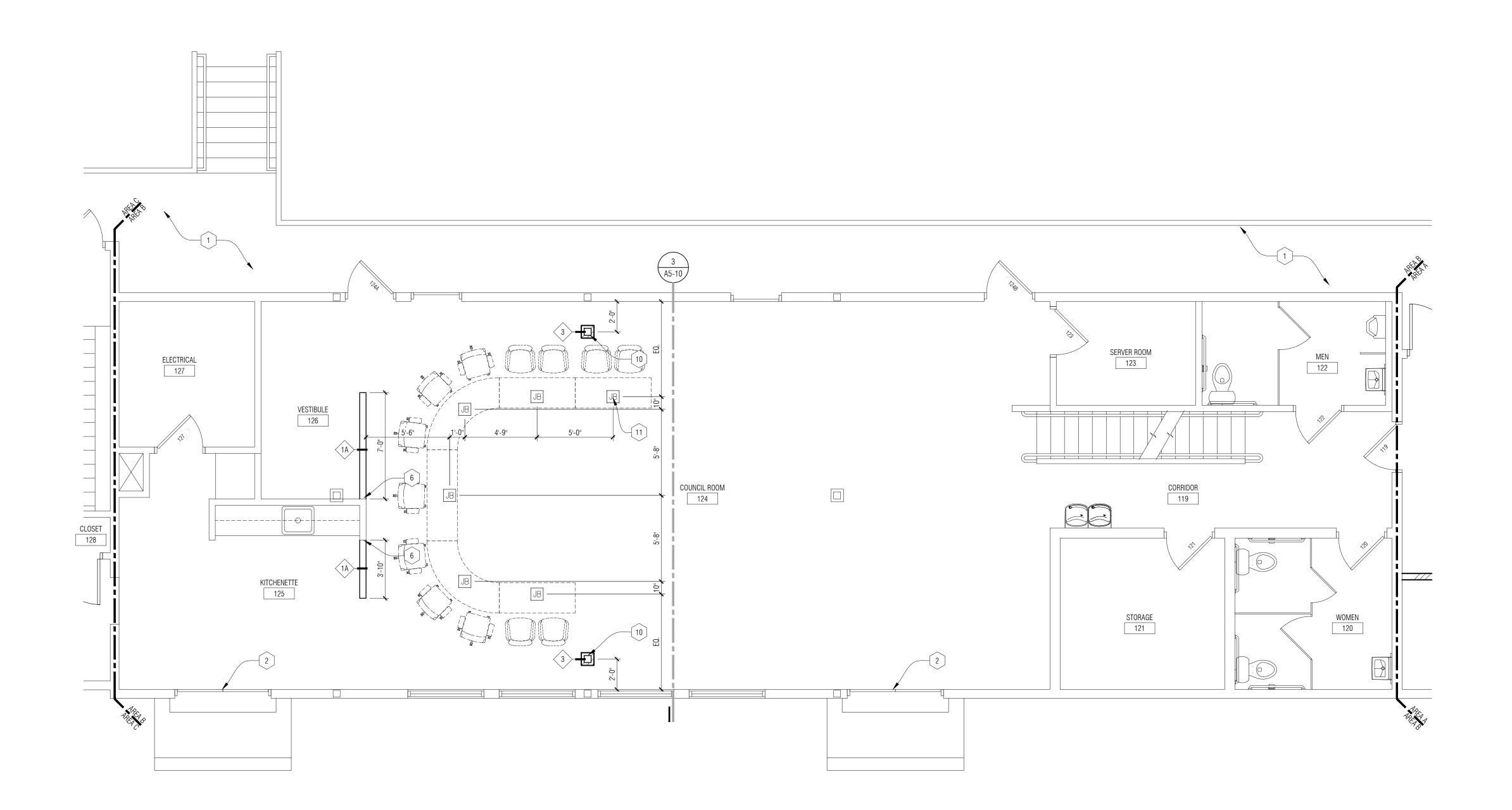
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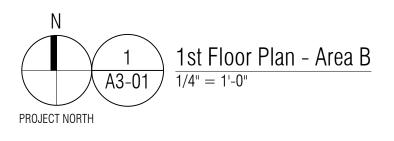
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DWG

SHEET NAME

1ST FLOOR PLAN - AREA A





FLOOR PLAN GENERAL NOTES:

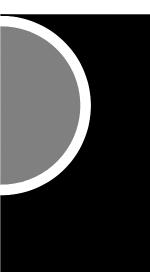
- A. ALL DIMENSIONS ARE TO FINISH FACE OF WALL WALL THICKNESS IS SHOWN AS NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- B. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.

FLOOR PLAN KEY NOTES:

1 EXISTING WOOD DECK CONSTRUCTION.

- 2 EXISTING DOORS TO BE LOCKED IN CLOSED POSITION. BY OWNER.
- 3 INFILL EXISTING OPENING WITH MATCHING WALL CONSTRUCTION. PREP WALL FOR NEW FINISH.
- 4 NEW 8 X 8 TIMBER COLUMN FINISHED TO MATCH EXISTING TIMBER.
- 5 EXTEND LANDING CONSTRUCTION INTO EXISTING CLOSET TO MAINTAIN FLOOR LEVEL. ADJUST DOOR OPENING HEADER
- MAINTAIN FLOOR LEVEL. ADJUST DOOR OPENING HEADER LOCATION TO WORK WITH EXISTING DOOR AT NEW HEIGHT. VERIFY EXISTING DOOR, FRAM, AND HEADER WILL FIT AT NEW HEIGHT.
- 6 NEW WALL CONSTRUCTION TO MATCH HEIGHT OF EXISTING ADJACENT WALLS.
- 7 FLOOR CURB CONSTRUCTION. REFER TO SECTIONS FOR MORE INFORMATION.
- 8 METAL PIT LADDER SECURED TO CMU WALL CONSTRUCTION. REFER TO DETAILS ON SHEET A3-10 FOR MORE INFORMATION.
- 9 1 X 6 DECK BOARDS ON 2 X 8 WOOD JOISTS @ 16" O.C. WITH 4 X 4 WOOD POSTS. SET POSTS MINIMUM 42" BELOW GRADE. ALL WOOD TO BE PRESERVATIVE TREATED. GALVANIZED 1 1/2" O.D. STEEL PIPE RAIL AND POSTS. ANCHOR TO WOOD DECK WITH EXPOSED BASE PLATE AS REQUIRED.
- 10 NEW STEEL COLUMN WITH GYP BD SURROUND. REFER TO STRUCT.
- 11 POWER & DATA FLOOR BOX. COORDINATE FLOOR LOCATIONS WITH OWNERS FURNITURE PLACEMENT PRIOR TO INSTALLATION. SEE ELECTRICAL.
- 12 REBUILD MASONRY RETAINING WALL CORNER AT CRACKED EXISTING ASSEMBLY. REMOVE & RESET MASONRY ALONG LENGTH OF STAIR AND FOR ±5'-0" ALONG THE NORTH ELEVATION. PROVIDE ELASTOMERIC SEALANT & BACKER ROD AT ALL CRACKS IN EXISTING CONCRETE STAIR.
- 13 REMOVE ALL CORRODED STEEL BASE PLATES ANCHOR BRACKETS AT BOTTOM OF EACH WOOD POST IN EXISTING GUARDRAIL. REMOVE RUST STAINS FROM CONCRETE. REPLACE BRACKETS WITH GALVANIZED BRACKETS OF SIMILAR DESIGN. THRU BOLT BRACKETS TO WOOD POST TO ENSURE SOLID, STABLE CONNECTION. PROVIDE ASPHALT ISOLATION BETWEEN BRACKET & CONCRETE. ANCHOR BRACKET TO CONCRETE WITH EXPANSION ANCHORS SET IN EPOXY.
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- 15 NEW WINDOW TO MATCH EXISTING EXTERIOR WINDOWS WITH FIXED SASH & SINGLE PANE GLAZING.

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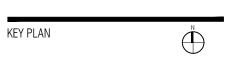
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OWNER

City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

PROJECT NO.

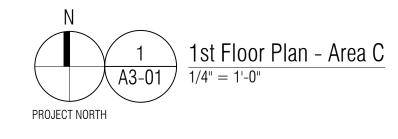
21-113

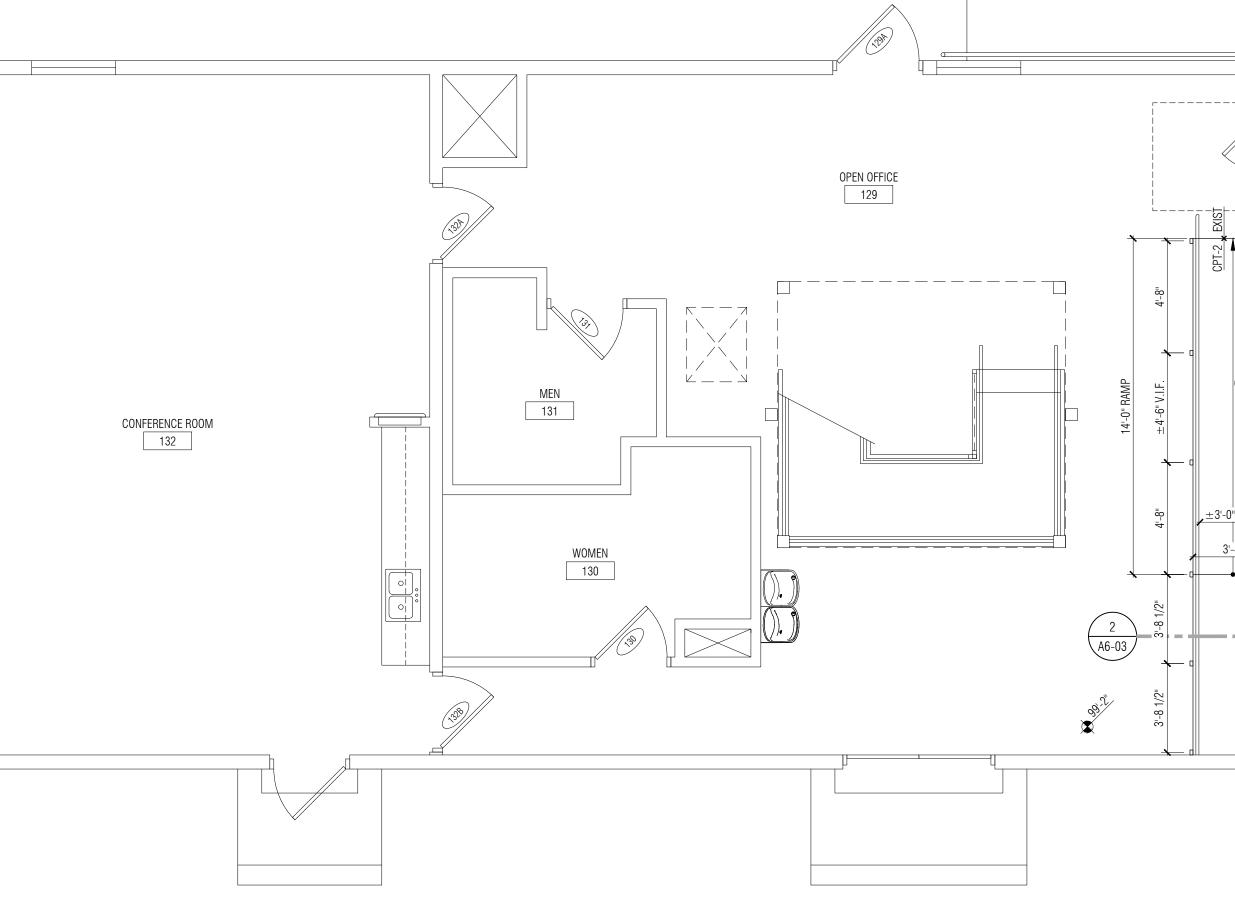
ISSUES / REVISIONS
Bidding Construction 12/22/2021

DRAWN BY	
CWP	
CHECKED B	Y
SL	
APPROVED I	BY
DWG	
SHEET NAM	E

1ST FLOOR PLAN - AREA B







FLOOR PLAN GENERAL NOTES:

- A. ALL DIMENSIONS ARE TO FINISH FACE OF WALL WALL THICKNESS IS SHOWN AS NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
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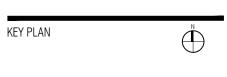
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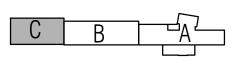
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OWNER

City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

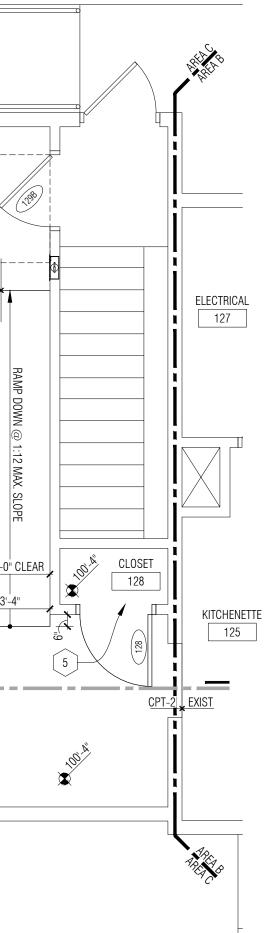
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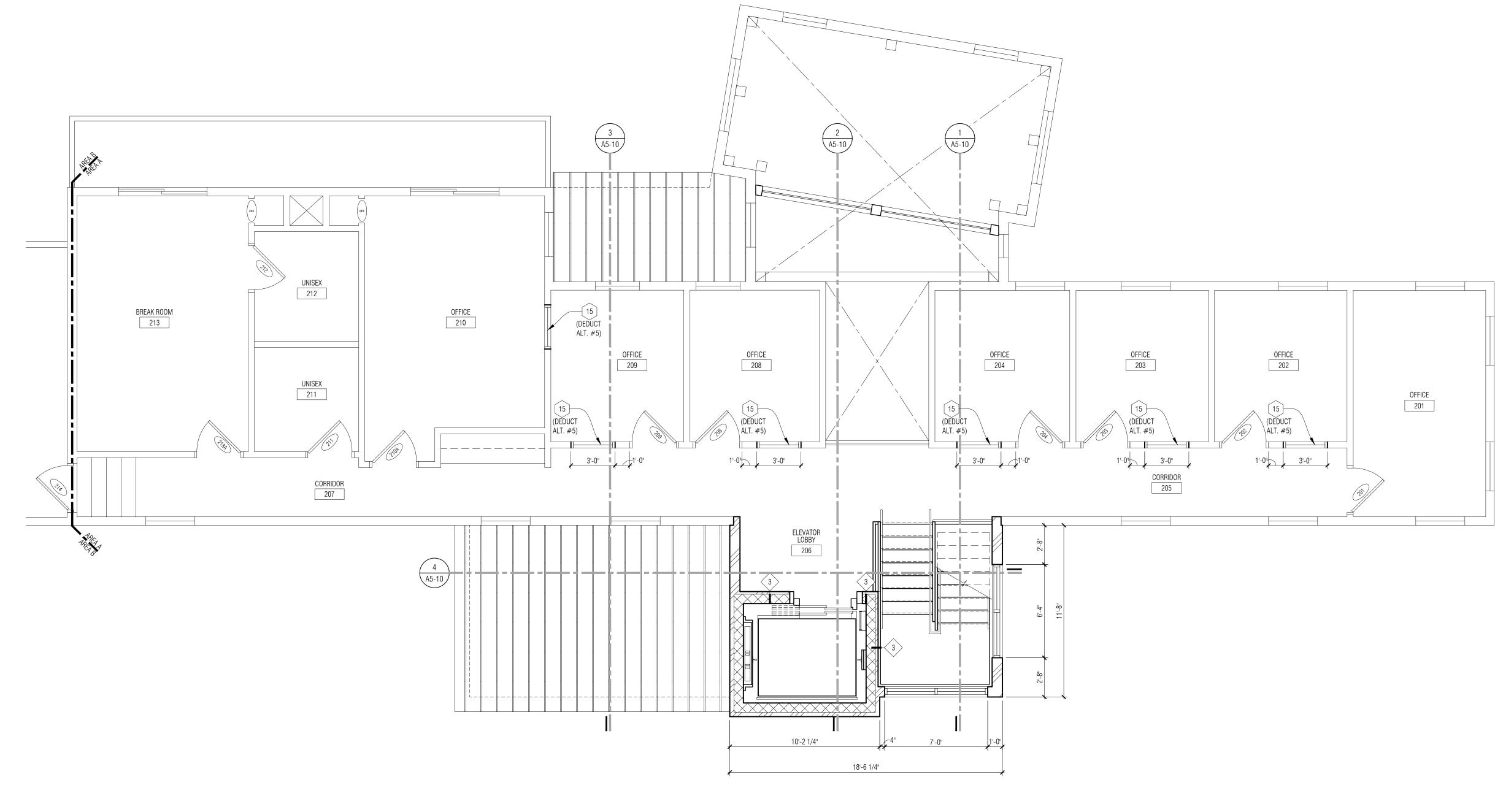
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ISSUES / REVISIONS
Bidding Construction 12/22/2021

DRAWN BY
CWP
CHECKED BY
SL
APPROVED BY
DWG
SHEET NAME

1ST FLOOR PLAN - AREA C





2nd Floor Plan - Area A 1/4'' = 1'-0''A3-01 PROJECT NORTH

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- 10 NEW STEEL COLUMN WITH GYP BD SURROUND. REFER TO STRUCT.
- 11 POWER & DATA FLOOR BOX. COORDINATE FLOOR LOCATIONS WITH OWNERS FURNITURE PLACEMENT PRIOR TO INSTALLATION. SEE ELECTRICAL.
- 12 REBUILD MASONRY RETAINING WALL CORNER AT CRACKED EXISTING ASSEMBLY. REMOVE & RESET MASONRY ALONG LENGTH OF STAIR AND FOR ± 5 '-0" Along the North Elevation. Provide ELASTOMERIC SEALANT & BACKER ROD AT ALL CRACKS IN EXISTING CONCRETE STAIR.
- REMOVE ALL CORRODED STEEL BASE PLATES ANCHOR BRACKETS $\overset{13}{\checkmark}$ at bottom of each wood post in existing guardrail. REMOVE RUST STAINS FROM CONCRETE. REPLACE BRACKETS WITH GALVANIZED BRACKETS OF SIMILAR DESIGN. THRU BOLT BRACKETS TO WOOD POST TO ENSURE SOLID, STABLE CONNECTION. PROVIDE ASPHALT ISOLATION BETWEEN BRACKET & CONCRETE. ANCHOR BRACKET TO CONCRETE WITH EXPANSION ANCHORS SET IN EPOXY.
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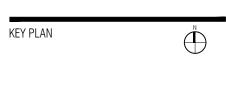
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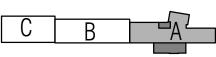
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City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS

New Elevator- Ref Only	12/22/2021
Bidding Construction	12/22/2021

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CWP

CHECKED BY

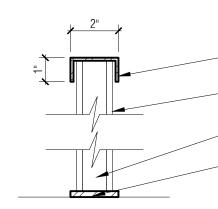
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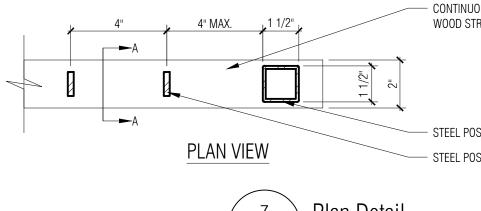
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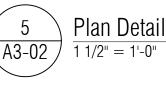
2ND FLOOR PLAN - AREA A

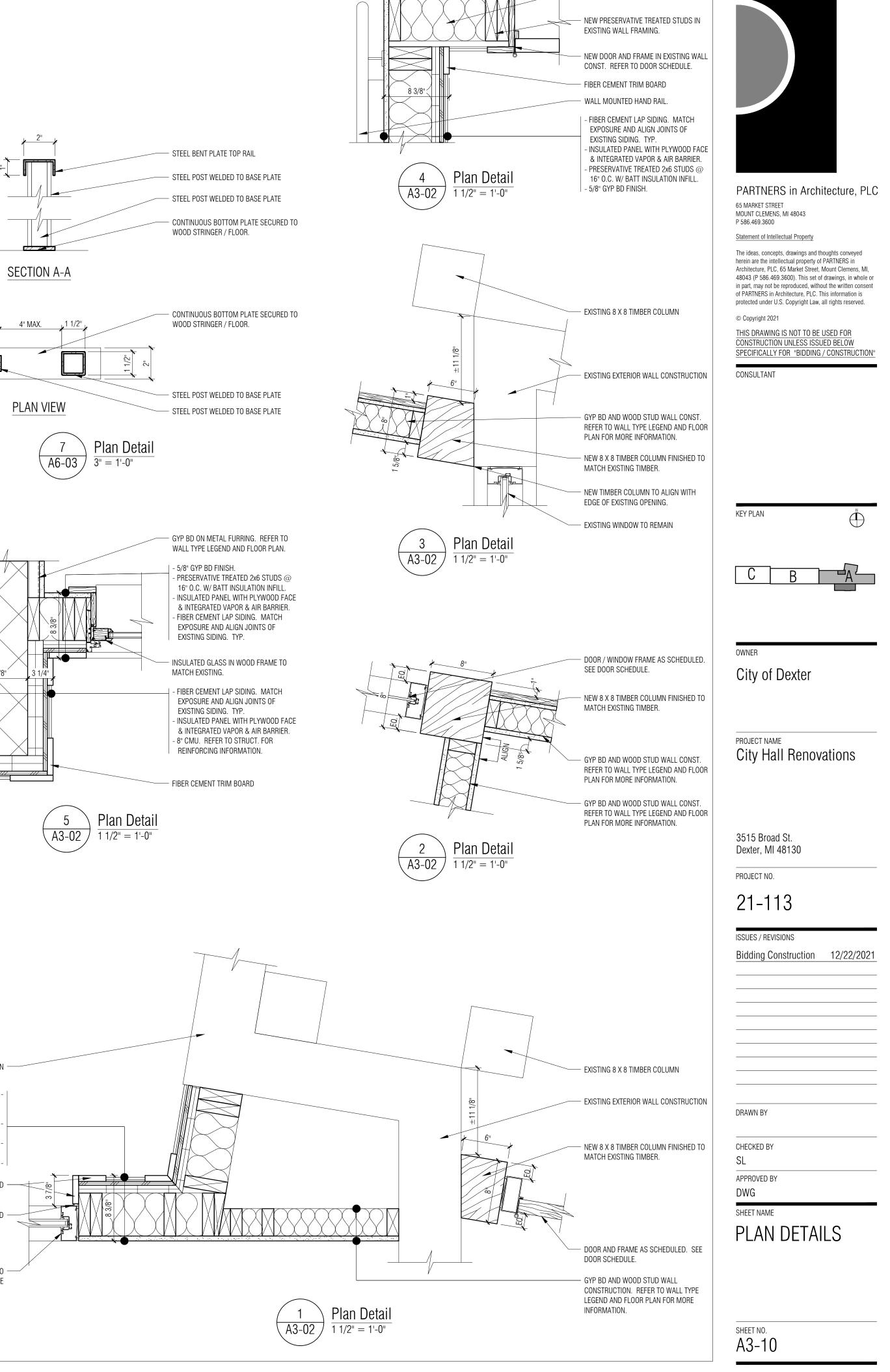
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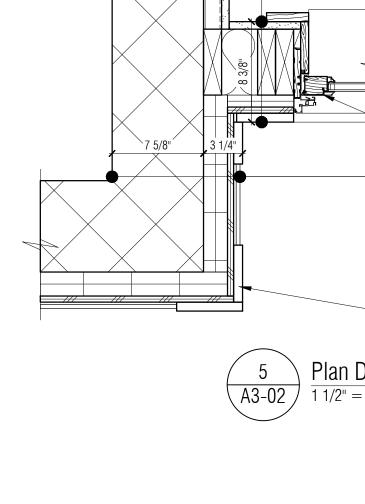


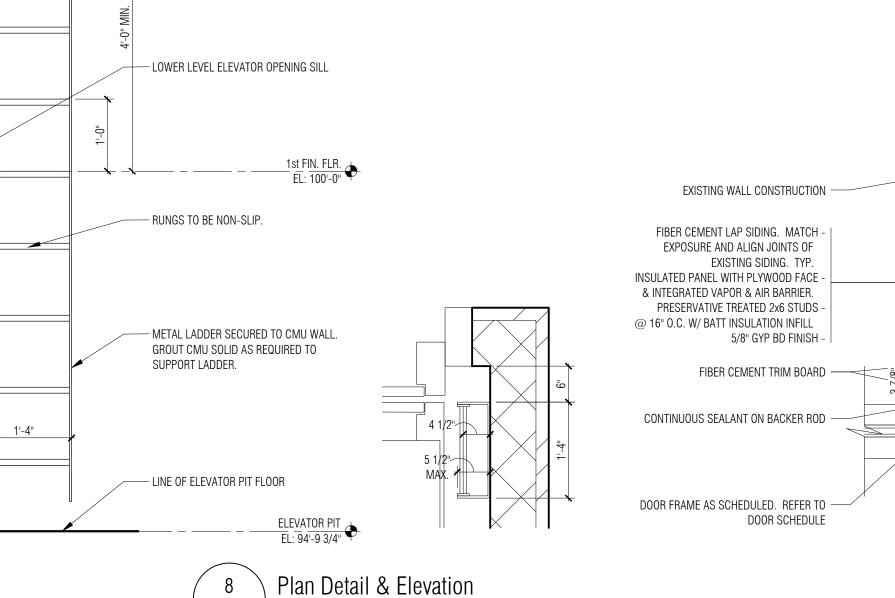


- MATCH PROFILE OF EXISTING DOOR TRIM

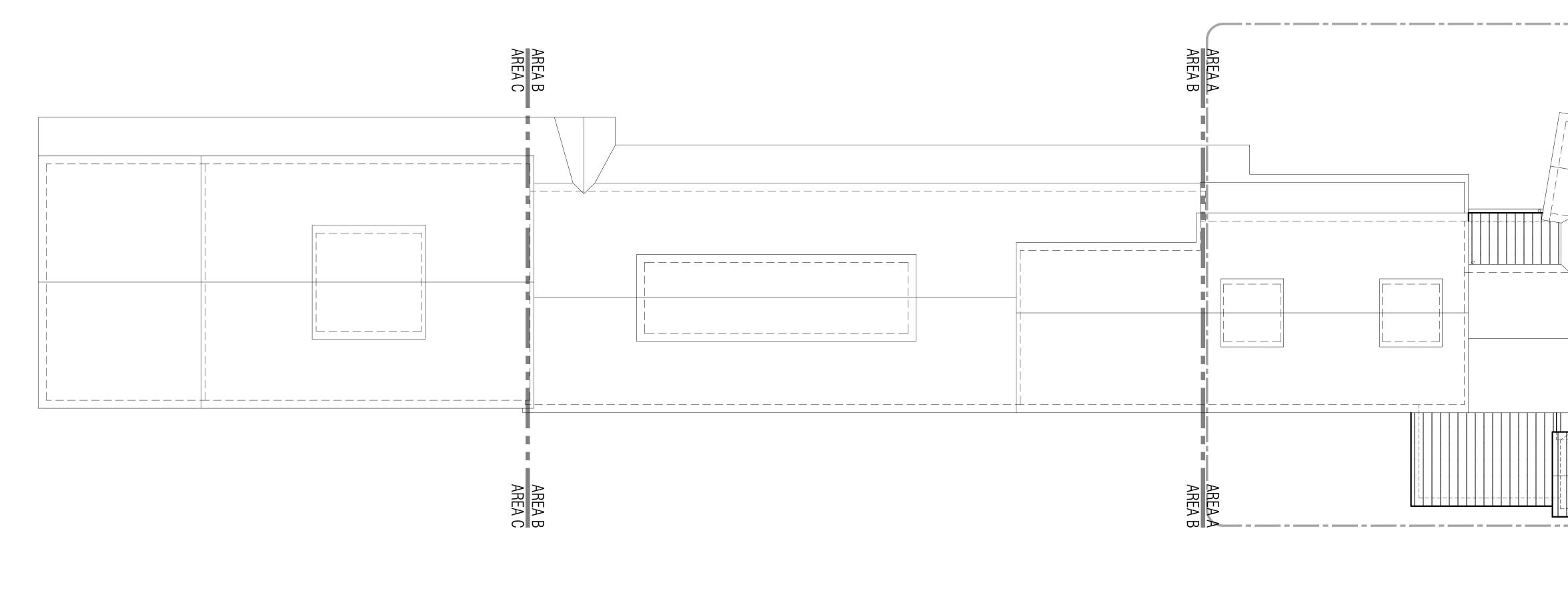
- EXISTING WALL CONSTRUCTION

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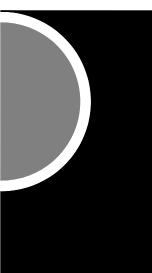




(A3-02) $\frac{1}{3/4"} = 1'-0"$



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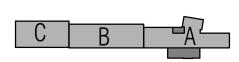
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KEY PLAN (\square)



OWNER

Dexter

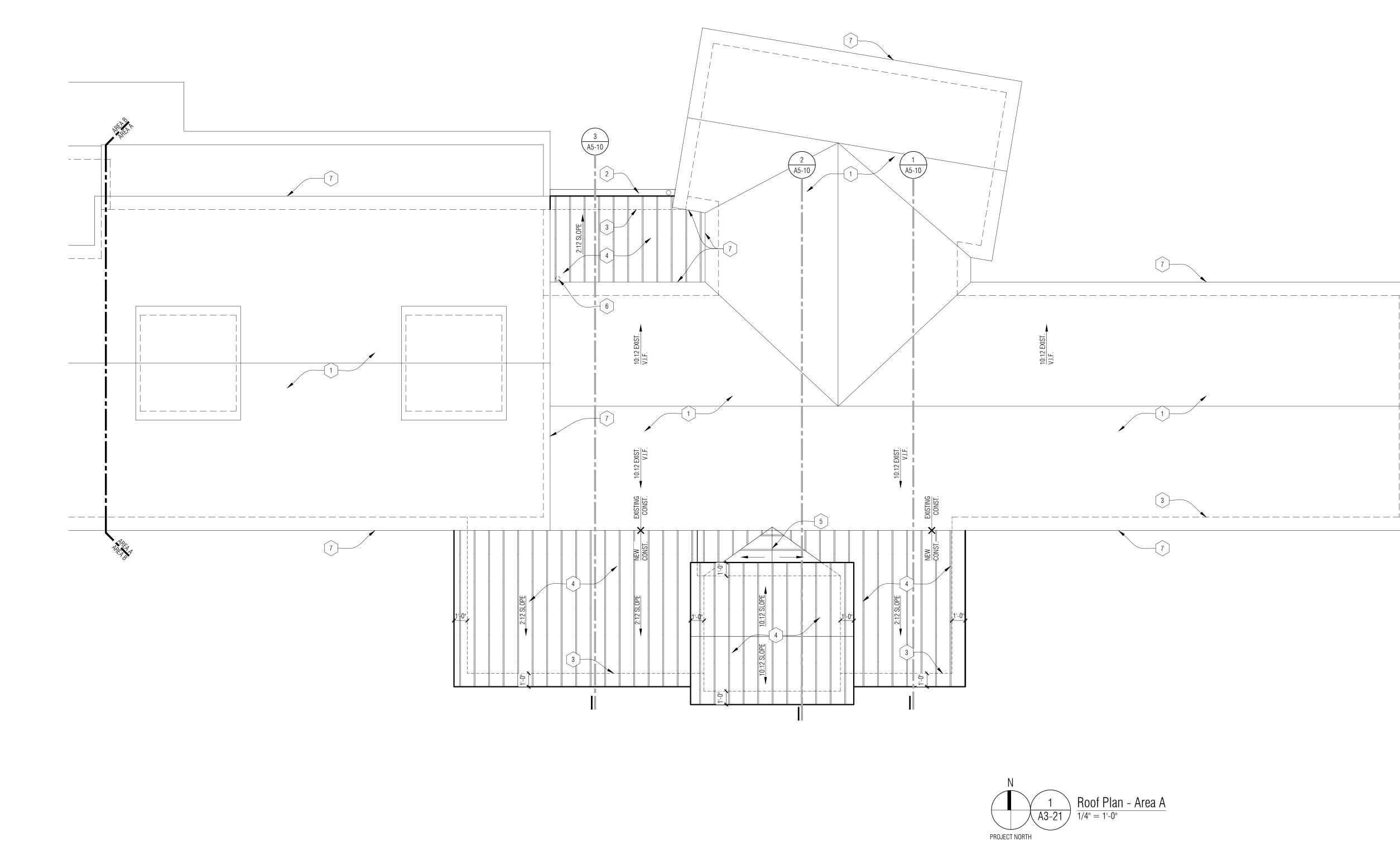
I Renovations

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struction 12/22/2021

OSITE ROOF

(1) (A3-22) (A3-22)	ROJECT NAME City Hall 515 Broad S Dexter, MI 48
	515 Broad S exter, MI 48
D	ROJECT NO.
	21–11 SUES / REVISIC
	RAWN BY WP/AR HECKED BY
	PPROVED BY WG HEET NAME COMP(PLAN
N 1 Composite Roof Plan 1/8" = 1'-0"	HEET NO. 3-21



ROOF PLAN - GENERAL NOTES:

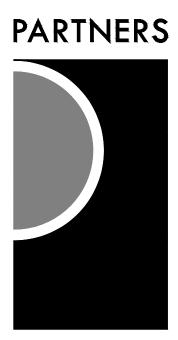
- A. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION FOR ROOF RELATED ITEMS.
- B. ALL MODIFICATIONS TO EXISTING ROOFING SYSTEMS ARE TO MAINTAIN ROOF WARRANTIES.

ROOF PLAN - KEY NOTES:

- 1 EXISTING ROOF CONSTRUCTION TO REMAIN.
- 2 PRE-FINISHED METAL GUTTER & DOWNSPOUT TO MATCH EXISTING DESIGN AND FINISH. DOWNSPOUT TO BE 4" MIN. DIA. CONNECT TO UNDER SLAB STORM DRAIN.
- 3 LINE OF BUILDING BELOW.
- 4 STANDING SEAM METAL ROOF ON ICE & WATER SHIELD UNDERLAYMENT

-[7]

- 5 ROOF CRICKET BEHIND ELEVATOR. VERIFY SLOPE IN FIELD.
- 6 EXISTING DOWNSPOUT. CUT OFF LOWER PORTION AT NEW VESTIBULE ADDITION MIN 4" ABOVE NEW ROOF DECK.
- RESET AS REQUIRED AND SET IN SEALANT, ALL LOOSE, EXPOSED METAL FASTENERS ALONG EXISTING DRIP EDGE OF STANDING SEAM METAL ROOF. TYPICAL FOR ALL EXISTING ROOF EDGES ON AREAS A & B OF BUILDING. ASSUME 250 LINEAL FEET OF ROOF EDGE IS AFFECTED.



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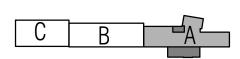
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OWNER

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PROJECT NAME City Hall Renovations

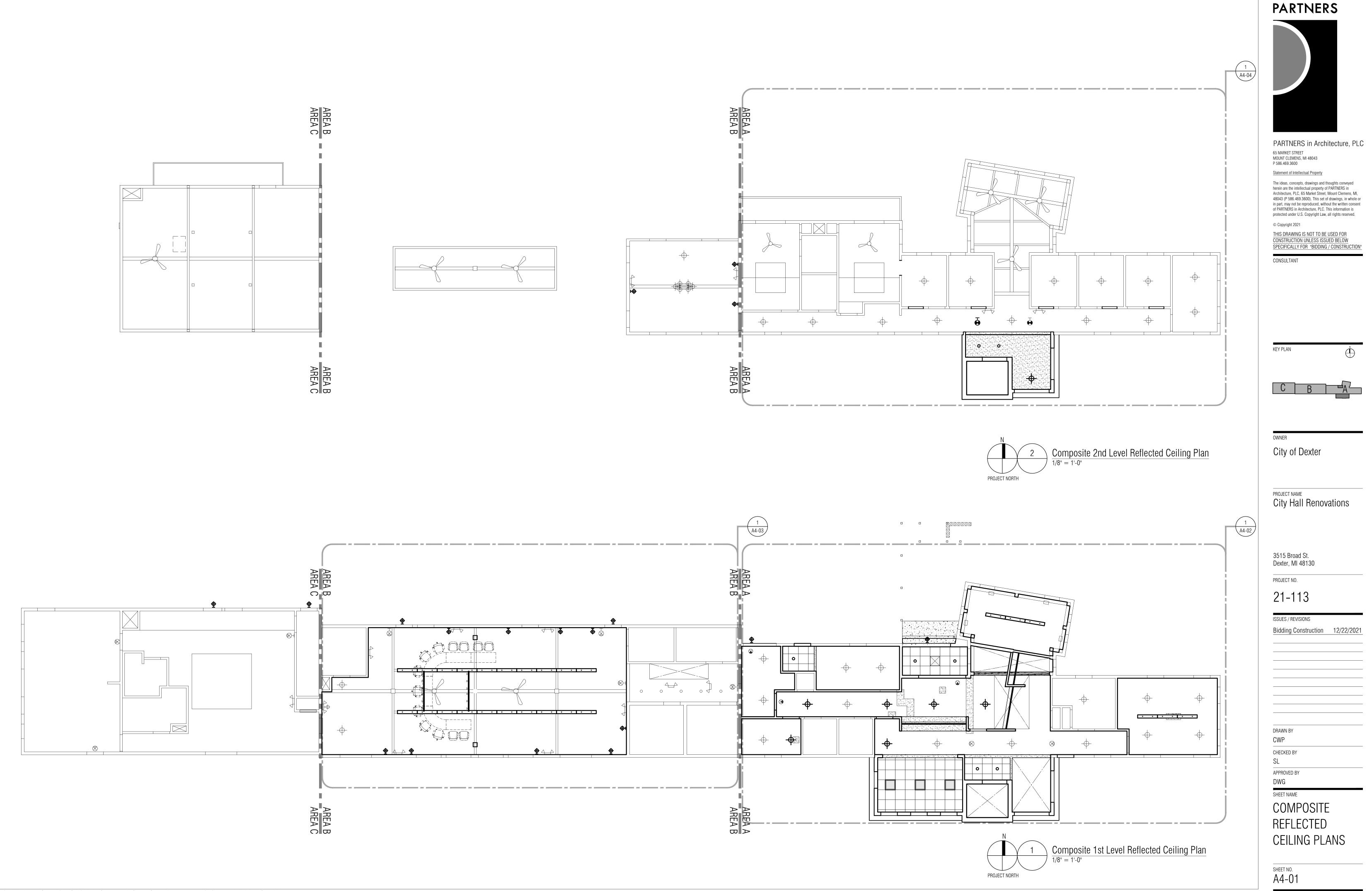
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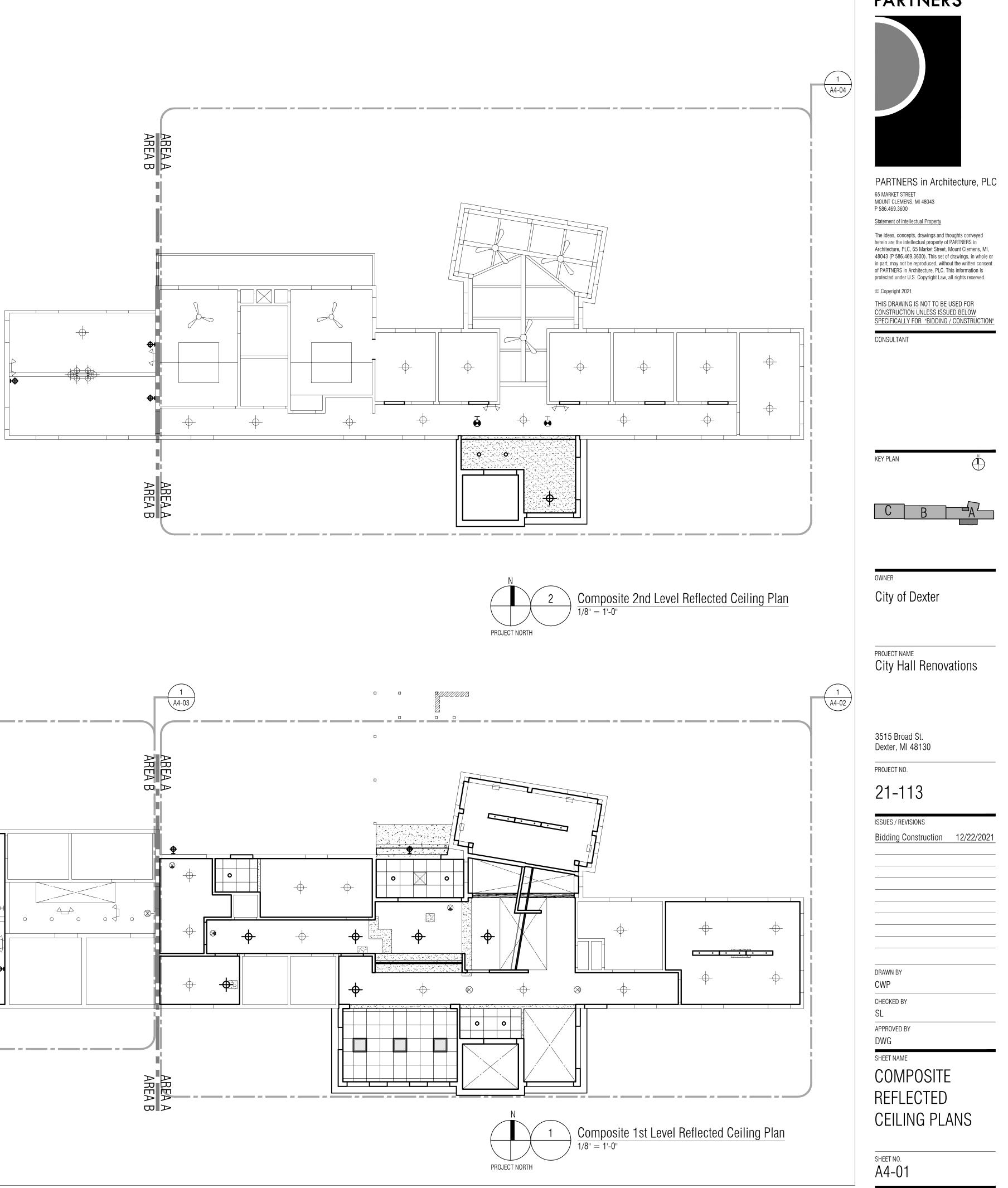
PROJECT NO.

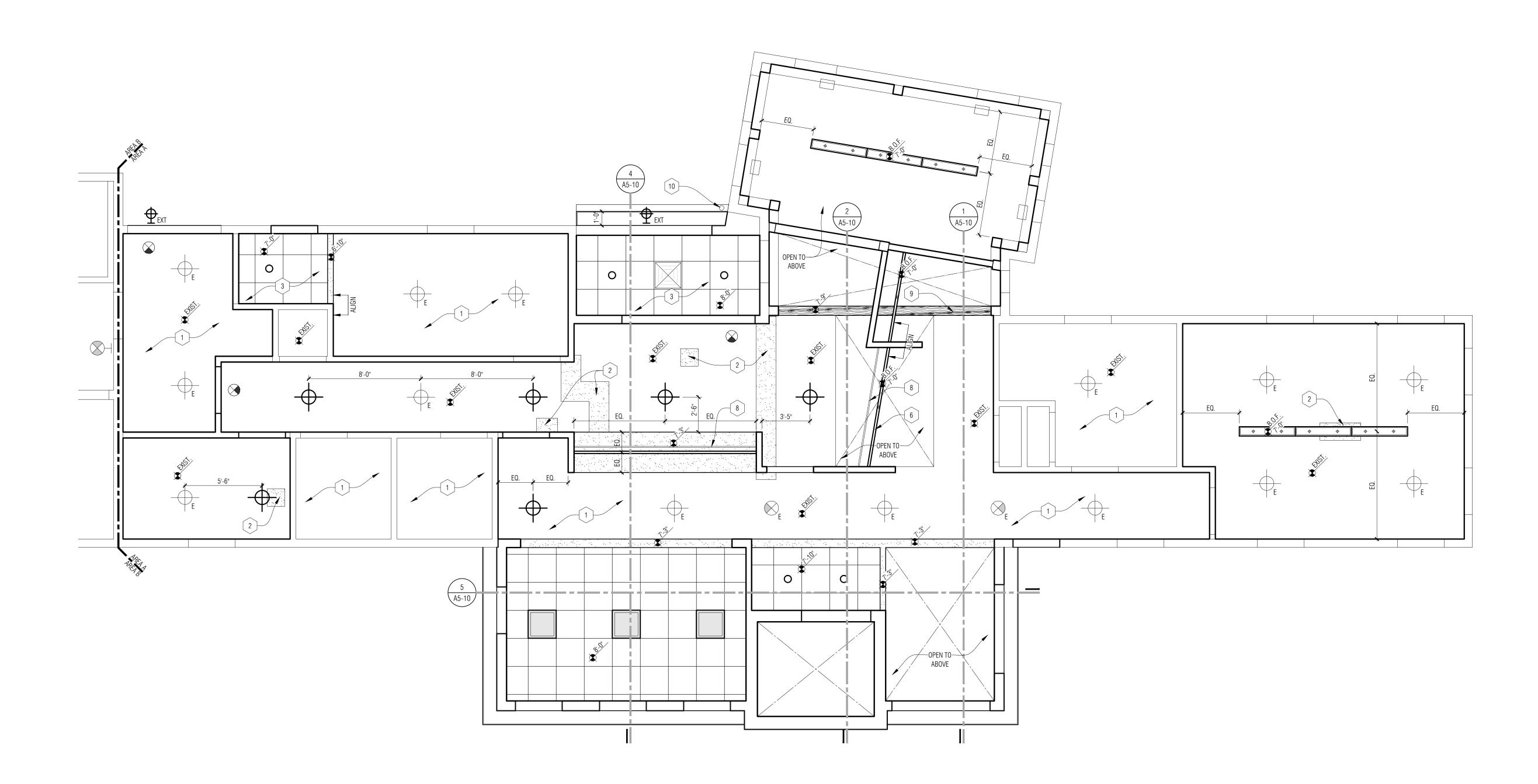
21-113

ISSUES / REVISIONS Bidding Construction 12/22/2021

DRAWN BY
CWP
CHECKED BY
SL
APPROVED BY
DWG
SHEET NAME
ROOF PLAN -
ARFA A







 $\frac{1 \text{ st Floor Reflected Ceiling Plan - Area A}}{1/4" = 1'-0"}$ A4-01 PROJECT NORTH

CEILING PLAN GENERAL NOTES:

- A. REFER TO FLOOR PLANS FOR ROOM NAMES, NUMBERS AND ROOM DIMENSIONS
- B. REFER TO ELECTRICAL FOR LIGHT FIXTURE AND ELECTRICAL INFORMATION.
- C. REFER TO MECHANICAL FOR DIFFUSERS, REGISTERS, AND RETURNS
- D. ALL LOWER LEVEL CEILING HEIGHTS ARE SHOWN AS HEIGHT ABOVE 100'-0" FLOOR ELEVATION.
- E. ALL FIXTURES & GRIDS ARE TO BE CENTERED WITHIN ROOM U.O.N.

CEILING PLAN KEY NOTES:

- EXISTING CEILING AND LIGHTING TO REMAIN PROTECT DURING CONSTRUCTION
- 2 PATCH & REPAIR EXISTING CEILING AS REQUIRED AT LOCATIONS OF REMOVED PARTITIONS. TO BE FLUSH WITH EXISTING CEILING. TYP.
- 3 2x2 LAY-IN CEILNG SYSTEM. REFER TO ROOM FINISH SCHEDULE FOR MORE INFORMATION.
- 4 LINE OF CUPOLA ABOVE REFER TO PLAN
- 5 LINE OF EXISTING STAIR OPENING.
- 6 SUSPENDED LIGHT FIXTURE TO BE CENTERED OVER MILLWORK BELOW.
- 7 CENTER FIXTURE ON EXISTING BEAM ABOVE.
- 8 CLEAR PLEXIGLASS IN ALUMINUM CHANNEL.
- 9] NEW WOOD BEAM. SEE STRUCT.
- NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING PROFILE & COLOR.
- EXISTING FIXTURE RELOCATED FROM ROOM 132 IN AREA C. FIELD VERIFY MOUNTING & SUSPENSION REQUIREMENTS. BOTTOM OF FIXTURE @ 6'-8" ABOVE LANDING MIN.

Ceiling Symbols Legend

ALL FIXTURES WITH AN ADJACENT 'E' ON THE PLAN INDICAT

THE FIXTURES ARE EXISTING TO REMAIN.		
	5/8" GYP BD ON 3 5/8" METAL STUD CONSTRUCTION AT 16" O.C. SECURE TO STRUCTURE ABOVE AT 48" O.C. MAX EACH WAY	
	NEW 2 X 2 RECESSED LED FIXTURE	
• • •	NEW SUSPENDED UP/DOWN LINEAR LED	
	SUSPENDED TRACK LIGHT W/ ADJUSTABLE HEADS MOUNTED ON METAL STRUT CHANNEL.	
	RECESSED LINEAR LED FIXTURE	
· · · · · ·	SUSPENDED LINEAR LED FIXTURE	
0	RECESSED ROUND LIGHT FIXTURE	
Ф	WALL SCONCE. (EXT INDICATES EXTERIOR FIXTURE)	
®	EXIT LIGHT - CEILING MOUNTED	
⊦⊗	EXIT LIGHT - WALL MOUNTED	
	EXISTING CEILING FAN	
- -	SURFACE MOUNTED LIGHT FIXTURE (P INDICATES PENDANT FIXTURE)	





PARTNERS in Architecture, PLC 65 MARKET STREET MOUNT CLEMENS, MI 48043 P 586.469.3600

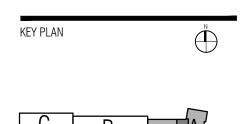
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CONSULTANT



OWNER	

City of Dexter

PROJECT NAME City Hall Renovations

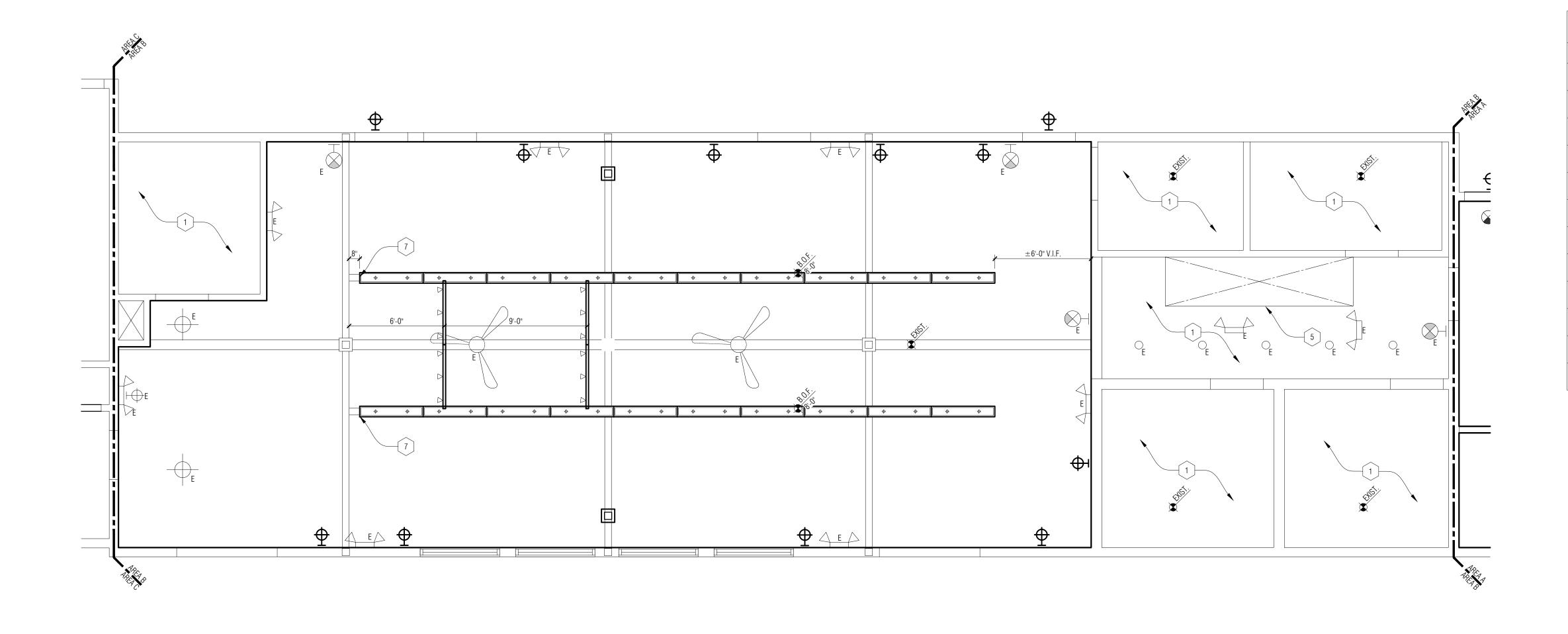
3515 Broad St. Dexter, MI 48130

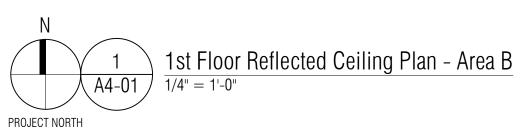
PROJECT NO.

21-113

ISSUES / REVISIONS Bidding Construction 12/22/2021

DRAWN BY CWP CHECKED BY SL APPROVED BY DWG SHEET NAME 1ST FLOOR REFLECTED CEILING PLAN -AREA A SHEET NO. A4-02





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- 4 LINE OF CUPOLA ABOVE REFER TO PLAN
- 5 LINE OF EXISTING STAIR OPENING.
- 6 SUSPENDED LIGHT FIXTURE TO BE CENTERED OVER MILLWORK BELOW.
- 7 CENTER FIXTURE ON EXISTING BEAM ABOVE.
- 8 CLEAR PLEXIGLASS IN ALUMINUM CHANNEL.
- 9] NEW WOOD BEAM. SEE STRUCT.
- 10 NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING PROFILE & COLOR.
- EXISTING FIXTURE RELOCATED FROM ROOM 132 IN AREA C. FIELD VERIFY MOUNTING & SUSPENSION REQUIREMENTS. BOTTOM OF FIXTURE @ 6'-8" ABOVE LANDING MIN.

Ceiling Symbols Legend

ALL FIXTURES WITH AN ADJACENT 'E' ON THE PLAN INDICATE THE FIXTURES ARE EXISTING TO REMAIN.

THE FIXTURES ARE EXISTING TO REMAIN.		
	5/8" GYP BD ON 3 5/8" METAL STUD CONSTRUCTION AT 16" O.C. SECURE TO STRUCTURE ABOVE AT 48" O.C. MAX EACH WAY	
	NEW 2 X 2 RECESSED LED FIXTURE	
• • •	NEW SUSPENDED UP/DOWN LINEAR LED	
	SUSPENDED TRACK LIGHT W/ ADJUSTABLE HEADS MOUNTED ON METAL STRUT CHANNEL.	
	RECESSED LINEAR LED FIXTURE	
• •	SUSPENDED LINEAR LED FIXTURE	
0	RECESSED ROUND LIGHT FIXTURE	
ю	WALL SCONCE. (EXT INDICATES EXTERIOR FIXTURE)	
®	EXIT LIGHT - CEILING MOUNTED	
НØ	EXIT LIGHT - WALL MOUNTED	
Å	EXISTING CEILING FAN	
	SURFACE MOUNTED LIGHT FIXTURE (P INDICATES PENDANT FIXTURE)	

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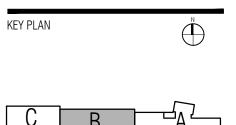
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City of Dexter

PROJECT NAME City Hall Renovations

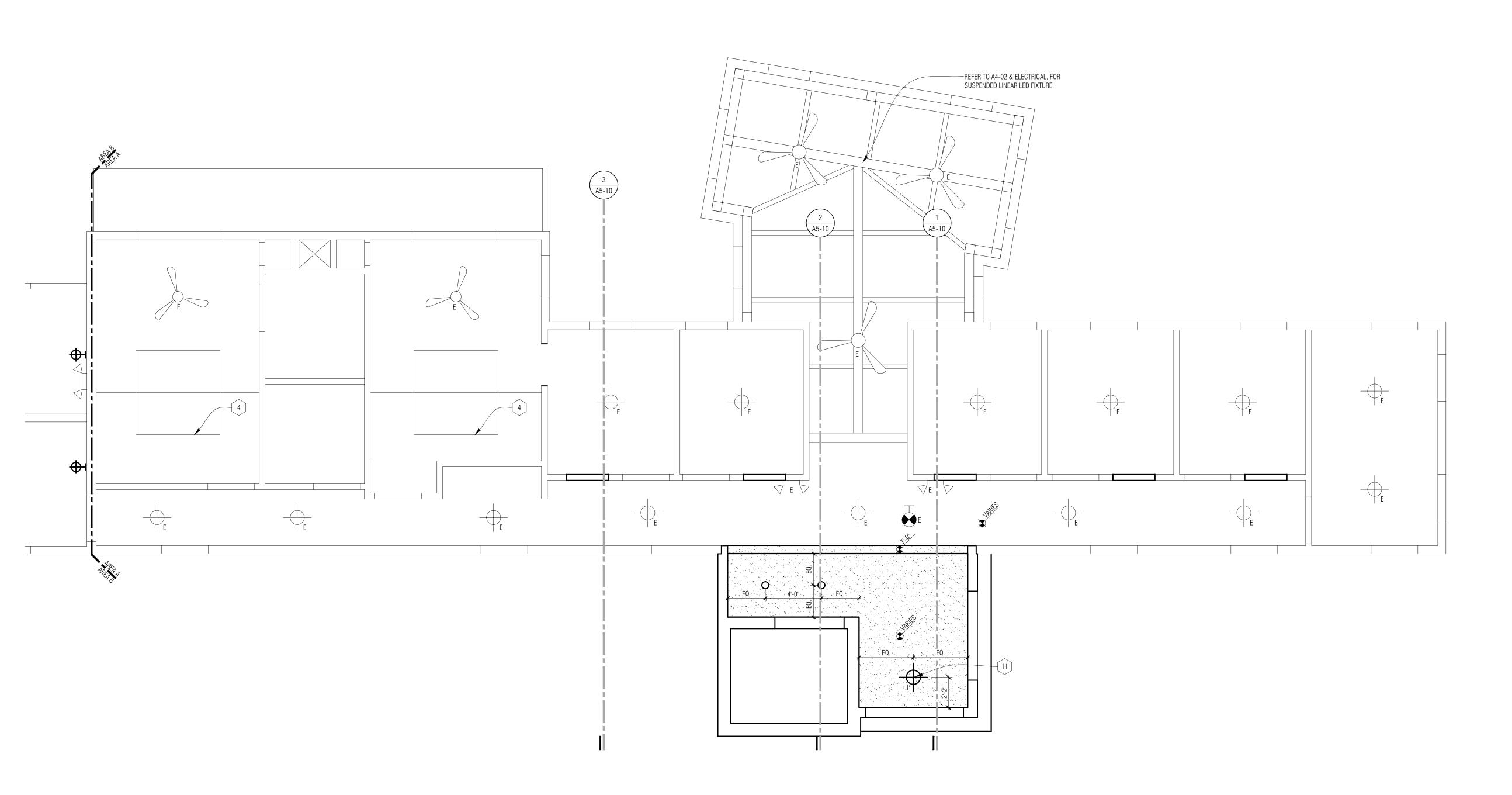
3515 Broad St. Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS Bidding Construction 12/22/2021

DRAWN BY CWP CHECKED BY SL APPROVED BY DWG SHEET NAME 1ST FLOOR REFLECTED CEILING PLAN -AREA B sheet no. A4-03



 $\frac{1}{A4-01} \frac{2nd Floor Reflected Ceiling Plan - Area A}{1/4" = 1'-0"}$ PROJECT NORTH

CEILING PLAN GENERAL NOTES:

- A. REFER TO FLOOR PLANS FOR ROOM NAMES, NUMBERS AND ROOM DIMENSIONS
- B. REFER TO ELECTRICAL FOR LIGHT FIXTURE AND ELECTRICAL INFORMATION.
- C. REFER TO MECHANICAL FOR DIFFUSERS, REGISTERS, AND RETURNS
- D. ALL LOWER LEVEL CEILING HEIGHTS ARE SHOWN AS HEIGHT ABOVE 100'-0" FLOOR ELEVATION.

E. ALL FIXTURES & GRIDS ARE TO BE CENTERED WITHIN ROOM U.O.N.

CEILING PLAN KEY NOTES:

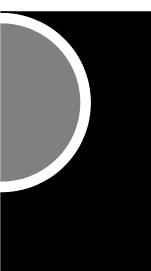
- EXISTING CEILING AND LIGHTING TO REMAIN PROTECT DURING CONSTRUCTION
- 2 PATCH & REPAIR EXISTING CEILING AS REQUIRED AT LOCATIONS OF REMOVED PARTITIONS. TO BE FLUSH WITH EXISTING CEILING. TYP.
- 3 2x2 LAY-IN CEILNG SYSTEM. REFER TO ROOM FINISH SCHEDULE FOR MORE INFORMATION.
- 4 LINE OF CUPOLA ABOVE REFER TO PLAN
- 5 LINE OF EXISTING STAIR OPENING.
- 6 SUSPENDED LIGHT FIXTURE TO BE CENTERED OVER MILLWORK BELOW.
- 7 CENTER FIXTURE ON EXISTING BEAM ABOVE.
- 8 CLEAR PLEXIGLASS IN ALUMINUM CHANNEL.
- 9 NEW WOOD BEAM. SEE STRUCT.
- 10 NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING PROFILE & COLOR.
- EXISTING FIXTURE RELOCATED FROM ROOM 132 IN AREA C. FIELD VERIFY MOUNTING & SUSPENSION REQUIREMENTS. BOTTOM OF FIXTURE @ 6'-8" ABOVE LANDING MIN.

Ceiling Symbols Legend

ALL FIXTURES WITH AN ADJACENT 'E' ON THE PLAN INDICAT

THE FIXTURES ARE EXISTING TO REMAIN.		
	5/8" GYP BD ON 3 5/8" METAL STUD CONSTRUCTION AT 16" O.C. SECURE TO STRUCTURE ABOVE AT 48" O.C. MAX EACH WAY	
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	RECESSED LINEAR LED FIXTURE	
• •	SUSPENDED LINEAR LED FIXTURE	
0	RECESSED ROUND LIGHT FIXTURE	
ŀФ	WALL SCONCE. (EXT INDICATES EXTERIOR FIXTURE)	
®	EXIT LIGHT - CEILING MOUNTED	
⊦⊗	EXIT LIGHT - WALL MOUNTED	
Å	EXISTING CEILING FAN	
- \ -	SURFACE MOUNTED LIGHT FIXTURE (P INDICATES PENDANT FIXTURE)	





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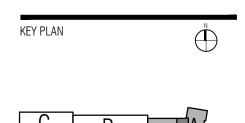
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City of Dexter

PROJECT NAME City Hall Renovations

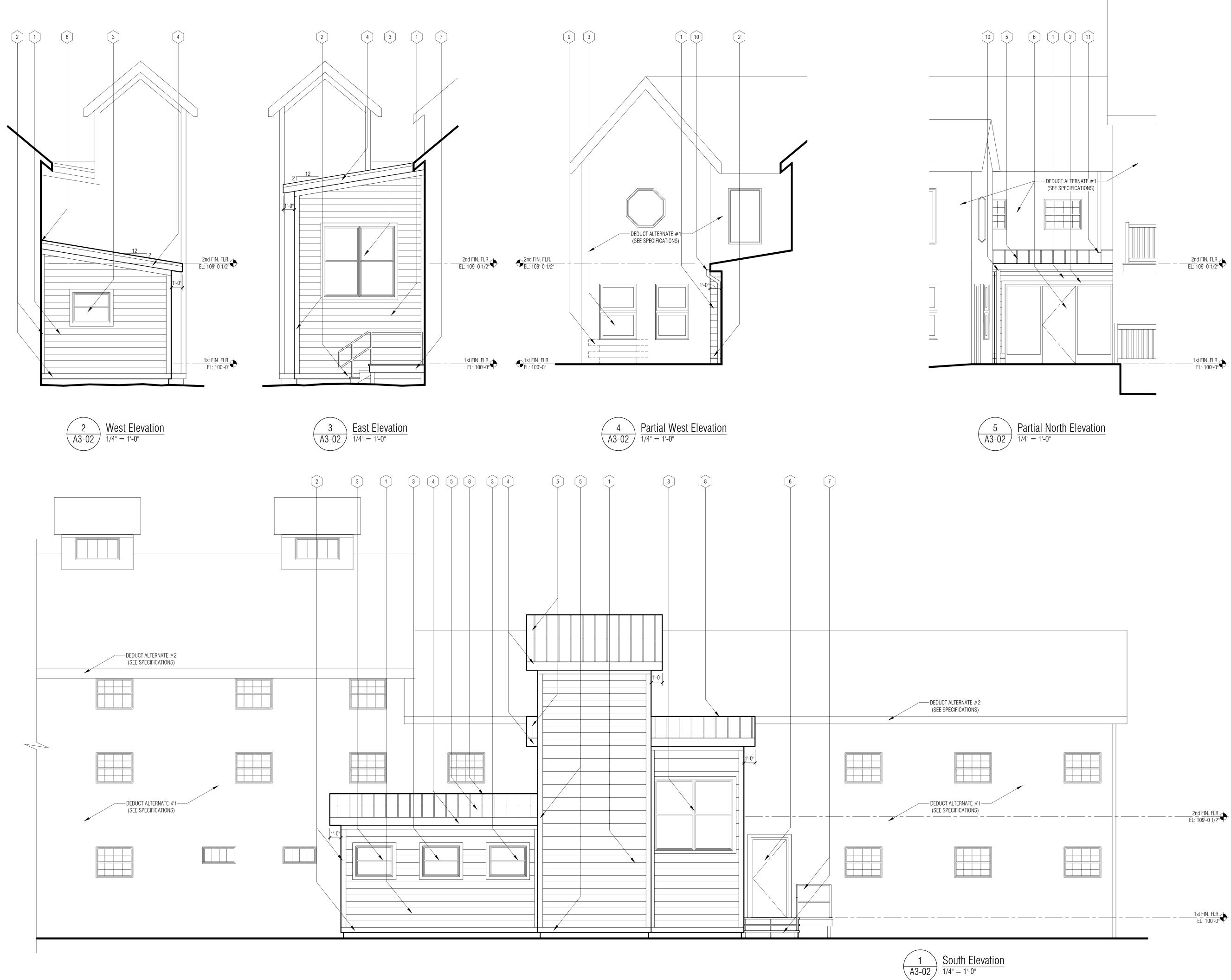
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PROJECT NO.

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CWP	
CHECKED BY	
SL	
APPROVED BY	
DWG	
SHEET NAME	
2ND FLOOR	
REFLECTED	
CEILING PLAN	_
AREA A	
SHEET NO.	
A4-04	



A. SEE SPECIFICATIONS FOR COMPLETE SCOPE OF WORK FOR ALL ADD-ON, AND DEDUCT ALTERNATES.

EXTERIOR ELEVATIONS KEY NOTES:

- Image: The second se
- 2 FIBER CEMENT TRIM BOARD. PROVIDE AT ALL OPENINGS, WALL CORNERS, BASE, AND SOFFIT.
- [3] INSULATED GLASS IN WOOD FRAME TO MATCH EXISTING.
- 4] FIBER CEMENT FASCIA PANEL

HANDRAIL AND AREA OF REFUGE.

- 5 STANDING SEAM METAL ROOF TO MATCH EXISTING.
- [6] DOOR AND FRAME AS SCHEDULED. REFER TO DOOR SCHEDULE.
- WOOD DECK CONSTRUCTION AT NEW DOOR WITH 36" HIGH
- 8 PROVIDE FLASHING WHERE NEW ROOFING MEETS EXISTING WALL / ROOF CONSTRUCTION. REFER TO WALL SECTIONS.
- 9 NEW SIDING TO MATCH EXISTING AT INFILL. TOOTH NEW SIDING INTO EXISTING.
- 10 PRE-FINISHED METAL GUTTER & DOWNSPOUT TO MATCH EXISTING DESIGN AND FINISH. DOWNSPOUT TO BE 4" MIN. DIA. CONNECT TO UNDER SLAB STORM DRAIN.
- [11] EXISTING DOWNSPOUT TO BE CUT 4" ABOVE NEW ROOF LINE.
- ADD ALTERNATE #2: REMOVE & REPLACE EXTERIOR VERTICAL WOOD SIDING WITH NEW PRESERVATIVE TREATED BOARDS TO MATCH EXISTING WIDTH & THICKNESS IN AREAS DELINIATED. PRIME & FINISH PAINT. COLOR TO BE DETERMINED.
- ADD ALTERNATE #2: REMOVE AND REPLACE ALL ROOF EAVE 13 FASCIA BOARDS WITH NEW PRESERVATIVE TREATED WOOD TO MATCH EXISTING THICKNESS AND WIDTH. PROVIDE PRE-FINISHED ALUMINUM BREAK METAL CLADDING ON NEW WOOD FASCIA TO CLAD WOOD COMPLETE. PROVIDE NEW ALUMINUM PRE-FINISHED DRIP EDGE ALONG EDGE OF ROOF DECK ABOVE FIT IN BELOW METAL ROOFING. SECURE ALL METAL ROOFING THAT IS LOOSE OR DEFORMED ALONG DRIP EDGE AS REQUIRED.
- ADD ALTERNATE #2: REMOVE ALL LOOSE PAINT, CAULK, AND GLAZING COMPOUND FROM ALL WINDOWS & TRIM. PROVIDE NEW GLAZING COMPOUND AT GLASS PANELS AS REQUIRED. PRIME AND FINISH PAINT WOOD TRIM AND MULLIONS WHITE TO MATCH EXIST.
- 15 ADD ALTERNATE #2: PREP, PRIME, AND PAINT ALL EXTERIOR WOOD SIDING. COLOR TO BE DETERMINED.
- ADD ALTERNATE #2: PREP, PRIME AND PAINT 1ST LEVEL CMU. INCLUDING LIMITED PLYWOOD SIDING. COLOR TO BE DETERMINED.
- ADD ALTERNATE #2: REMOVE & REPLACE EXISTING WOOD DOOR FRAME WITH NEW SECURITY H.M. DOOR & FRAME. GROUT SOLID CONTINUOUS SEAL H.M. FRAME TO CMU. PROVIDE ACCESS HW SIM. TO EXISTING. PAINT.
- ADD ALTERNATE #2: REMOVE & REPLACE EXISTING H.M. DOOR. REUSE EXISTING HARDWARE WITH NEW METAL SECURITY DOOR ASSEMBLY.
- [19] ADD ALTERNATE #2: REPLACE MISSING GLASS IN WINDOW.
- ADD ALTERNATE #2: SECURE ALL LOOSE AND DETERIORATED EXISTING METAL ROOFING TO EXISTING SUBSTRATE & ROOF JOISTS AS REQUIRED. USE COMPATIBLE ANCHORS AS REQUIRED SET IN ELASTOMERIC SEALANT.



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WNER	

City of Dexter

PROJECT NAME City Hall Renovations

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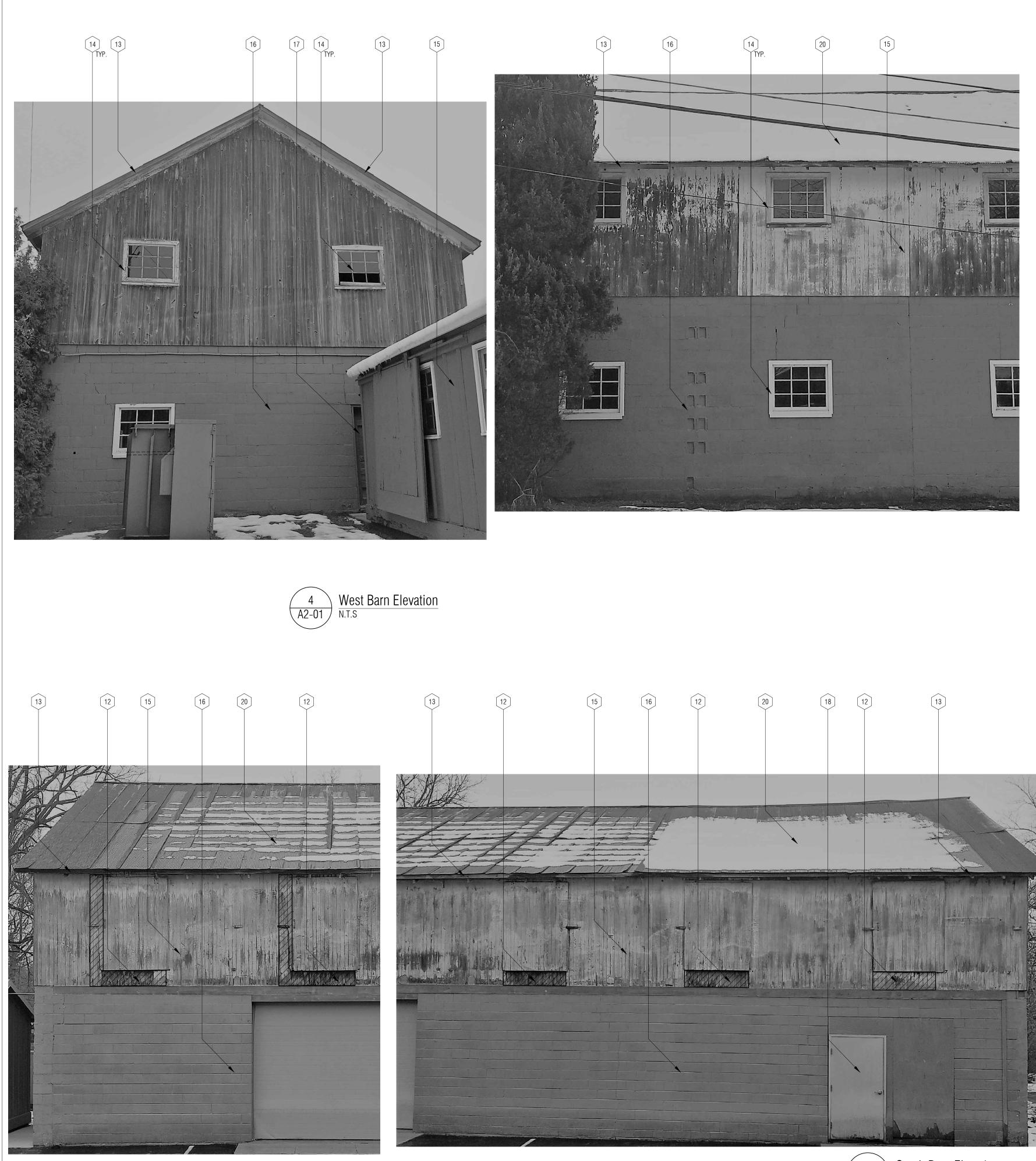
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CWP
CHECKED BY
SL
APPROVED E
514/6
DWG

EXTERIOR ELEVATIONS









 $\begin{array}{c} 2 \\ \hline A2-01 \end{array} \begin{array}{c} \text{South Barn Elevation} \\ \hline \text{N.T.S} \end{array}$



EXTERIOR ELEVATIONS - GENERAL NOTES:

A. SEE SPECIFICATIONS FOR COMPLETE SCOPE OF WORK FOR ALL ADD-ON, AND DEDUCT ALTERNATES.

EXTERIOR ELEVATIONS KEY NOTES:

- Image: The second se
- 2 FIBER CEMENT TRIM BOARD. PROVIDE AT ALL OPENINGS, WALL CORNERS, BASE, AND SOFFIT.
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- ADD ALTERNATE #2: REMOVE AND REPLACE ALL ROOF EAVE FASCIA BOARDS WITH NEW PRESERVATIVE TREATED WOOD TO MATCH EXISTING THICKNESS AND WIDTH. PROVIDE PRE-FINISHED ALUMINUM BREAK METAL CLADDING ON NEW WOOD FASCIA TO CLAD WOOD COMPLETE. PROVIDE NEW ALUMINUM PRE-FINISHED DRIP EDGE ALONG EDGE OF ROOF DECK ABOVE FIT IN BELOW METAL ROOFING. SECURE ALL METAL ROOFING THAT IS LOOSE OR DEFORMED ALONG DRIP EDGE AS REQUIRED.
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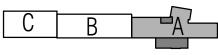
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PROJECT NAME City Hall Renovations

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PROJECT NO.

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BARN EXTERIOR

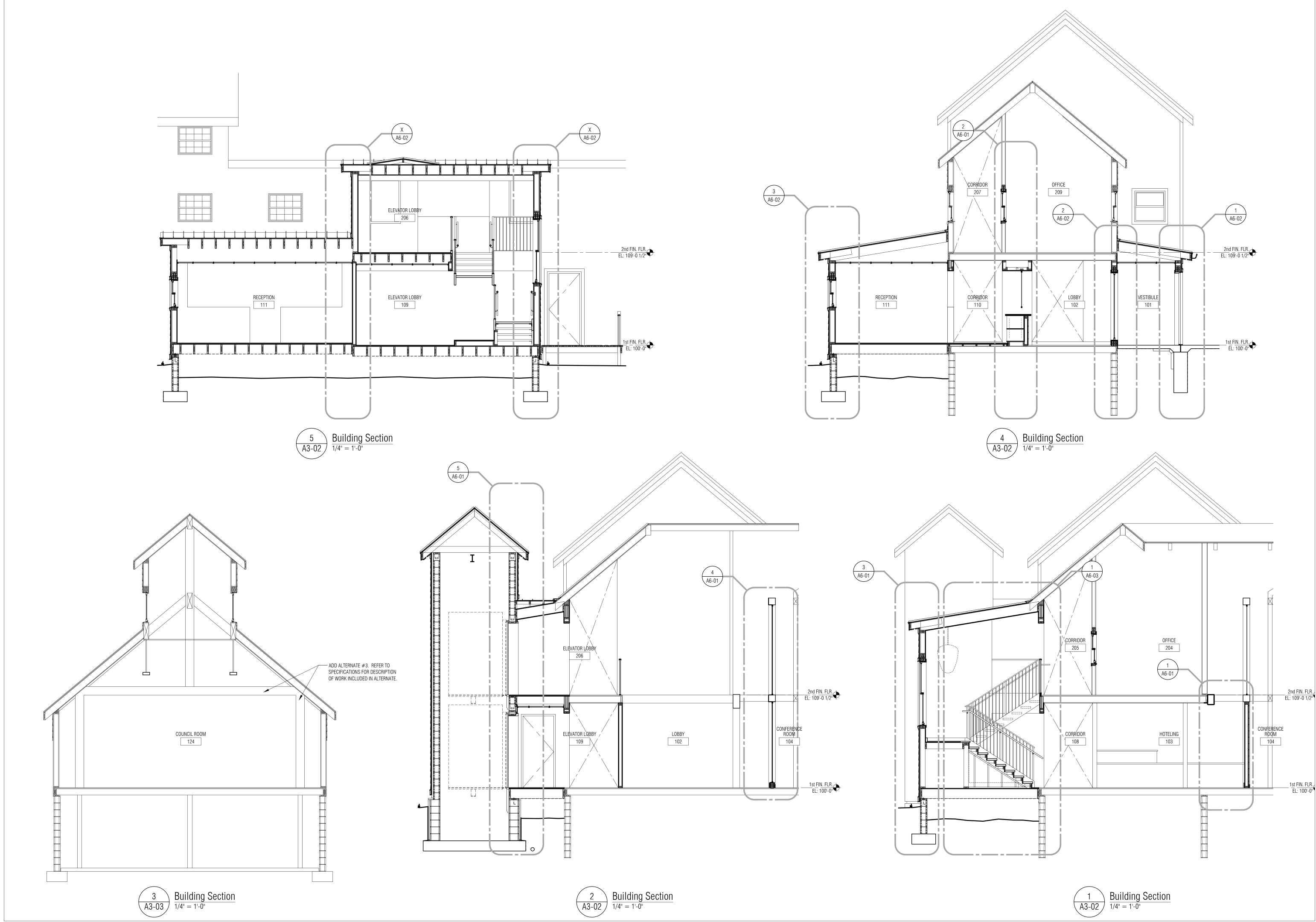
ELEVATIONS

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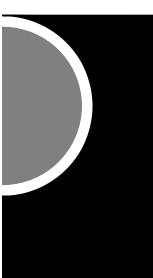
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 $(1) \\ A5-03 \\ Harrow Elevation \\ Harrow N.T.S \\ Harrow Elevation \\ H$



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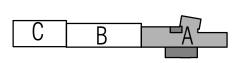
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PROJECT NAME City Hall Renovations

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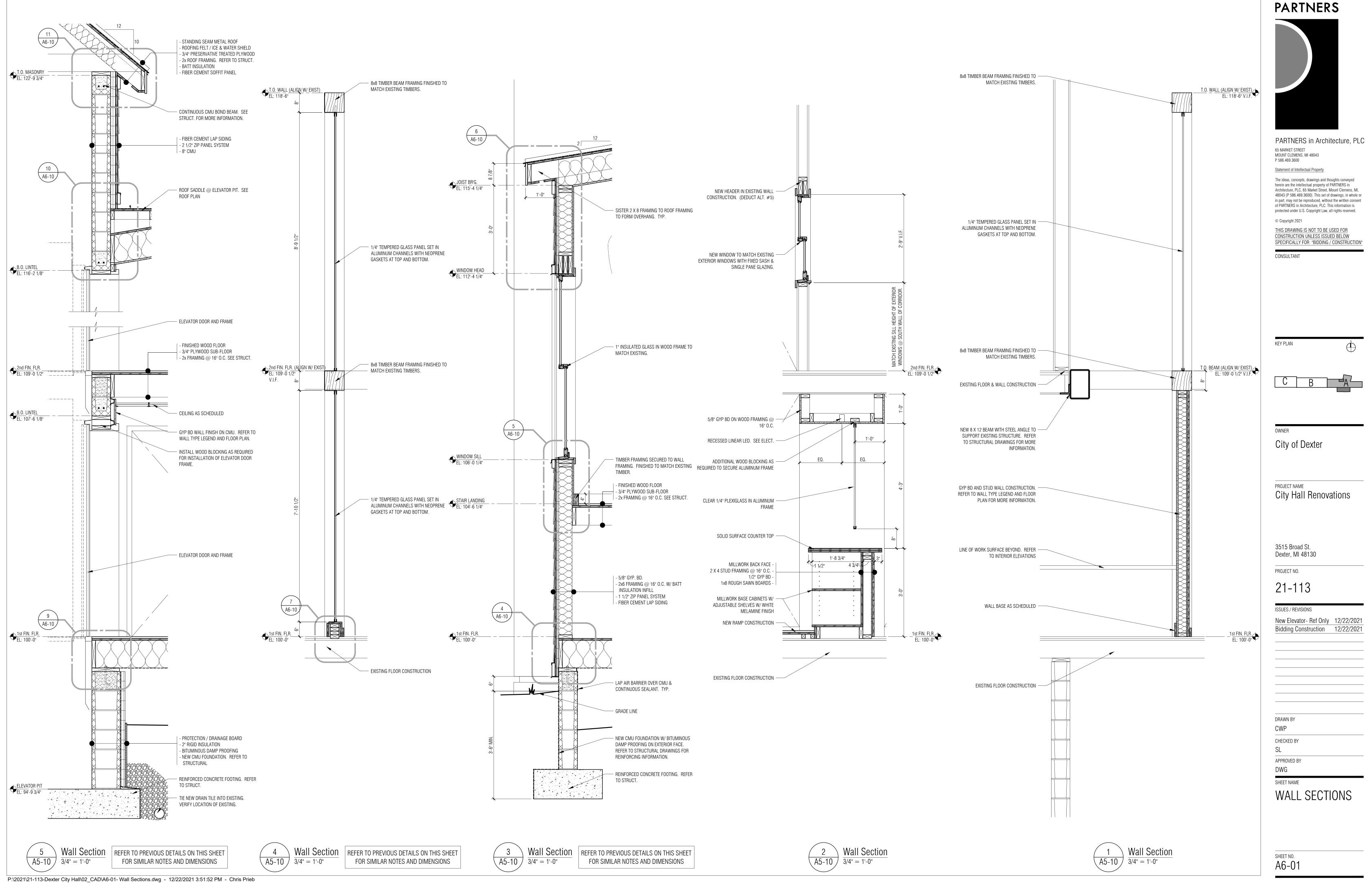
ISSUES / REVISIONS

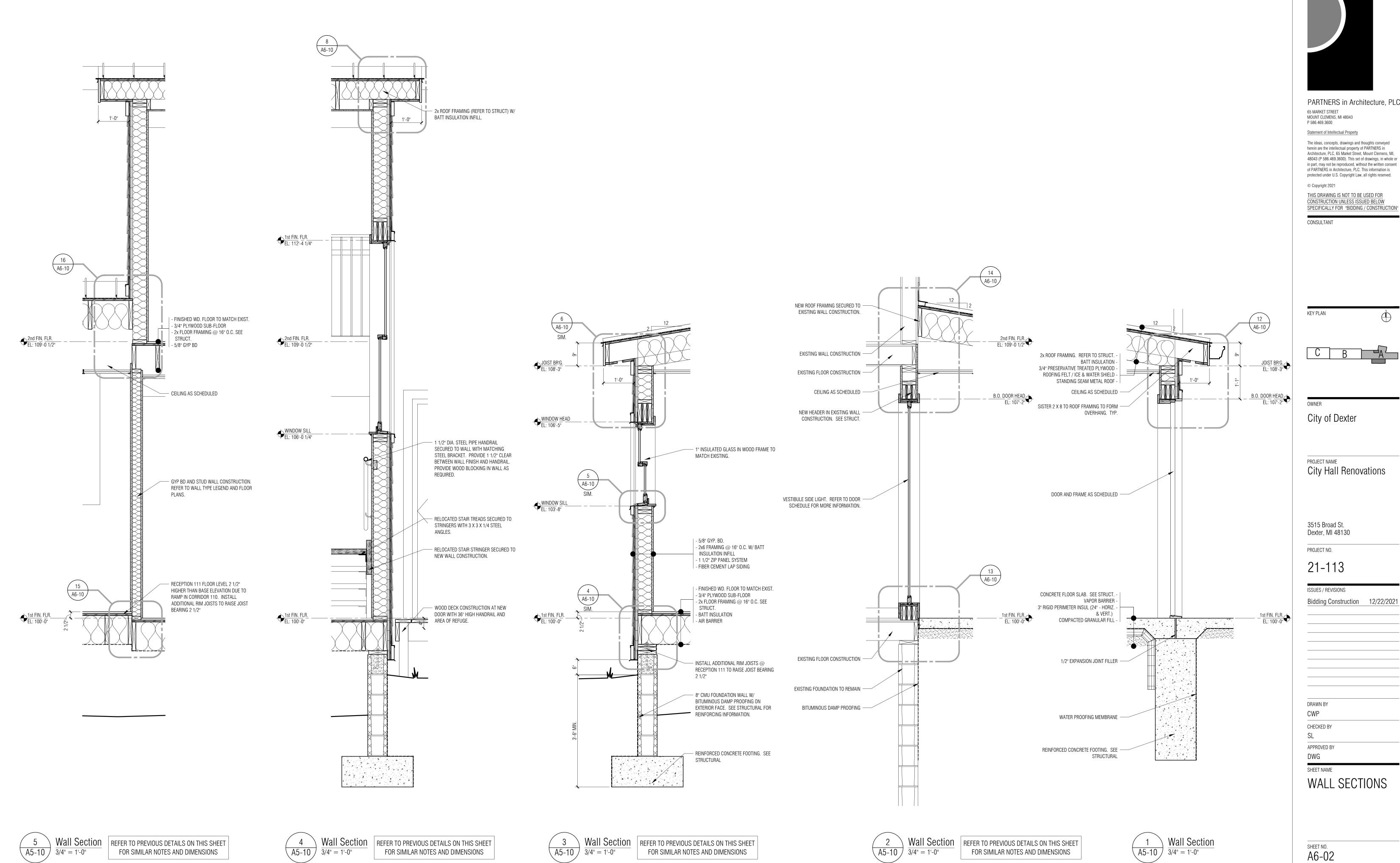
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 12/22/2021

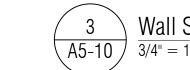
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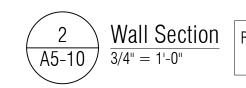
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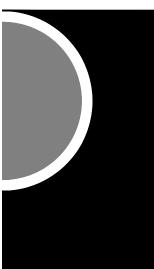






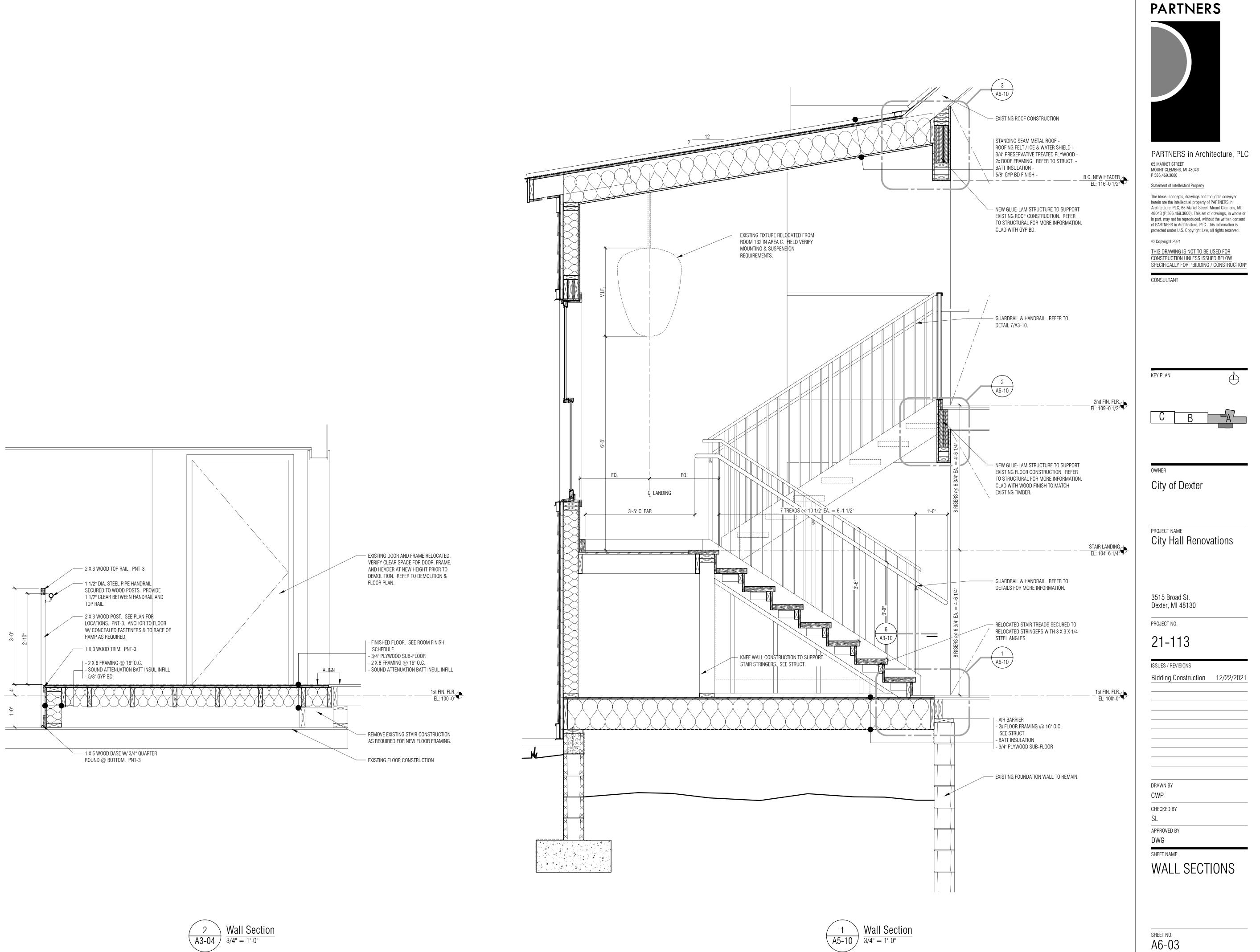


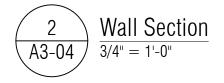
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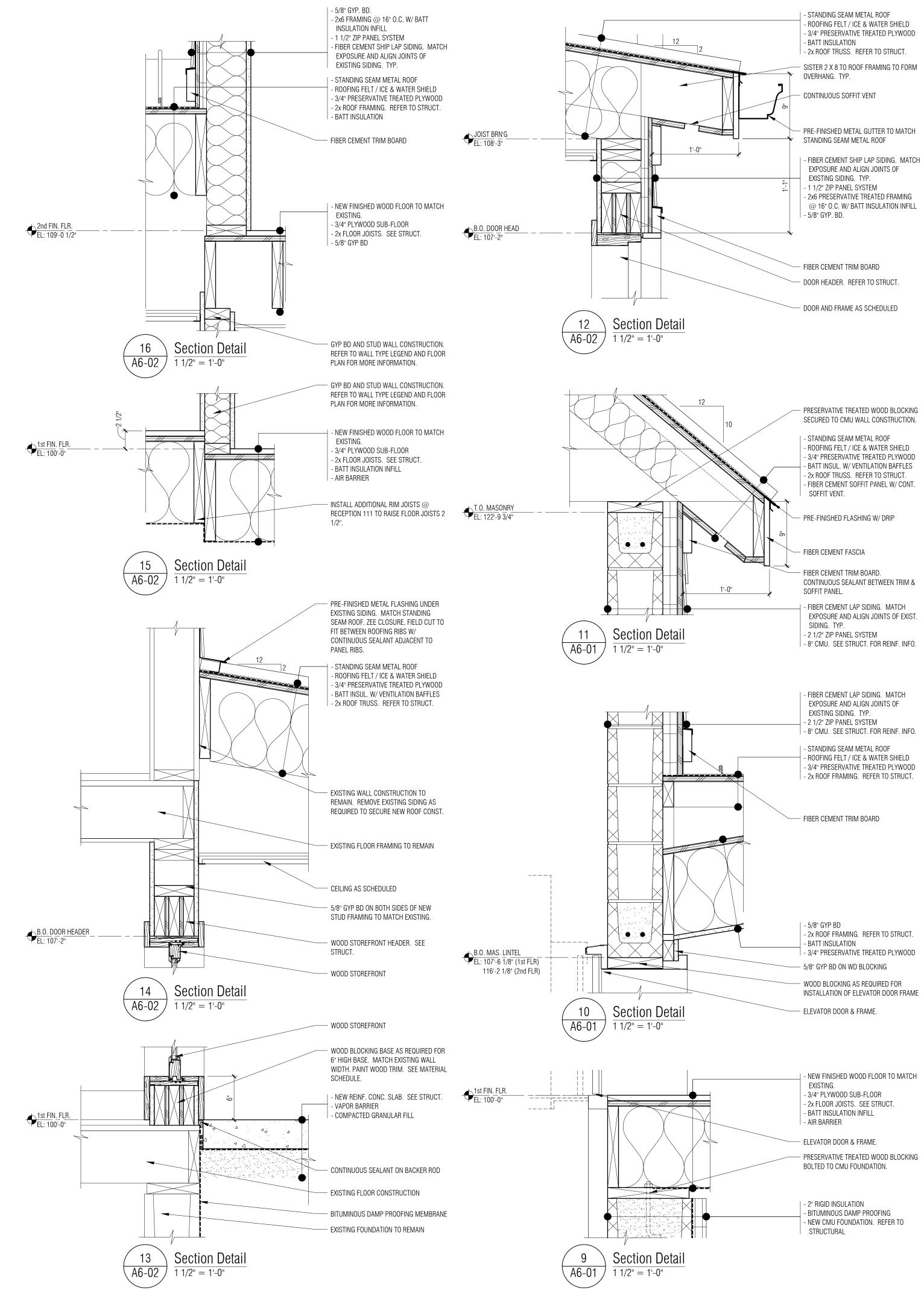


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- 3/4" PRESERVATIVE TREATED PLYWOOD - SISTER 2 X 8 TO ROOF FRAMING TO FORM

PRE-FINISHED METAL GUTTER TO MATCH

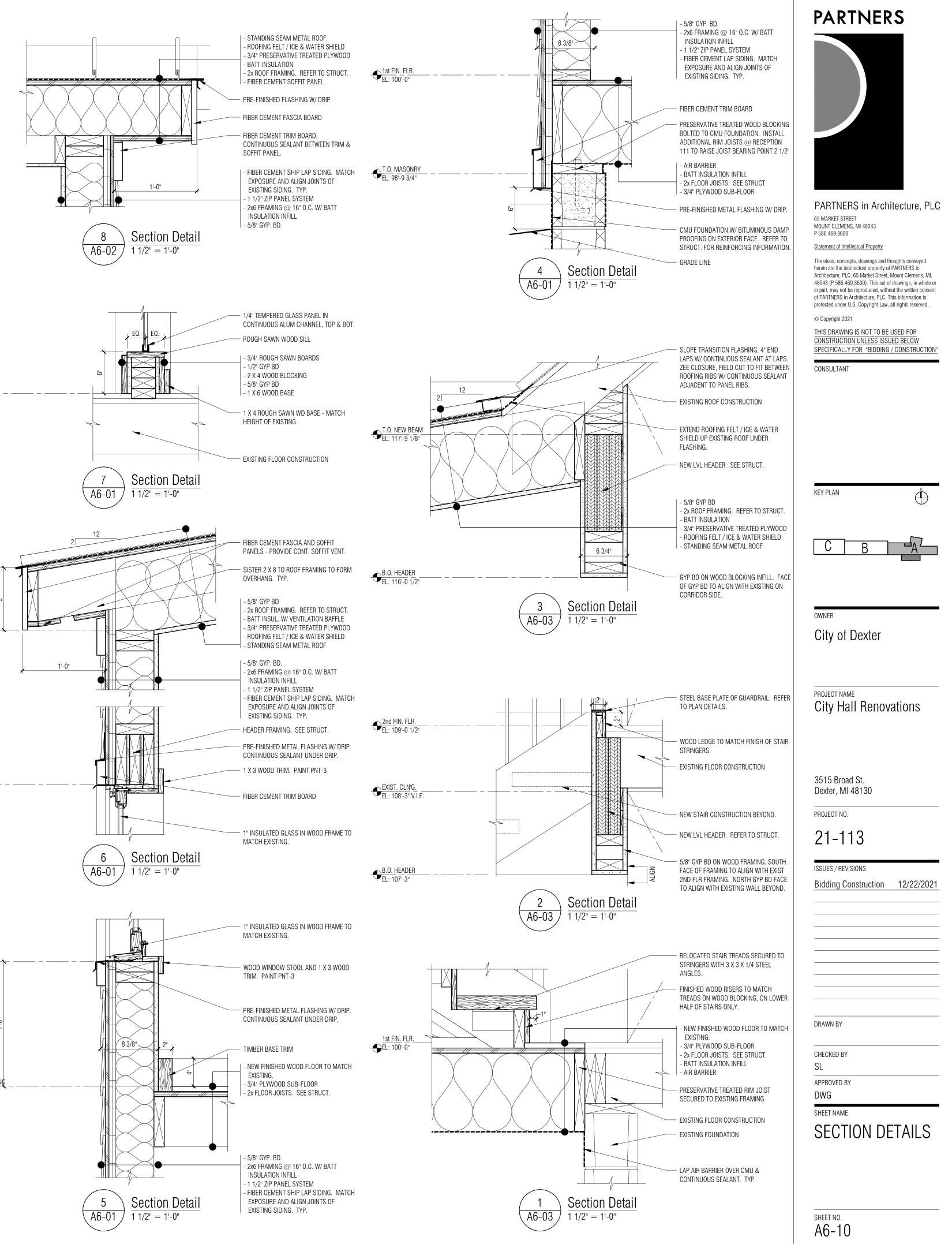
- FIBER CEMENT SHIP LAP SIDING. MATCH
- 2x6 PRESERVATIVE TREATED FRAMING

1st FIN. FLR.

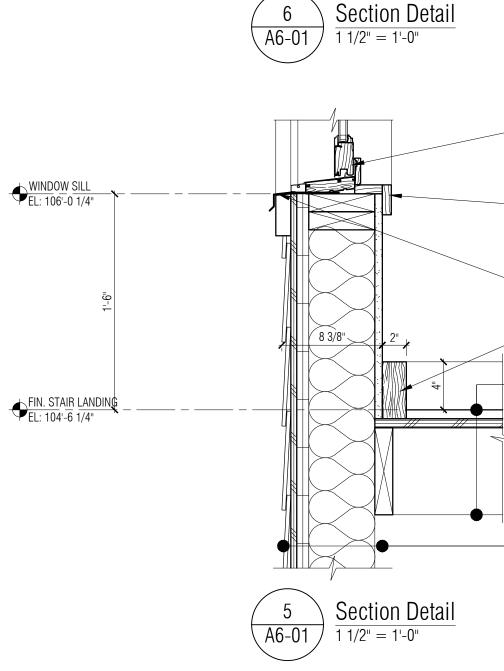
JOIST BR'G. EL: 115'-4 1/4

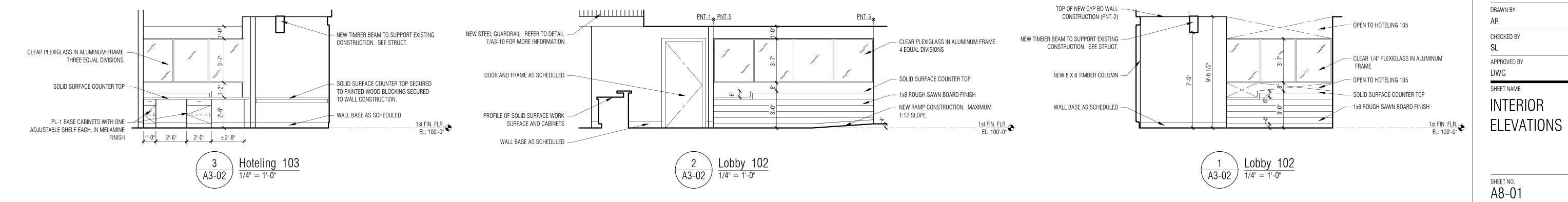
WINDOW HEAD EL: 112-4 1/4"

: 100'-0'



PRESERVATIVE TREATED WOOD BLOCKING





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KEY PLAN \square



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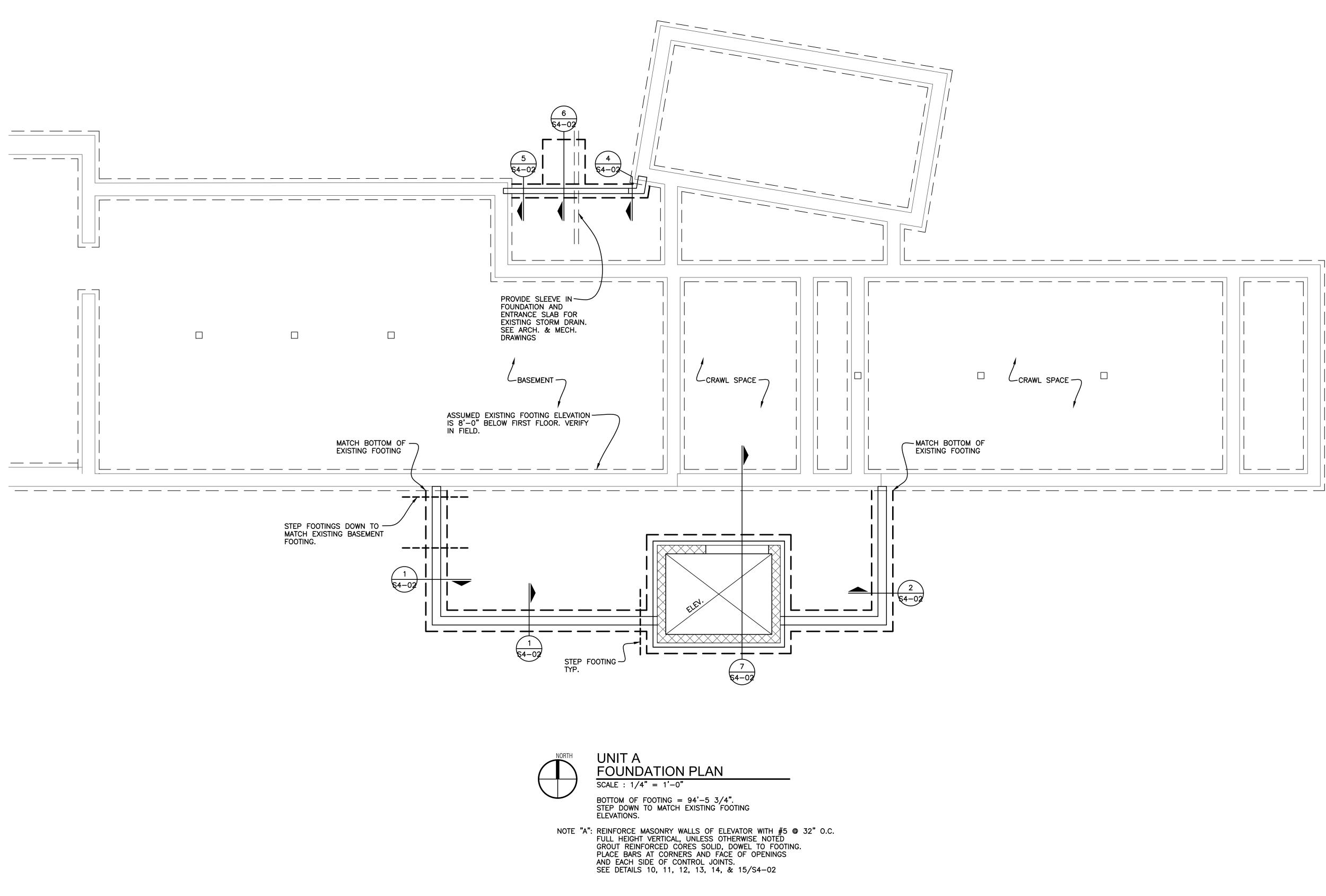
City of Dexter

PROJECT NAME City Hall Renovations

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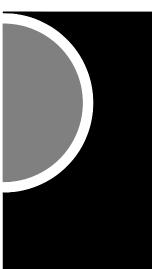
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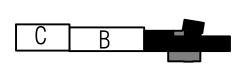
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KEY PLAN		Ň	
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City of Dexter

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3515 Broad St. Dexter, MI 48130

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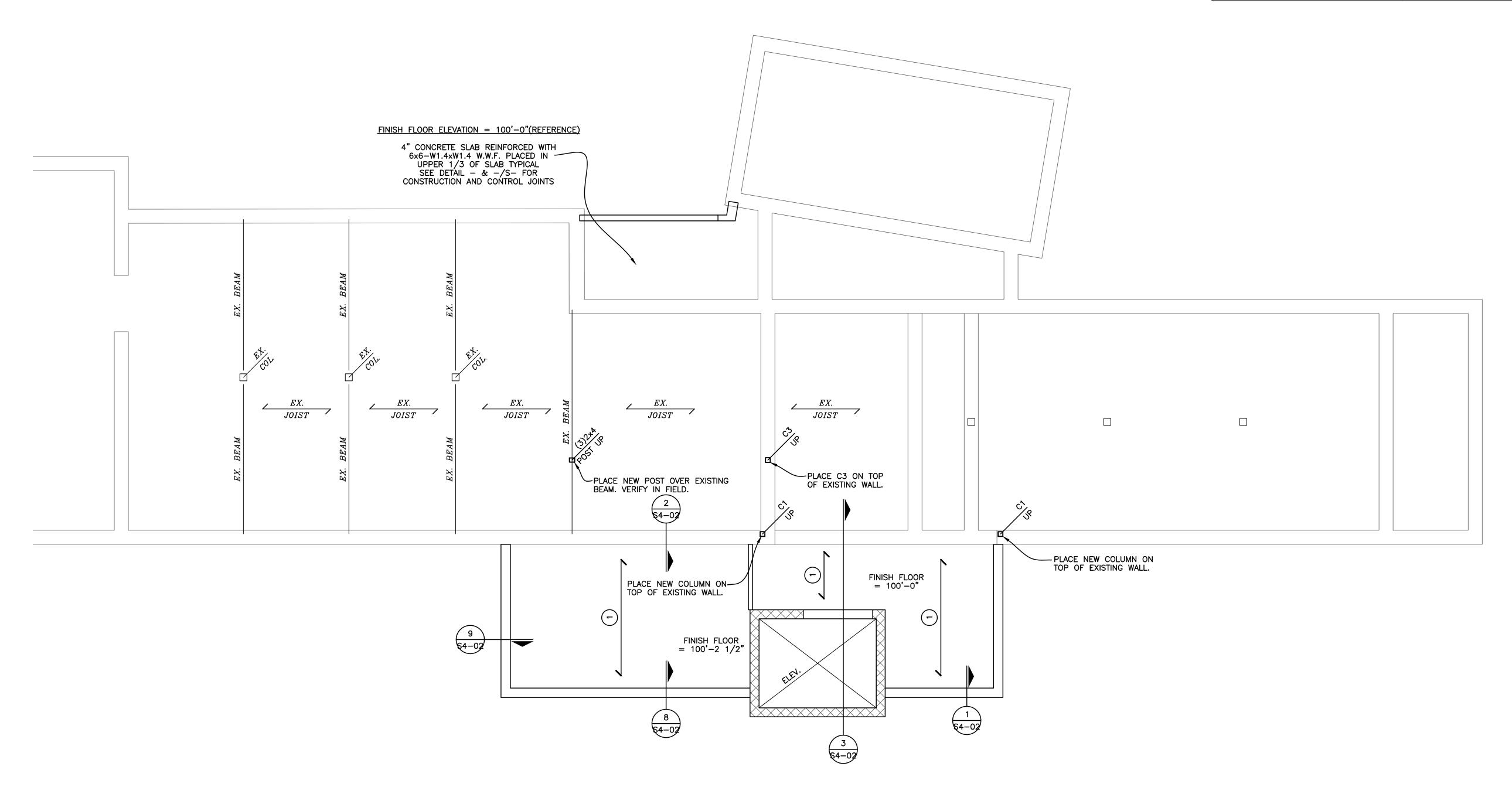
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TS

APPROVED BY TS

SHEET NAME

UNIT A FOUNDATION PLAN





UNIT A FIRST FLOOR FRAMING PLAN SCALE : 1/4" = 1'-0"

TYPICAL FLOOR SHEATHING IS 3/4" T&G SHEATHING. STAGGER JOINTS BETWEEN ROWS OF SHEATHING (OFFSET 4'-0" EACH ROW) GLUED AND SCREWED 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD

MATERIAL SCHEDULE				
MARK	DESCRIPTION	LIVE LOAD		
	2x12 @ 16" O.C.			
2	2x12 SLOPED ROOF RAFTER @ 16" O.C.			
3	2x8 @ 16" O.C.			
4	2x10 @ 16" O.C.			
5	PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C. BY TRUSS SUPPLIER			

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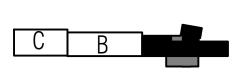
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33426 Five Mile Rd Livonia, Michigan 48154 ph. 734.855.4810 fx. 734.855.4809 email@sastructuralengineers.com



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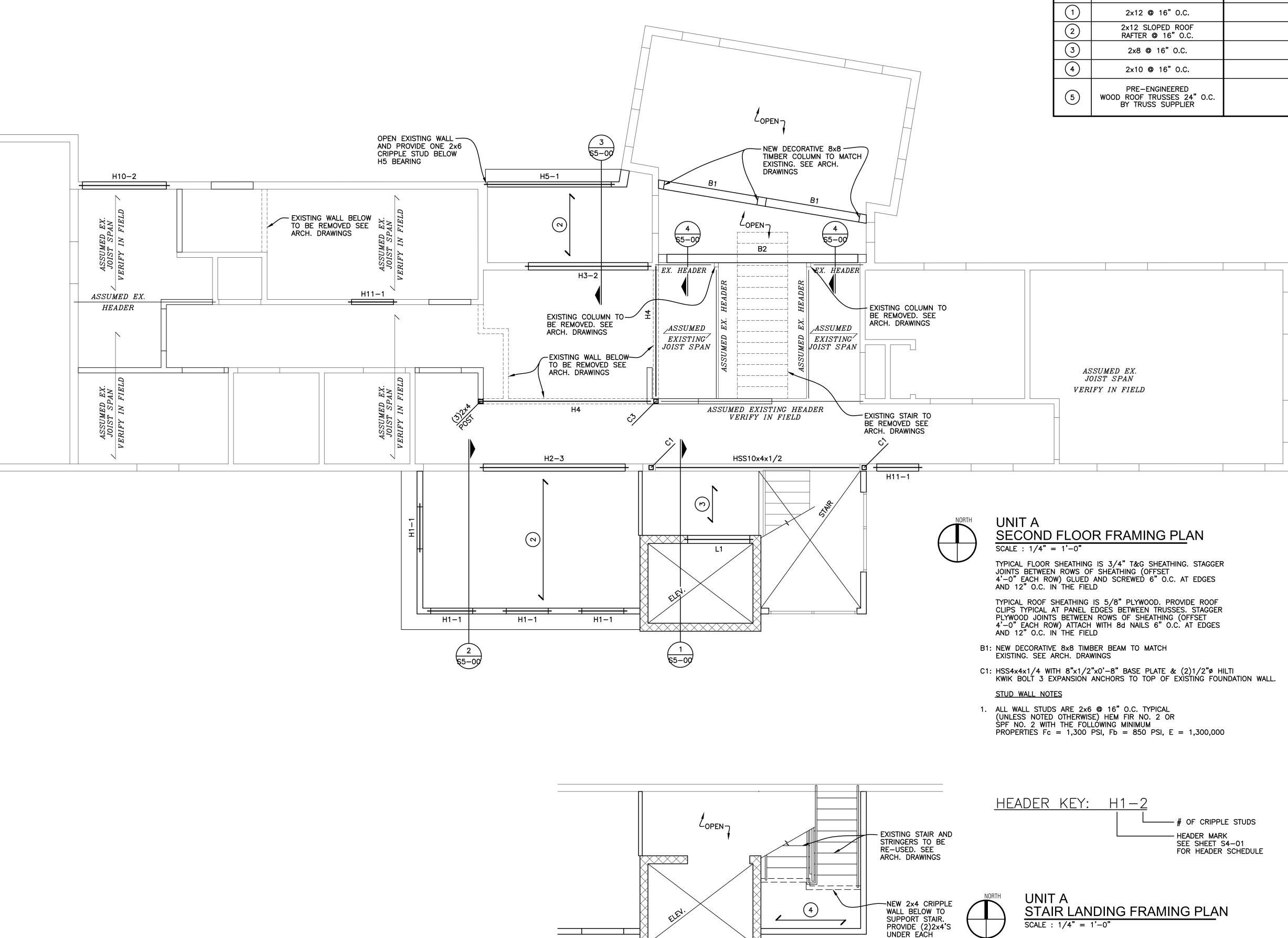
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TS

SHEET NAME

UNIT A FIRST FLOOR FRAMING PLAN



	MATERIAL SCHEDULE					
MARK	DESCRIPTION	LIVE LOAD				
	2x12 @ 16" O.C.					
2	2x12 SLOPED ROOF RAFTER © 16" O.C.					
3	2x8 @ 16" O.C.					
4	2x10 @ 16" O.C.					
5	PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C. BY TRUSS SUPPLIER					

STRINGER.

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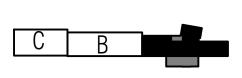
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OWNER

KFY PI AN

City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

_____ PROJECT NO.

21-113

ISSUES / REVISIONS

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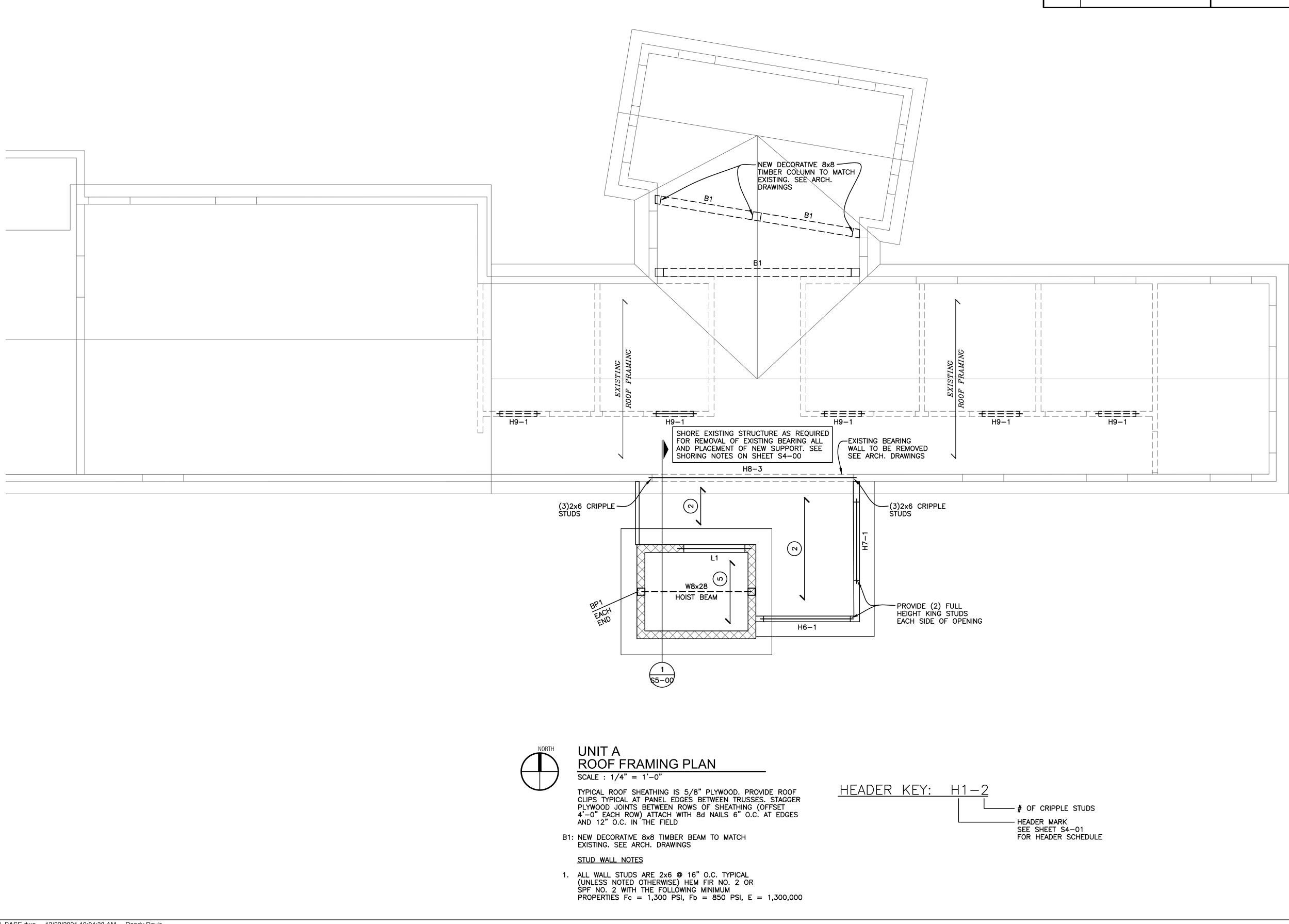
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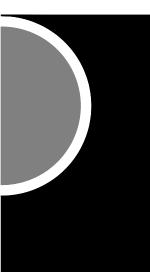
SHEET NAME UNIT A SECOND FLOOR FRAMING PLAN

SHEET NO. S3-03



	MATERIAL SCHEDULE					
MARK	DESCRIPTION	LIVE LOAD				
	2x12 @ 16" O.C.					
2	2x12 SLOPED ROOF RAFTER @ 16" O.C.					
3	2x8 @ 16" O.C.					
4	2x10 @ 16" O.C.					
5	PRE-ENGINEERED WOOD ROOF TRUSSES 24" O.C. BY TRUSS SUPPLIER					

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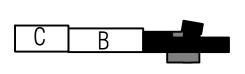
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OWNER

KFY PI AN

City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

_____ PROJECT NO.

21-113

ISSUES / REVISIONS

DRAWN BY RC _____

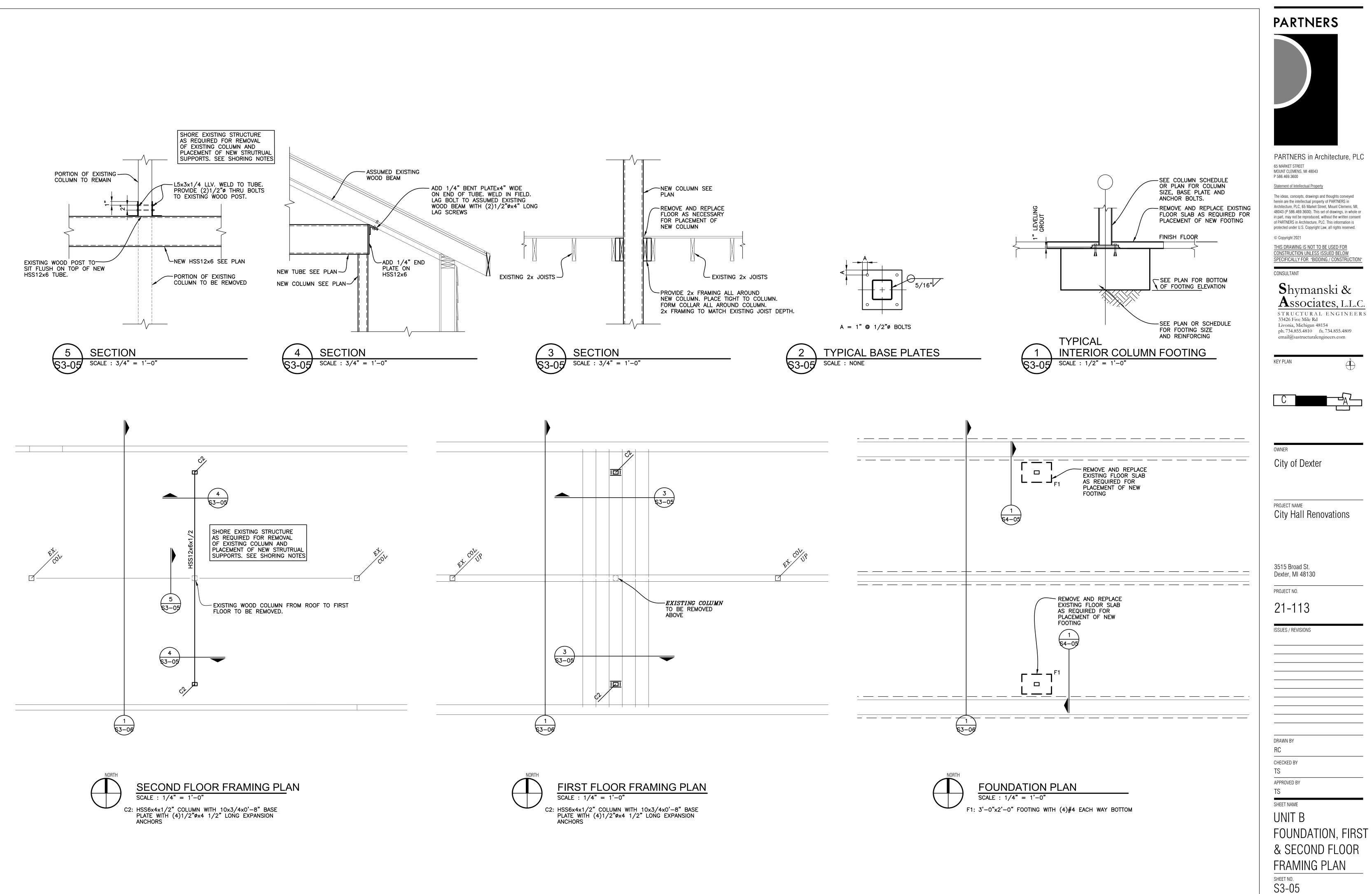
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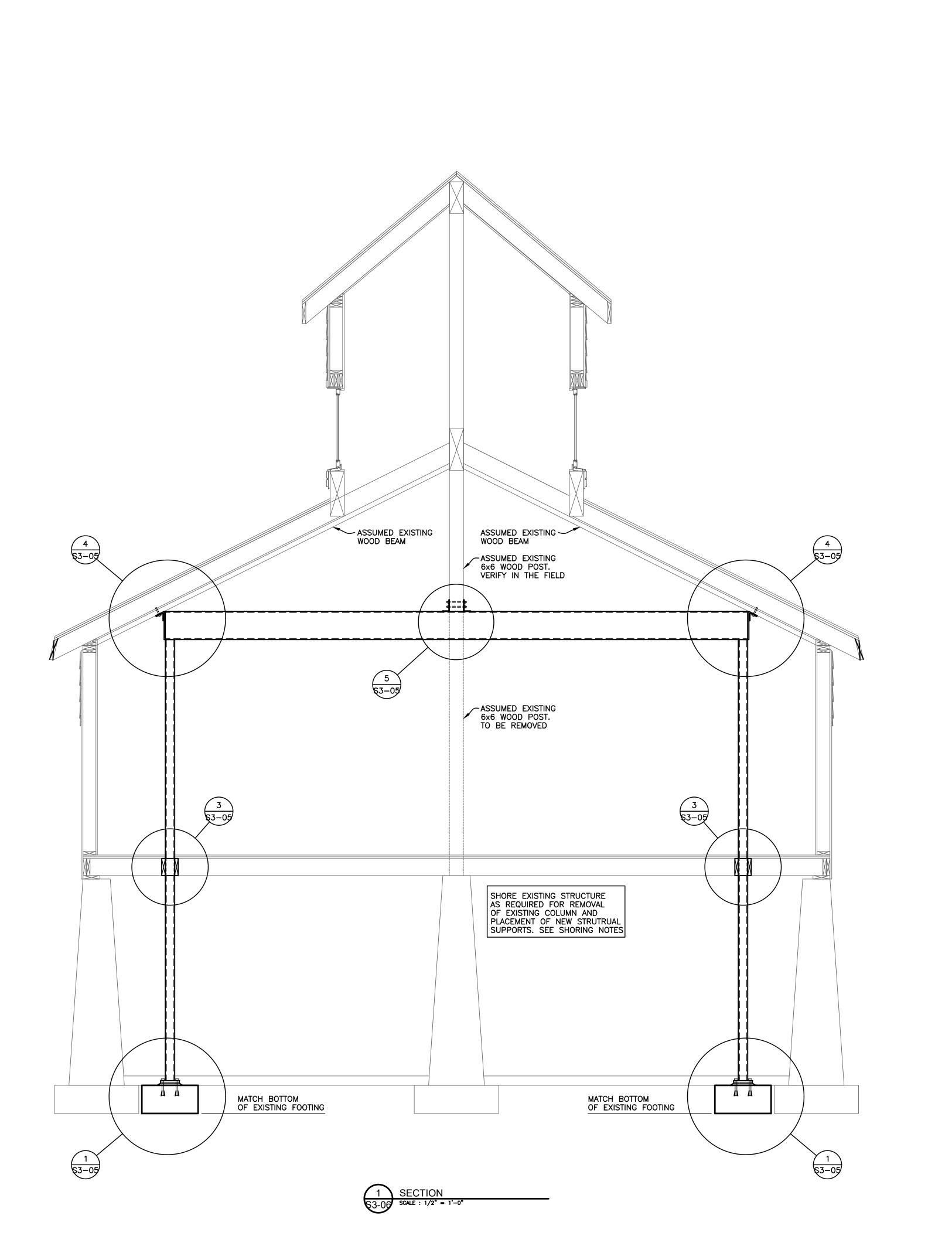
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SHEET NAME

UNIT A ROOF FRAMING PLAN

SHEET NO. S3-04





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sheet no. S3-06

GENERAL NOTES GENERAL CONDITIONS 1. IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.

- 2. THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. O.S.H.A., LOCAL GOVERNMENT CODES AND SAFETY CODE REQUIREMENTS SHALL BE ADHERED TO BY THE CONTRACTOR.
- 3. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES PROVIDING TEMPORARY BRACING, SHORING, GUYS OR TIE- DOWNS. THESE TEMPORARY SUPPORTS WILL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE IN PLACE AND COMPLETED.
- 4. USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED. DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR BUILDING LAYOUT AND LOCATION. SEE ARCHITECTURAL DRAWINGS AND SITE PLAN FOR THESE PURPOSES.
- 5. THE CONTRACTOR SHALL CHECK SHOP DRAWINGS PRIOR TO SUBMITTAL AND IS SOLELY RESPONSIBLE FOR ERRORS & OMISSION IN THE PREPARATION OF SHOP DRAWINGS TO CONFORM TO THE DESIGN DRAWINGS. SUBMIT NO MORE THAN ONE REPRODUCIBLE AND TWO PRINTS OF SHOP DRAWINGS FOR ENGINEER REVIEW. TWO COPIES WILL BE TO THE ARCHITECT.
- 6. DO NOT BACK-FILL AGAINST BASEMENT WALLS UNTIL FIRST FLOOR AND BASEMENT SLABS ARE IN PLACE OR WALLS ARE ADEQUATELY, LATERALLY BRACED.
- 7. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL RELEVANT DIMENSIONS AND ELEVATIONS FOR EQUIPMENT INSTALLATIONS AGAINST PURCHASED MANUFACTURER'S CERTIFIED EQUIPMENT DRAWINGS. DIMENSIONS THAT DEPEND UPON SPECIFIC EQUIPMENT SUCH AS ELEVATOR OPENINGS, MECHANICAL EQUIPMENT SUPPORTS, ETC. SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE ARCHITECT/ENGINEER. SUCH DIMENSIONS SHALL BE PROVIDED ON THE SHOP DRAWINGS BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE ARCHITECT/ENGINEER.
- 8. PRE-MANUFACTURED ITEMS SUCH AS CANOPIES, AWNINGS, SUNSHADES, ETC. SHALL BE DESIGNED BY SUPPLIER. SUPPLIER SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS AND CALCULATIONS BY A REGISTERED ENGINEER IN THE STATE OF MICHIGAN FOR RECORD TO ARCHITECT. SHOP DRAWINGS SHALL INDICATE ALL DESIGN LOADS AND INCLUDE ALL CONNECTIONS AND MATERIAL NECESSARY FOR INSTALLATION OF PRE-MANUFACTURED ITEMS.

EXISTING CONDITIONS

1. VERIFY ALL EXISTING ASSUMED DIMENSIONS AND CONDITIONS (I.E. EXISTING MATERIALS; FRAMING MEMBER SIZES AND LOCATIONS; METHODS OF CONSTRUCTION; ETC.) AT THE SITE PRIOR TO CONSTRUCTION AND FABRICATION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.

FOUNDATIONS

- 1. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2500 P.S.F. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
- 2. WHERE NEW FOOTINGS ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND PLACE BOTTOM OF NEW FOOTING AT THE SAME ELEVATION AS THE EXISTING.
- 3. PROVIDE NECESSARY SHEETING SHORING BRACING, ETC. AS REQUIRED DURING EXCAVATIONS TO PROTECT SIDES OF EXCAVATIONS.
- 4. COMPLY FULLY WITH REQUIREMENTS OF OSHA AND OTHER REGULATORY AGENCIES FOR SAFETY PROVISIONS.

CONCRETE

- 1. MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS, U.O.N.; SLABS SHALL BE 3500 P.S.I. MIN. U.O.N. EXPOSED CONCRETE SHALL BE 4000 PSI WITH 6% + 1% ENTRAINED AIR U.O.N.
 - A. PROVIDE 3000 P.S.I. 28-DAY COMPRESSIVE STRENGTH; W/C RATIO, 0.58 MAXIMUM (NON-AIR-ENTRAINED), 5.0 BAG CEMENT MIX FOR ALL FOUNDATION WORK UNLESS NOTED OTHERWISE.
 - B. PROVIDE 3500 P.S.I. 28-DAY COMPRESSIVE STRENGTH; W/C RATIO, 0.53 MAXIMUM (NON-AIR-ENTRAINED), 5.5 BAG CEMENT MIX FOR ALL INTERIOR SLABS UNLESS NOTED OTHERWISE.
 - C. PROVIDE 4000 P.S.I. 28-DAY COMPRESSIVE STRENGTH; W/C RATIO, 0.45 MAXIMUM (AIR-ENTRAINED). 6.0 BAG CEMENT MIX FOR ALL EXTERIOR CONCRETE UNLESS NOTED OTHERWISE.
- 2. FLYASH OR GROUND GRANULATED BLAST FURNACE SLAG MAY BE SUBSTITUTED UP TO 25% MAXIMUM OF MIX DESIGN CEMENT CONTENT IN NON-EXPOSED CONCRETE MIXES. DO NOT USE IN EXPOSED MIX DESIGNS.
- 3. ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
- 4. ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE MINIMUM 36 BAR DIAMETER LAP AND BE FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. - 315 LATEST EDITION.
- 5. REINFORCED CONCRETE WALLS AND WALL FOOTINGS SHALL HAVE CORNER BARS AT ALL INTERSECTIONS OF THE SAME SIZE AND SPACING AS THE MAIN HORIZONTAL REINFORCING. PROVIDE 2-#5 BARS EACH SIDE OF ALL OPENINGS AND 2-#5 X 4'-0" DIAGONAL BARS AT CORNERS OF OPENINGS.
- 6. WHERE SLAB REINFORCING RUNS PARALLEL TO A SUPPORTING BEAM, GIRDER SPANDREL, OR WALL, PROVIDE #4 @ 12" O.C. IN TOP OF SLAB AT RIGHT ANGLES TO MAIN REINFORCING. HOOK BARS AT EXTERIOR WALLS OR SPANDRELS.
- 7. ALL SLABS ON GROUND SHALL BE 4" THICK AND HAVE 6" X 6" W1.4 X W1.4 WELDED WIRE FABRIC IN THE TOP 1/3 OF THE SLAB, UNLESS OTHERWISE NOTED.
- 8. ALL WALLS SHALL HAVE #4 @ 12" O.C. BOTH WAYS, INSIDE FACE, AND #3 @ 12" O.C. BOTH WAYS, OUTSIDE FACE, EXCEPT AS NOTED, AND ALL HORIZONTAL WALL STEEL SHALL BEND 2'0" AROUND CORNERS. BEND VERTICAL WALL STEEL 2'0" INTO FLOOR SLAB.
- 9. FIELD AND SHOP TESTING OF CONCRETE WORK SHALL INCLUDE INSPECTION OF REINFORCING STEEL PLACEMENT, REBARS, NUMBER, LOCATION, AND LAP SPLICE LENGTH.
- 10. PROVIDE DOWELS INTO FOUNDATION TO MATCH SIZE AND SPACING OF VERTICAL REINFORCEMENT AT ALL COLUMNS AND WALLS, UNLESS OTHERWISE NOTED.

CONCRETE (CONT.)

A. UNFOR B. UNFOR C. FORME OR W #6 O #5 0 D. FORME OR W SLABS COLUN

MASONRY

2. ALL STRUCTURAL MASONRY IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST MASONRY STANDARDS JOINT COMMITTEE (MSJC) BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (TMS 402/ACI 530/ASCE 5) AND SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 602/ACI 530.1/ASCE 6) MASONRY SUBMITTALS ARE REQUIRED BY ACI 530.1/ASCE 6/TMS 602. SECTION 1.5 MASONRY TESTING AND INSPECTIONS ARE REQUIRED BY ACI 530.1/ASCE 6/TMS 602 SECTION 1.6, TABLE 5.

3. ALL STRUCTURAL MASONRY HAS BEEN ENGINEERED IN ACCORDANCE WITH CHAPTER 2 ALLOWABLE STRENGTH DESIGN. COMPRESSION STRENGTH SHALL BE DETERMINED ACCORDING TO THE UNIT STRENGTH METHOD FOR CONCRETE MASONRY MSJC SECTION 1.4. B.2.b.

4. ALL BLOCK SHALL CONFORM TO ASTM C90, TYPE I, WITH A MINIMUM UNIT NET AREA COMPRESSIVE STRENGTH OF 2800 PSI.

7. PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 9 GAUGE SIDE AND CROSS MEMBERS IN EVERY SECOND COURSE (16" O.C.), IN ALL MASONRY WALLS. WALLS WITH VERTICAL REINFORCING SHALL ONLY HAVE "LADDER" TYPE REINFORCING.

8. ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS, FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. - 315 LATEST EDITION AND HAVE THE FOLLOWING MINIMUM LAP LENGTHS:

BAR SIZE #3 #8

9. ALL MASONRY BEARING STEEL BEAMS AND LINTELS TO BEAR 8" MINIMUM ON 3 COURSES SOLID MASONRY, WITH 2-3/4" DIAMETER BOLTS EACH END, UNLESS OTHERWISE NOTED.

10. ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID.

11. MASONRY GROUT SHALL CONFORM TO ASTM C 476, WITH PEA GRAVEL AGGREGATE AND A MINIMUM STRENGTH OF 2000 PSI, BUT NOT LESS THAN SPECIFIED f'm.

12. UNLESS OTHERWISE NOTED, AT ALL MASONRY WALLS PROVIDE THE FOLLOWING LINTELS:

8" WALLS

12" WALLS:

MINIMUM 2 INCH STITCH WELD EVERY 8 INCHES.

14. UNLESS OTHERWISE NOTED, PROVIDE L5 X 3-1/2 X 5/16 L.L.V. LINTEL FOR EACH 4" OF MASONRY FOR SPANS UP TO 5'-4" MAX.

15. PROVIDE DOWELS INTO FOUNDATION TO MATCH SIZE AND SPACING OF VERTICAL REINFORCEMENT AT ALL COLUMNS AND WALLS, UNLESS OTHERWISE NOTED.

STRUCTURAL STEEL

2. UNLESS OTHERWISE NOTED OR SHOWN, ALL BEAM CONNECTIONS TO HSS 5 X 5 OR SMALLER COLUMN, 5"Ø OR SMALLER COLUMN, OR ANY TUBE COLUMN REGARDLESS OF SIZE WITH A WALL THICKNESS LESS THAN 3/8" SHALL BE MADE WITH THRU PLATES WELDED TO BOTH WALLS OF COLUMN.

3. ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST AWS CODE, E70XX ELECTRODES, WITH WELDING PERFORMED BY QUALIFIED WELDERS.

4. BOLTED CONNECTIONS SHALL BE MADE WITH A-325 OR A-490 BOLTS. ALL BOLTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS FOR "STRUCTURAL JOINTS USING A.S.T.M. A-325 OR A-490 BOLTS." TYPICAL BOLTED CONNECTIONS ARE "BEARING TYPE" UNLESS NOTED OTHERWISE.

5. DESIGN CONNECTIONS FOR MINIMUM ONE-HALF THE TOTAL ALLOWABLE UNIFORM LOAD PER A.I.S.C. BEAM LOAD TABLES, UNLESS OTHERWISE NOTED. (MIN. 2 BOLTS EACH CONNECTION).

6. THE DESIGN, CONFIGURATION & ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL STEEL FABRICATOR. REVIEW AND ACCEPTANCE OF THE SHOP DRAWINGS BY THE ENGINEER SHALL CONSTITUTE APPROVAL OF THE LOAD CARRYING ADEQUACY ONLY.

7. TYPE OF CONSTRUCTION PER ASCE A2.2 IS TYPE 2 "SIMPLE FRAMING" UNLESS NOTED OTHERWISE.

11. UNLESS OTHERWISE SHOWN, PROVIDE THE FOLLOWING COVER FOR **REINFORCING STEEL:**

UNFORMED SURFACES IN CONTACT WITH EARTH	-3	IN.
UNFORMED SURFACES OVER MOISTURE BARRIERS	-2	IN.
FORMED SURFACES EXPOSED TO EARTH OR WEATHER		
OR WATER PROOFING/DAMP PROOFING		
#6 OR LARGER	-2	IN.
#5 OR SMALLER	-1 1/2	IN.
FORMED SURFACES NOT EXPOSED TO EARTH		
OR WEATHER		
SLABS AND WALLS	-3/4	IN.
COLUMNS	-1 1/2	IN.
BEAMS AND GIRDERS	-1 1/2	IN.

1. THE MASONRY PORTIONS OF THIS STRUCTURE ARE DESIGNED ACCORDING TO THE LATEST ALLOWABLE STRESS DESIGN PROVISIONS OF THE MASONRY STANDARDS JOINT COMMITTEE (MSJC) BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 602) INCLUDING SECTIONS 2106 AND 2107 OF CHAPTER 21 IN THE MICHIGAN BUILDING CODE. MASONRY COMPONENTS HAVE BEEN DESIGNED ACCORDING TO THE PROVISIONS FOR SEISMIC DESIGN CATEGORY B.

MASONRY COMPRESSIVE STRENGTH f'm = 2000 PSI MINIMUM.

6. MORTAR SHALL BE TYPE "S" (1800 PSI) CONFORMING TO ASTM C-270. USE MORTAR CEMENT WHERE EXTERIOR WALLS ARE UNREINFORCED.

8" CMU	12" CM
18"	18"
24 "	24"
30"	30"
38 "	36"
	42"

PROVIDE MECH. SPLICE

(2) L4x3 1/2 x 5/16 LLV FOR OPENINGS UP TO 4'-0" (2) L5x3 1/2 x 5/16 LLV FOR OPENINGS UP TO 5'-4" W8x18 + 3/8" PLATE FOR OPENINGS UP TO 8'-0" W8x28 + 3/8" PLATE FOR OPENINGS UP TO 12'-4"

(3) L4x3- 1/2 x 5/16 LLV FOR OPENINGS UP TO 4'-0" (3) L5x3-1/2 x 5/16 LLV FOR OPENINGS UP TO 5'-4" W8x18 + 3/8" PLATE FOR OPENINGS UP TO 8'-0" W8x28 + 3/8" PLATE FOR OPENINGS UP TO 12'-4"

13. ALL DOUBLE ANGLE LINTELS SHALL BE WELDED BACK TO BACK WITH A

1. STEEL DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH THE LATEST A.I.S.C. MANUAL AND SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS. ALL WIDE FLANGE BEAMS AND COLUMNS SHALL CONFORM TO THE LATEST ASTM. SERIAL DESIGNATION A992, GR50; ALL MISCELLANEOUS STEEL PLATES, BARS, ANGLES, ETC., SHALL CONFORM TO ASTM A36; STEEL TUBING TO BE ASTM A500, GRADE B; STEEL PIPE ASTM. A-53, GRADE B. ANCHOR BOLTS TO BE ASTM F1554 GRADE 36 KSI MINIMUM UNLESS OTHERWISE NOTED

STRUCTURAL STEEL (CONT.)

- 8. TEMPORARY ERECTION SEATS SHALL BE PROVIDED AS RECOMMENDED ON PAGE 3-59 OF THE A.I.S.C. PUBLICATION "ENGINEERING FOR STEEL CONSTRUCTION".
- 9. ALL PROVISIONS OF THE RECOMMENDED CODE OF STANDARD PRACTICE FOR STEEL JOISTS AS ADOPTED BY THE STEEL JOIST INSTITUTE SHALL BE ADHERED TO.
- 10. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL ANGLES, PLATES, BARS, CLIPS, ETC., ATTACHED TO STRUCTURAL STEEL.
- 11. THE DESIGN OF THE STEEL FRAMED STAIRS AND RAILINGS SHALL BE THE RESPONSIBILITY OF THE STEEL FABRICATOR. PROVIDE COMPLETE ENGINEERED STAIR ASSEMBLIES, CONFORMING TO THE ARCHITECTURAL INTENT (SHOP DRAWINGS) AND CALCULATIONS UNDER THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF MICHIGAN INCLUDING METAL FRAMING, HANGERS, MASONRY BEARING PLATES, COLUMNS, RAILING ASSEMBLIES, AND OTHER COMPONENTS NECESSARY TO SUPPORT THE STAIRS AND LANDINGS INCLUDING ANCHORAGE TO THE SUPPORTING STRUCTURE.
- 12. THE CONTRACTOR SHALL FURNISH ALL ACCESSORIES INCLUDING CLOSURES, "Z" CLOSURES, COLUMN CLOSURES, SCREED ANGLES AND GIRDER FILLERS AS REQUIRED.
- 13. MASONRY AND BRICK LINTELS SHALL BE GALVANIZED G90 PER ASTM A123.
- 14. PROVIDE L4X4X1/4 SEATS AT COLUMN WEBS WHERE REQUIRED FOR SUPPORT OF ROOF AND FLOOR DECKS. PROVIDE ANGLE OUTRIGGER FROM EXTERIOR COLUMNS FOR SLAB AND ROOF EDGE PLATE SUPPORT.
- 15. ALL WIDE FLANGE LINTELS TO HAVE MINIMUM 7"x3/8"x0'-7" BEARING PLATE, ALL WIDE FLANGE FLOOR OR ROOF BEAMS TO HAVE MINIMUM 7"x3/8"x0'-7" BEARING PLATE UNLESS OTHERWISE NOTED

SHORING

- 1. SHORE STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY.
- 2. ALL SHORING, UNDERPINNING, ETC., SHALL BE PERFORMED BY EXPERIENCED CONTRACTORS
- 3. SHORE, UNDERPIN, ETC., ALL QUESTIONABLE AREAS PRIOR TO REMOVAL OF ANY STRUCTURAL SUPPORT TO INSURE STRUCTURAL INTEGRITY.
- 4. MAINTAIN SHORING UNTIL NEW PERMANENT STRUCTURE IS IN PLACE AND SECURE TO MAINTAIN STRUCTURAL INTEGRITY.
- 5. REMOVE SHORING AFTER NEW WORK IS IN PLACE AND CONNECTED.

WOOD

- 1. WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND SPECIFICATIONS, AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY NATIONAL FOREST PRODUCTS ASSOCIATION.
- 2. ALL LUMBER FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM BASE DESIGN VALUES IN ACCORDANCE WITH THE LATEST ISSUE OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA):
- Fb = 850 P.S.I.
- fv = 135 P.S.I. E = 1,300,000 P.S.I.
- NO. 2 OR BETTER
- 3. PLYWOOD TO BE CONTINUOUS OVER TWO (2) OR MORE SPANS AND FACE GRAIN PERPENDICULAR TO SUPPORT.

PLYWOOD OR ORIENTED STRAND BOARD FOR ROOF: 5/8" (32/16) 5 PLY STANDARD GRADE. PROVIDE ROOF CLIPS TYPICAL AT SHEATHING EDGES BETWEEN TRUSSES. STAGGER PLYWOOD JOINTS BETWEEN ROWS OF SHEATHING (OFFSET 4'-0" EACH ROW)

- PLYWOOD OR ORIENTED STRAND BOARD FOR FLOORS: 3/4" TONGUE AND GROOVE, U.N.O. 4. STAGGER PLYWOOD JOINTS BETWEEN ROWS OF SHEATHING (OFFSET 4'-0" EACH ROW).
- 5. HANGERS, STRAPS, CLIPS AND HOLDOWNS SHALL BE MANUFACTURED BY THE "SIMPSON MANUFACTURING COMPANY". ALL EXTERIOR CONNECTIONS ARE TO BE GALVANIZED.
- 6. PROVIDE DOUBLE CRIPPLE STUD AT EACH END OF WOOD HEADERS, TYPICAL, UNLESS NOTED OTHERWISE.
- 7. ALL STRUCTURAL LAMINATED VENEER LUMBER TO HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES BASED ON AITC GRADING STANDARDS:
 - Fb = 2800 PSI Fv = 285 PSI
 - Fc⊥ = 750 PSI
 - E = 2,000,000 PSI
- 8. TIMBER SUPPLIER SHALL BE A MEMBER OF AITC. TIMBER CONNECTIONS TO BE DESIGNED AND DETAILED BY TIMBER SUPPLIER, WITH FABRICATION BY STEEL FABRICATOR.
- 9. UNLESS OTHERWISE NOTED, PROVIDE 2-2X8 HEADER FOR OPENINGS IN STUD WALLS FOR SPANS UP TO 3'-0 MAXIMUM.
- 10. ALL ROOF TRUSSES ARE A PERFORMANCE DESIGN BY THE WOOD SUPPLIER. TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR ALL TRUSSES AND COMPONENTS (FLOOR TRUSSES, ROOF TRUSSES, "I" JOISTS, HEADERS, ETC.) AND LAYOUT, WITH DESIGN LOADS, SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. TRUSS LAYOUT DRAWINGS SHALL INDICATE ALL REQUIRED BRIDGING FOR TRUSS COMPONENT DESIGN. TRUSS MANUFACTURER SHALL VERIFY WITH ARCHITECT AND MECHANICAL CONTRACTOR SIZE, LOCATION & SUPPORT OF MECHANICAL UNITS. TRUSS FRAMING AND TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED BY TRUSS MANUFACTURER FOR ALL REQUIRED LOADS. SHOP DRAWINGS NOT SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF MICHIGAN WILL BE REJECTED. SEE MECHANICAL AND ARCHITECTURAL DRAWINGS FOR MECHANICAL LOADS AT TRUSSES. TRUSS SUPPLIER TO DESIGN TRUSSES FOR SUPPORT OF ALL MECH. UNITS, PIPING, FIRE SUPPRESSION LINES, AND ALL UTILITIES. COORDINATE ADDITIONAL LOADING AND PIPE SUPPORT/UTILITY LOCATIONS WITH MECH. CONTRACTOR.
- 11. DESIGN OF THE LUMBER AND CONNECTOR PLATES FOR TRUSSES SHALL BE IN ACCORDANCE WITH LATEST TRUSS PLATE INSTITUTE (TPI) REQUIREMENTS.
- 12. THE TRUSS SUPPLIER SHALL DESIGN AND DETAIL ALL REQUIRED BRIDGING, BRACING AND SUPPLEMENTAL MATERIAL TO PROVIDE A COMPLETE SYSTEM FOR THE LOADS AND PERFORMANCE REQUIREMENTS NOTED.
- 13. TRUSS TOP CHORD MUST BE BRACED WITH ROOF SHEATHING OR CONTINUOUS LATERAL BRACING AT 3 -0" O.C. BOTTOM CHORD MUST BE BRACED WITH A RIGID CEILING OR CONTINUOUS BRACING AT 10'-0" O.C. PLYWOOD SHEATHING SHALL BE NAILED OR SCREWED TO TRUSS MEMBERS AT 6" O.C. MAXIMUM SPACING.
- 14. ALL ROOF TRUSSES PARALLEL TO AND OVER SHEARWALLS SHALL BE DESIGNED TO HORIZONTALLY TRANSFER THE LATERAL LOADS TO THE SHEARWALL BELOW. SUPPLY HORIZONTAL LOAD ON ONE FACE OF TRUSS.
- 15. ALL FABRICATION SHOPS SHALL BE APPROVED BY THE BUILDING DEPARTMENT AND ENGINEER PRIOR TO ANY WORK BEING PERFORMED. SUBMIT ALL CERTIFICATIONS AND DOCUMENTATION FOR THEIR REVIEW. WOOD TRUSS DOCUMENTS SUBMITTED BY THE WOOD TRUSS SUPPLIER IS A "DEFERRED SUBMITTAL" PER SECTION 107.3.4.1 OF THE MBC 2015

WOOE) (CONT.)						PARTNERS
	TRUSSES: SHALL BE MANUFACTURED BY AN ACC RECOGNIZED BY THE GOVERNING BUILDING CODE SUPPLY ALL HANGERS, PLATES, BLOCKS, CLIPS RELATIVE TO THEIR UNITS. DESIGN CRITERIA	. TRUSS , BRIDGIN	s Manuf Ig And	ACTURE	R SHALL		
	ROOF TRUSS:						
	TC LL = 25 PSF						
	DL = 10 PSF BC DL = 10 PSF LL = 10 PS	``	LIVE 1607.		PER SECTI	ON	
	TL = 45 PSF MINIMUM + 10 P LOAD + DRIFTING SNO			PLAN			
	LL = 40 PSF LL = 1	R AND STA 00 PSF	IRS				
	DL = 32 PSF DL = TL = 72 PSF TL = 1						PARTNERS in Architecture,
		25 F3F					65 MARKET STREET MOUNT CLEMENS, MI 48043
	* TOTAL LOAD DEFLECTION NOT TO EXCEED SP LIVE LOAD DEFLECTION NOT TO EXCEED SPA						P 586.469.3600 <u>Statement of Intellectual Property</u>
17.	TRUSSES SHALL BE INSTALLED PER THE LATEST	TPI BCSI	REQUI	REMENT	s.		The ideas, concepts, drawings and thoughts conveye herein are the intellectual property of PARTNERS in
	POWDER-DRIVEN FASTENERS (P.D.F.) SHALL HA OF 3/16" AND A MINIMUM EMBEDMENT OF 1-1/4 ON THE PLANS. POWDER-DRIVEN FASTENERS SH BY "HILTI", "RAMSET", "REDHEAD" OR AN APP	". SPACI ALL BE AS	NG IS MANUF	AS NOT	ED		Architecture, PLC, 65 Market Street, Mount Clemens 48043 (P 586.469.3600). This set of drawings, in wi in part, may not be reproduced, without the written c of PARTNERS in Architecture, PLC. This information protected under U.S. Copyright Law, all rights reserv
19.	STACK ALL BEARING STUDS, CRIPPLE STUDS AN ABOVE DOWN TO FOUNDATION.	D POSTS F	ROM FL	_OORS A	ND ROOF		© Copyright 2021 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED BELOW
20.	NOTCHED AND/OR CUT STUDS TO CLEAR ANCHOR SHALL HAVE FULL-BEARING TO THE FOUNDATION		NOT A	ALLOWED). STUDS		SPECIFICALLY FOR "BIDDING / CONSTRUC
21.	LET-IN BRACES SHALL NOT BE USED FOR TEMPO STEEL STRAPS WHICH DO NOT REQUIRE CUTTING					E.	Shymanski &
	FASTEN WOOD MEMBERS IN ACCORDANCE WITH MB	C TABLE 2	2304.10).1.			Associates, L.I
SPEC	CIAL INSPECTION						33426 Five Mile Rd Livonia, Michigan 48154
1.	WORK CONSTRUCTED SHALL BE INSPECTED BY AN AGENCY TO ENSURE COMPLIANCE WITH THE REQU DRAWINGS. INSPECTIONS REQUIRED BY CHAPTE BUILDING CODE; LOCAL BUILDING DEPARTMENTS DOCUMENTS SHALL BE PERFORMED BY AN INDEPE VISITS BY THE DESIGN ENGINEER DO NOT CONS	JIREMENTS ER 17 OF S AND THE ENDENT TE	SHOWN THE MI CONTR STING	I ON TH CHIGAN ACT AGENCY	E . SITE		h. 734.855.4810 fx. 734.855.4809 email@sastructuralengineers.com
2.	THE FOLLOWING ITEMS SHALL BE INSPECTED IN 1704 & 1705 BY A CERTIFIED SPECIAL INSPEC REMARKS COLUMN. ALL INSPECTION SHALL BE OTHERWISE NOTED. ALL PRODUCTS WITH ICC / PER THE APPROVAL AND PER MANUFACTURER'S M MATERIAL TESTING REQUIREMENTS, SEE SPECIA NOTES. TESTING AGENCY SHALL SEND COPIES INSPECTION REPORTS DIRECTLY TO THE ARCHI	CTOR UNLE CONTINUO APPROVALS RECOMMEND FICATIONS OF ALL S	SS NOT US UNL SHALL ATIONS AND/0	ED OTH ESS BE IN G. FOR DR GENE	ERWISE I STALLED RAL	Ν	
	INSPECTION OF FABRICATOR'S (SEC. 1704.2	2.5) *					
	FABRICATION AND IMPLEMENTATION PROCE	OURES 170	4.2.5.	1			
	*SPECIAL INSPECTION IS NOT REQUIRED F					TOATE	OWNER
	OF APPROVAL SUBMITTED BY FABRICATOR'S EXCEPTION 1704.2.5.1					IGATE	City of Dexter
	REQUIRED VER					-1	
	INSPECTION OF STEEL CONSTRUCTI		PERIODIC	NOT		REFERENCED	PROJECT NAME
	1. MATERIAL VERIFICATION OF COLD-FORMED STEEL DECK:		0010	APPLICA	BLE	STANDARD	City Hall Renovations
	a. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	X	-		LICABLE ASTM RIAL STANDARDS	
	b. MANUFACTURER'S CERTIFIED TEST REPORTS.2. INSPECTION OF WELDING:	-	Х	-		-	4
	a. COLD-FORMED STEEL DECK:	, I		i			
	1) FLOOR AND ROOF DECK WELDS. b. REINFORCING STEEL:		Х			AWS D1.3	3515 Broad St.
	1) VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A 706.	-	х	-			Dexter, MI 48130
	2) REINFORCING STEEL RESISTING FLEXURAL AND AXIAL FORCES IN INTERMEDIATE AND SPECIAL MOMENT FRAMES, AND BOUNDARY ELEMENTS OF SPECIAL STRUCTURAL WALLS OF CONCRETE AND SHEAR REINFORCEMENT.	x	-	-		AWS D1.4 ACI 318: CTION 3.5.2	PROJECT NO. 21-113
	3) SHEAR REINFORCEMENT.	X	-	-			┨ │
	4) OTHER REINFORCING STEEL.		Х	-			ISSUES / REVISIONS
	INSPECTION TASKS		WELDI	NG			PERMITS 12/2
	INSPECTION TASKS PRIOR TO WELDING			QC	QA	NOT APPLICABLE]
	WELDING PROCEDURE SPECIFICATIONS (WPSs) AVAILABLE			Р	Р	-	
	MANUFACTURER CERTIFICATION FOR WELDING CONSUMABLES AVAILAE	BLE		Р	Р	-	1
	MATERIAL IDENTIFICATION (TYPE/GRADE)			0	0	-	1
	WELDER IDENTIFICATION SYSTEM ¹			0	0	-	
	<pre>FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY) JOINT PREPARATION DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL CLEANLINESS (CONDITION OF STEEL SURFACES) TACKING (TACK WELD QUALITY AND LOCATION)</pre>	.)		0	0	-	

TACKING (TACK WELD QUALITY AND LOCATION)

• BACKING TYPE AND FIT (IF APPLICABLE)

• DIMENSIONS (ALIGNMENT, GAPS AT ROOF)

• CLEANLINESS (CONDITION OF STEEL SURFACES)

• TACKING (TACK WELD QUALITY AND LOCATION)

DELAYED PENDING THESE INSPECTIONS.

THE FABRICATOR OR ERECTOR, AS APPLICABLE, SHALL MAINTAIN A SYSTEM BY WHICH A WELDER WHO HAS WELDED

O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE

A JOINT OR MEMBER CAN BE IDENTIFIED. STAMPS, IF USED, SHALL BE THE LOW-STRESS TYPE.

P - PERFORM THESE TASKS FOR FACH WELDED JOINT OR MEMBER.

CONFIGURATION AND FINISH OF ACCESS HOLES

IT-UP OF FILLET WELDS

CHECK WELDING EQUIPMENT

DRAWN BY RC

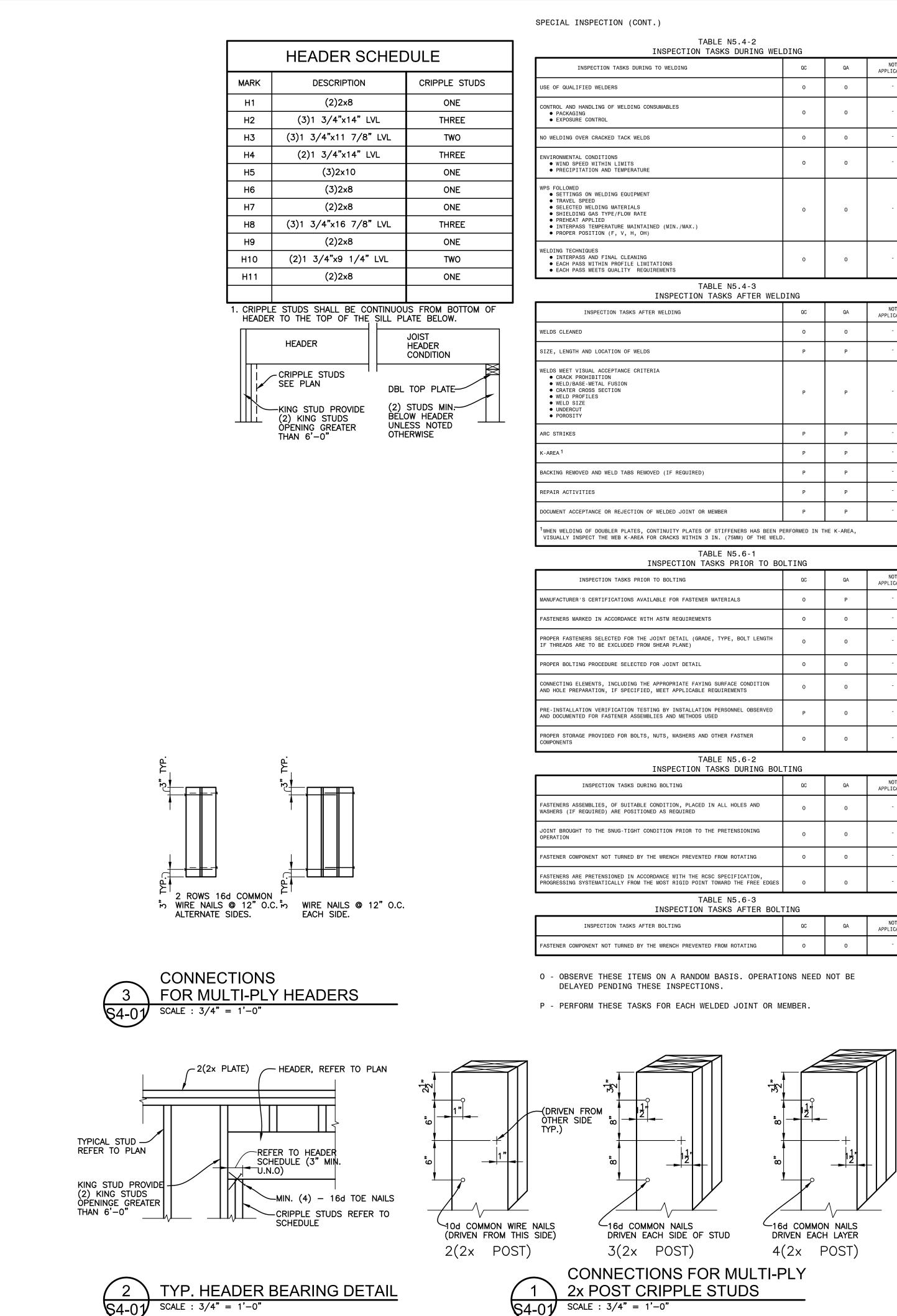
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TS APPROVED BY

SHEET NAME

GENERAL NO

SHEET NO. S4-00



Ion mone benind hee	Billa		
3	QC	QA	NOT APPLICABLE
	0	0	-
	0	0	-
	0	0	-
	0	0	-
AX.)	0	0	-
	0	0	-

	QC	QA	NOT APPLICABLE
	0	0	-
	Ρ	Ρ	-
	Ρ	Ρ	-
	Ρ	Ρ	-
	Ρ	Ρ	-
QUIRED)	Ρ	Ρ	-
	Ρ	Р	-
DINT OR MEMBER	Р	Р	-

	QC	QA	NOT APPLICABLE
ASTENER MATERIALS	0	Ρ	-
IREMENTS	0	0	-
L (GRADE, TYPE, BOLT LENGTH E)	0	0	-
ETAIL	0	0	-
E FAYING SURFACE CONDITION ICABLE REQUIREMENTS	0	0	-
ALLATION PERSONNEL OBSERVED THODS USED	Ρ	0	-
ERS AND OTHER FASTNER	0	0	-

	QC	QA	NOT APPLICABLE
PLACED IN ALL HOLES AND RED	0	0	-
OR TO THE PRETENSIONING	0	0	-
REVENTED FROM ROTATING	0	0	-
THE RCSC SPECIFICATION, D POINT TOWARD THE FREE EDGES	0	0	-
TABLE N5.6-3			

	QC	QA	NOT APPLICABLE
REVENTED FROM ROTATING	0	0	-

SPECIAL INSPECTION (CONT.)

REQUIRED VERIFICATION AND INSPECTION OF MASONRY CONSTRUCTION (LEVEL B QUALITY ASSURANCE)

Ν	NINIMUM TESTS					
VERIFICATION OF SLUMP FLOW AND TO THE PROJECT SITE IN ACCORDAN FOR SELF-		CIFICATION				
VERIFICATION OF f'm AND f'ACC IN PRIOR TO CONSTRUCTION, EXCEPT						
MIN	IMUM INSPECTI	ON				
		FREQUENCY	(a)		REFERENCE FOR	CRITERIA
INSPECTION TASK	CONTINUOUS	PERIODIC	NOT APPLICABLE	IBC SECTION	TMS 402/ACI 530/ASCE 5	TMS 602/ACI 530.1/ASCE 6
1. VERIFY COMPLIANCE WITH THE APPROVED SUBMITTALS		х				ART. 1.5
 AS MASONRY CONCSTRUCTION BEGINS, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE: 						
a. PROPORTIONS OF SITE-PREPARED MORTAR.		х				ART. 2.1, 2.6A
b. CONSTRUCTION OF MORTAR JOINTS.		х				ART. 3.3B
c. GRADE AND SIZE OF PRESTRESSING TENDONS AND ANCHORAGES.		х				ART. 2.4B, 2.4H
d. LOCATION OF REINFORCEMENT, CONNECTORS, PRESTRESSING TENDONS AND ANCHORAGES.		х				ART. 3.4, 3.6A
e. PRESTRESSING TECHNIQUE.		Х				ART. 3.6B
f. PROPERTIES OF THIN-BED MORTAR FOR AAC MASONRY	x(p)	X(c)				ART. 2.1C
 PRIOR TO GROUTING, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE: 						
a. GROUT SPACE		х				ART. 3.2D, 3.2F
b. GRADE, TYPE AND SIZE OF REINFORCEMENT AND ANCHOR BOLTS, AND PRESTRESSING TENDONS AND ANCHORAGES		х		SEC. 1.16		ART. 2.4, 3.4
c. PLACEMENT OF REINFORCEMENT, CONNECTORS, AND PRESTRESSING TENDONS AND ANCHORAGES		х		SEC. 1.16		ART. 3.2E, 3.4, 3.6A
d. PROPORTIONS OF SITE-PREPARED GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS.						
e. CONSTRUCTION OF MORTAR JOINTS.		х				ART. 3.3B
4. VERIFY DURING CONSTRUCTION:						
a. SIZE AND LOCATION OF STRUCTURAL ELEMENTS		х				ART. 3.3F
b. TYPE, SIZE, AND LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES, OR OTHER CONSTRUCTION		х			SEC. 1.16.4.3, 1.17.1	
c. WELDING OF REINFORCEMENT	х				SEC. 2.1.7.7.2, 3.3.3.4(c), 8.3.3.4(b),	
d. PREPARATION, CONSTRUCTION, AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F (4.4°C) OR HOT WEATHER (TEMPERATURE ABOVE 90°F (32.2°C)		х				ART. 1.8C, 1.8D
e. APPLICATION AND MEASUREMENT OF PRESTRESSING FORCE	Х					ART. 3.6B
f. PLACEMENT OF GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS IS IN COMPLIANCE	х					ART. 3.5, 3.6C
g. PLACEMENT OF AAC MASONRY UNITS AND CONSTRUCTION OF THIN-BED MORTAR JOINTS	X(p)	X(c)				ART. 3.3 B.8
5. OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND/OR PRISMS		x				ART. 1.4 B.2.a.3 1.4 B.2.b.3, 1.4 B.2.c.3, 1.4 B.3, 1.4 B.

(a). FREQUENCY REFERS TO THE FREQUENCY OF INSPECTION, WHICH MAY BE CONTINUOUS DURING THE TASK LISTED OR PERIODICALLY DURING THE LISTED TASK, AS DEFINED IN THE TABLE.

(b). REQUIRED FOR THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF ACC MASONRY.

(c). REQUIRED AFTER THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF ACC MASONRY.

TABLE 1705.3 REQUIRED SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION

REQUIRED SPECIAL INSPECTION	S AND TE	STS OF	CONCRETE	CONSTRUCTION	
ТҮРЕ	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION	NOT APPLICABLE	REFERENCED STANDARD ^a	IBC REFERENCE
1. INSPECT REINFORCEMENT, INCLUDING PRESTRESSING TENDONS, AND VERIFY PLACEMENT.	-	х	-	ACI 318 CH. 20, 25.2, 25.3, 26.6.1-26.6.3	1908.4
 REINFORCING BAR WELDING: a. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A706; 	-	х	-		
b. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 5/16" AND	-	х	-	AWS D1.4 ACI 318: 26.6.4	
c. INSPECT ALL OTHER WELDS.	x	-	-		
3. INSPECT ANCHORS CAST IN CONCRETE	-	х	-	ACI 318: 17.8.2	-
 INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.^b a. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENTION LOADS. 	x	-	-	ACI 318: 17.8.2.4	-
b. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.a.	-	х	-	ACI 318: 17.8.2	
5. VERIFY USE OF REQUIRED DESIGN MIX.	-	х	-	ACI 318: CH.19. 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3
6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE	x	-	-	ASTM C172 ASTM C31 ACI 318: 26.4,26.12	1908.10
7. INSPECT CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	х	-	-	ACI 318: 26.5	1908.6, 1908.7, 2908.8
 VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES. 	-	x	-	ACI 318: 26.5.3-26.5.5	1908.9
9. INSPECT PRESTRESSED CONCRETE FOR: a. APPLICATION OF PRESTRESSING FORCES; AND	x	-	-	ACI 318: 26.10	-
b. GROUTING OF BONDED PRESTRESSING TENDONS.	X	-	-		
10. INSPECT ERECTION OF PRECAST CONCRETE MEMBERS.	-	х	-	ACI 318: CH. 26.8	-
11. VERIFY IN-SITU CONCRETE STRENGTH, PRIOR TO STRESS- ING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	-	x	-	ACI 318: 26.11.2	-
12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	х	-	ACI 318: 26.11.1.2(b)	-

FOR SI: 1 INCH = 25.4 MM

. WHERE APPLICABLE, SEE ALSO SECTION 1705.12, SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE.

SPECIFIC REQUIREMENTS FOR SPECIAL INSPECTION SHALL BE INCLUDED IN THE RESEARCH REPORT FOR THE ANCHOR ISSUED BY AN APPROVED SOURCE IN ACCORDANCE WITH 17.8.2 IN ACI 318, OR OTHER QUALIFICATION PROCEDURES. WHERE SPECIFIC REQUIREMENTS ARE NOT PROVIDED SPECIAL INSPECTION REQUIREMENTS SHALL BE SPECIFIED BY THE REGISTERED DESIGN PROFESSIONAL AND SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF THE WORK.

TABLE 1705.6 REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION	NOT APPLICABLE
 VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY. 	-	х	
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	х	
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	-	х	
 VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL. 	Х	-	
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	х	

SPECIAL INSPECTION (CONT.)

			DESIGN CRITERIA			
	CODE: MBC 2015 THE STRUCTURE IS DESIGNED FOR THE FOLLOWING LIVE LOADS, IN ADDITION TO THE LATERAL LOADS, SUPER-IMPOSED DEAD LOADS, & SELF WEIGHT OF THE STRUCTURE. WHERE APPLICABLE LIVE LOADS ARE REDUCED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE.					
	A. AMERICAN CONCRETE INSTITUTE BUILDING	CODE (ACI-318).				
	B. MANUAL OF STEEL CONSTRUCTION BY AMERICAN INSTITUTE OF STEEL CONSTRUCTION (LATEST EDITION).					
C. LATEST MASONRY STANDARDS JOINT COMMITTEE (MSJC) BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (TMS 402/ACI 530/ASCE 5) AND SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 602/ACI 530.1/ASCE 6)						
D. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND SPECIFICATIONS.						
E. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY AMERICAN FOREST AND PAPER ASSOCIATION.						
			CODE REFERENCE			
BUILDING	G OCCUPANCY CATEGORY	II	MBC-Table 1604.5 ASCE Table 1.5-1			

FLOOR LIVE LOADS		
		CODE REFERENCE
STAIRS	100 PSF	ASCE Table 4-1
LOBBIES	100 PSF	ASCE Table 4-1

NOTE: HANDRAILS AND GUARDS TO BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT. PER SECTION 1607.8.1 OF THE MBC BUILDING CODE AND A CONCENTRATED LOAD OF 200 POUNDS CONCENTRATED LOAD PER SECTION 1607.8.1.1 OF THE MBC BUILDING CODE.

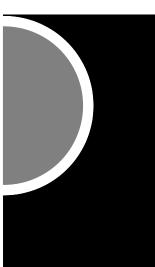
NOTE: GRAB BARS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 POUNDS PER SECTION 1607.8.2 PER MBC BUILDING CODE

SNOW LOADS/ROOF LIVE LOADS			
SNOW CRITERIA		CODE REFERENCE	
GROUND SNOW LOAD	Pg = 25 PSF	MBC FIG. 1608.2 ASCE Fig. 7-1	
FLAT ROOF SNOW LOAD	Pf = 20 PSF (MINIMUM)	ASCE Sec. 7.3	
EXPOSURE FACTOR	Ce = 1.0	ASCE Table 7-2	
IMPORTANCE FACTOR	I = 1.0	ASCE Table 1.5-2	
THERMAL FACTOR	Ct = 1.0	ASCE Table 7-3	
ROOF LIVE LOADS	Lr = 20 PSF	ASCE Table 4-1	
NOTE: SNOW LOADS ADJACENT VERTICAL PROJECTIONS, ON LOWER ROOFS, ADJACENT TO HIGH ROOFS, OR SLOPED ROOFS ARE INCREASED FOR THE EFFECT OR DRIFTING			

WIND LOADS				
WIND CRITERIA		CODE REFERENCE		
BASIC WIND SPEED (3 SEC. GUST)	V = 115 MPH	ASCE FIG. 26.5-1A, 26.5-1B, 26.5-1C		
RISK CATEGORY	II	ASCE Table 1.5-1		
EXPOSURE CATEGORY	В	ASCE Sec. 26.7.3		
INTERNAL PRESSURE COEFFICIENT	± 0.18 (ENCLOSED)	ASCE TABLE 26.11-1		
MWFRS ANALYSIS PROCEDURE	DIRECTIONAL PROCEDURE	ASCE CHAP. 27		
COMPONENTS AND CLADDING	± 33 PSF MINIMUM ULTIMATE AND PER CODE REQUIREMENTS BASED ON ABOVE INFORMATION	ASCE Sec. 30.2.2		

SEISMIC LOADS				
SEISMIC CRITERIA		CODE REFERENCE		
SEISMIC RISK CATEGORY	II	ASCE Table 1.5-1		
SEISMIC IMPORTANCE FACTOR	I = 1.0	ASCE Table 1.5-2		
-0.2 SEC MAPPED SPECTRAL RESPONSE ACCELERATION (5% OF CRITICAL DAMPING) Ss	Ss = .089	ASCE Sec. 11.4		
-1.0 SEC MAPPED SPECTRAL RESPONSE ACCELERATION (5% OF CRITICAL DAMPING) S1	S1 = .045	ASCE Sec. 11.4		
SOIL SITE CLASS	D	ASCE Sec. 11.4.2		
SEISMIC DESIGN CATEGORY	В	ASCE Sec. 11.6		
SEISMIC FORCE RESISTING SYSTEM	STEEL NOT SPECIFICALLY DETAILED FOR SEISMIC	ASCE Table 12.2-1		
RESPONSE MODIFICATION FACTOR	R = 3.0	ASCE Table 12.2-1		
DEFLECTION AMPLIFICATION FACTOR	Cd = 3.0	ASCE Table 12.2-1		
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE	ASCE Sec. 12.8		

PARTNERS



PARTNERS in Architecture, PLC 65 MARKET STREET MOUNT CLEMENS, MI 48043

Statement of Intellectual Property

P 586.469.3600

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CONSTRUCTION UNLESS ISSUED BELOW SPECIFICALLY FOR "BIDDING / CONSTRUCTION"

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STRUCTURAL ENGINEERS 33426 Five Mile Rd Livonia, Michigan 48154 ph. 734.855.4810 fx. 734.855.4809 email@sastructuralengineers.com

KFY PI AN



OWNER

City of Dexter

PROJECT NAME City Hall Renovations

3515 Broad St. Dexter, MI 48130

PROJECT NO.

21-113

ISSUES / REVISIONS PERMITS 12/22/21

DRAWN BY RC

_____ CHECKED BY

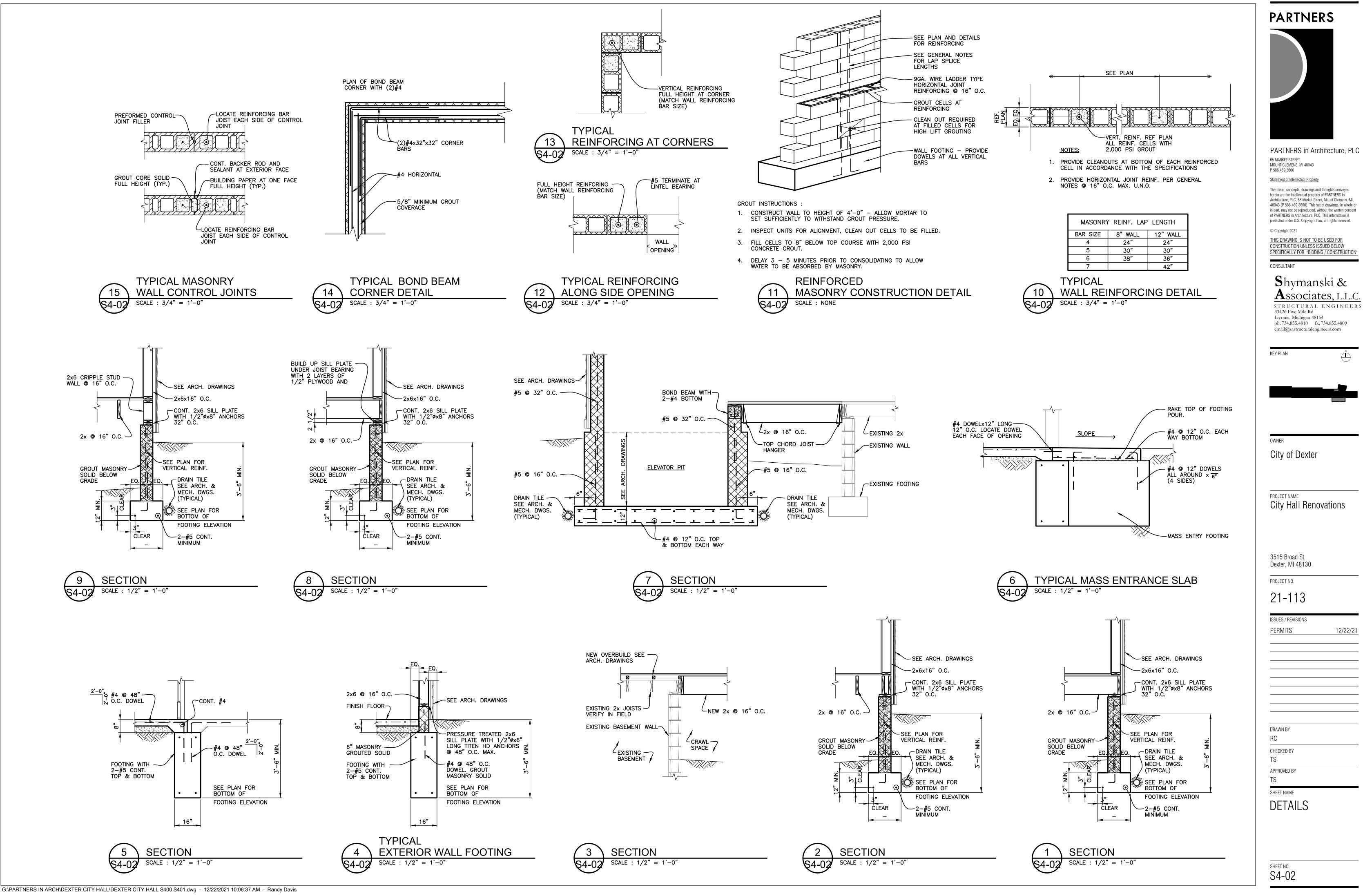
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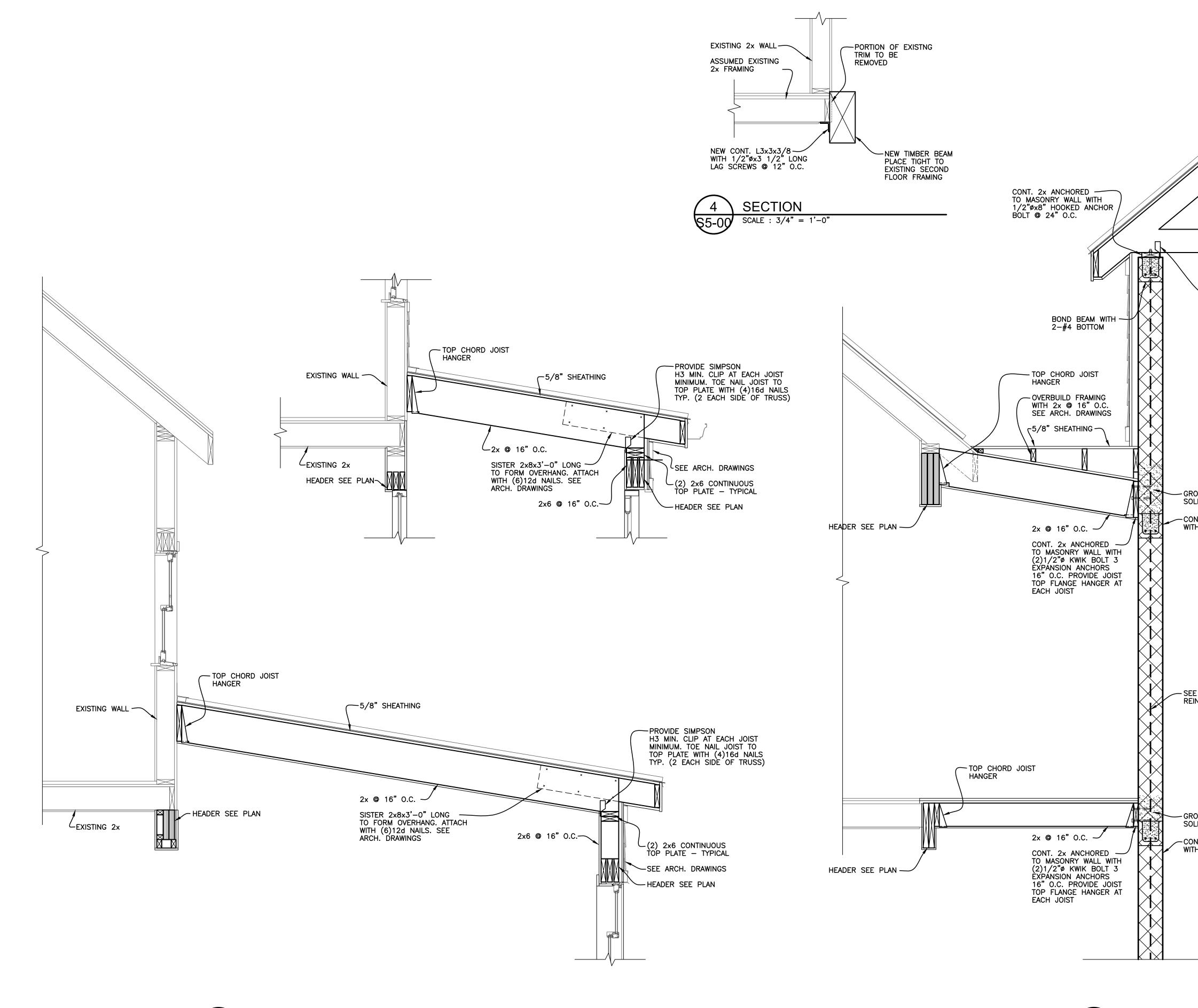
APPROVED BY TS

SHEET NAME

GENERAL NOTES

SHEET NO. S4-01









		PARTNERS
PRE-ENGINEERED WOOD ROOF TRUSSES BY WOOD ROOF TRUSSES BY WOOD TRUSS SUPPLIER HOLDDOWN CLIP BY TRUSS SUPPLIER. PROVIDE SIMPSON H3 MIN. CLIP AT EACH TRUSS MINIMUM. TOE NAIL TRUSS TO TOP PLATE WITH (4)16d NAILS TYP. (2 EACH SIDE OF TRUSS)	ROOF SHEATHING	<section-header><section-header><section-header><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></section-header></section-header></section-header>
SROUT MASONRY SOLID AT ANCHORS CONT. BOND BEAM WITH 2-#5		email@sastructuralengineers.com
SEE PLAN FOR REINFORCING	SEE ARCH. DRAWINGS SEE PLAN FOR REINFORCING	3515 Broad St. Dexter, MI 48130 PROJECT NO. 21-113 ISSUES / REVISIONS PERMITS 12/22/21
GROUT MASONRY SOLID AT ANCHORS CONT. BOND BEAM WITH 2-#5		DRAWN BY RC CHECKED BY TS APPROVED BY TS SHEET NAME DETAILS
1'-0"		SHEET NO. S5-00

GENERAL DEMOLITION NOTES:

- 1. REMOVE EXISTING MECHANICAL SERVICES AND EQUIPMENT AS INDICATED AND/OR DESCRIBED ALONG WITH SUPPORTS, HANGERS, CONTROLS, AND ALL RELATED ACCESSORIES.
- 2. ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED TO BE EXISTING UNLESS OTHERWISE NOTED.
- 3. FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING SERVICES PRIOR TO DEMOLITION.
- 4. COORDINATE SHUTDOWN OF ANY EXISTING SYSTEMS WITH THE BUILDING SERVICES PERSONNEL. 5. WHERE DUCT AND/OR PIPE INSULATION HAS BEEN DAMAGED, THE CONTRACTOR SHALL REPAIR
- INSULATION AS REQUIRED TO MATCH EXISTING.
- 6. ALL ITEMS REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS POSSESSION RIGHTS ARE WAIVED. REFER TO SPECIFICATIONS.
- 7. LIMITS OF DEMOLITION ARE INDICATED ON THE DRAWINGS. SHOULD EXISTING FIELD CONDITIONS REQUIRE MODIFICATIONS OF THESE LIMITS FOR THE PROPER INSTALLATION OF NEW WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH MODIFICATIONS.
- 8. ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED UNLESS OTHERWISE NOTED. CAP EXISTING PIPING, DUCTWORK, ETC. AT BRANCH MAINS. REMOVE ALL RELATED CONTROLS, WIRING, ETC., UNLESS OTHERWISE NOTED.

GENERAL HVAC NOTES:

- 1. COORDINATE NEW DUCTWORK WITH SITE CONDITIONS, EQUIPMENT MANUFACTURER AND ALL OTHER TRADES TO PREVENT INTERFERENCE. RESIZE & FIELD ROUTE AS REQUIRED. USE EQUIVALENT DUCT SIZING.
- 2. PROVIDE ACCESS AROUND ALL NEW EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS.
- 3. ALL CORING THROUGH FLOORS SHALL BE BY MECHANICAL CONTRACTOR.
- 4. ALL DUCTWORK SHALL BE ROUTED AS HIGH AS POSSIBLE, UNLESS OTHERWISE NOTED. COORDINATE ROUTING WITH OTHER TRADES TO PREVENT INTERFERENCE.
- BALANCE AIR HANDLING SYSTEMS & DISTRIBUTION INCLUDING SUPPLY, RETURN & OUTDOOR AIR 5. TO INDICATED FLOW RATES. REFER TO HVAC PLAN & VENTILATION SCHEDULE.
- 6. DUCT SIZES TO DIFFUSERS SHALL MATCH NECK SIZE OF EACH. REFER TO SCHEDULES.
- 7. ALL CONCEALED SUPPLY AIR DUCTWORK SHALL BE INSULATED PER SPECIFICATIONS.
- 8. UNLESS NOTED ALL DUCTWORK SHALL BE CONCEALED IN WALLS AND/OR CEILING SPACE.
- 9. SEAL ALL PENETRATIONS THROUGH WALLS PER SPECIFICATIONS.
- 10. COORDINATE EXACT LOCATIONS OF DIFFUSERS AND RETURN GRILLES WITH ARCHITECTURAL AND ELECTRICAL REFLECTED CEILING PLAN.
- 11. COORDINATE T-STAT LOCATIONS WITH ARCHITECT.
- 12. PROVIDE MANUAL BALANCING DAMPERS AT ALL ROUND BRANCH DUCT CONNECTIONS TO REGISTERS.

GENERAL UTILITY NOTES:

- 1. UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
- 2. PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD.
- 3. DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.
- 4. REWORK/ RELOCATE EXISTING GAS SERVICE TO CLEAR ADDITION. ASSIST OWNER WITH APPLYING FOR UTILITY WORK & COORDINATE WITH UTILITY COMPANY. REWORK & RECONNECT TO EXISTING GAS DISTRIBUTION IN BUILDING. FIELD VERIFY EXTENT OF WORK.

GENERAL MECHANICAL NOTES:

- 1. SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS & SPECIFICATIONS THE GREATER QUANTITY OR QUALITY WORK SHALL BE PERFORMED. THIS WORK MUST BE SUBMITTED IN WRITING TO ENGINEER PRIOR TO FINAL BID FOR APPROVAL. NO EXTRAS SHALL BE ALLOWED AFTER THAT TIME. THIS SHALL ALSO PERTAIN TO ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS OR BETWEEN TRADES. ALL ITEMS SHALL BE ADDRESSED IN WRITING PRIOR TO FINAL BIDS.
- CONTRACTORS ARE CAUTIONED NOT TO SUBMIT A BID WITHOUT CAREFULLY REVIEWING THE COMPLETE CONTRACT DOCUMENTS INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TRADES, DRAWINGS, AND THE COMPLETE PROJECT MANUAL. NO ADDITIONAL CHARGE TO CONTRACT PRICE WILL BE ALLOWED FOR ADDITIONAL CONTRACTOR EXPENSE RESULTING FROM A FAILURE TO COMPLY WITH THIS REQUIREMENT.
- 3. NO MODIFICATIONS TO THE SPECIFICATIONS, CONSTRUCTION DOCUMENTS, OR INTENT OF THE SCOPE OF WORK SHALL BE ALLOWED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ENGINEER. ALL MODIFICATIONS, CHANGE ORDERS, ALTERNATES, VALUE ENGINEERING, OR ANY REVISIONS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND ENGINEER FOR REVIEW.
- 4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED EQUIPMENT AND OWNER PROVIDED EQUIPMENT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES RESPONSIBLE FOR FINAL CONNECTION OF ALL EXISTING AND RELOCATED EQUIPMENT.

GENERAL PLUMBING NOTES:

- 1. AT EACH CONNECTION OF GAS SUPPLY TO EQUIPMENT, PROVIDE A PIPE UNION, GAS SERVICE COCK, TEE, AND 12" LONG DIRT LEG WITH CAP.
- 2. AS REQUIRED TO HANDLE ELEVATED GAS PRESSURE, PROVIDE GAS PRESSURE REGULATORS AT EQUIPMENT OR IN MAINS SERVING GROUPS OF EQUIPMENT. REGULATORS SHALL BE EQUAL TO MAXITROL 210 SERIES-BALANCED VALVE/POSITIVE LOCK-UP TYPE & CAPABLE OF INTERMITTENT 10 PSI SUPPLY OVERPRESSURE PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING DELIVERY PRESSURE & MAXIMUM INLET PRESSURE OF EQUIPMENT & ADJUST DESIGN ACCORDINGLY. COORDINATE WITH THE GAS UTILITY FOR REQUIRED ADJUSTMENTS AT THE SERVICE MANIFOLD NECESSARY TO PROPERLY FIRE ALL EQUIPMENT.

MECHANICAL ALTERNATE M1:

1. PROVIDE ALTERNATE PRICING TO REPLACE FIVE (5) FURNACE SYSTEMS AS NEW INCLUDING SPLIT DX COOLING CASED COIL & REMOTE OUTDOOR AIR COOLED CONDENSING UNIT. THESE SHALL REPLACE OLDER LENNOX UNITS THAT WERE INSTALLED CIRCA 2002. APPROX COOLING CAPACITY AS INDICATED ON THE DRAWINGS IS TO BE FIELD VERIFIED. MATCH FURNACE INPUT RATING. SOME EXISTING NAMEPLATES ARE NOT LEGIBLE. ADAPT TO & RE-USE EXISTING AIR DISTRIBUTION. PROVIDE NEW PROGRAMMABLE THERMOSTAT & WIRING. RE-USE GAS VENTING IF POSSIBLE OR REPLACE AS-NEW. RE-USE ELECTRICAL CIRCUITING. NEW OUTDOOR UNITS WILL BE INSTALLED IN NEW LOCATIONS INDICATED TO CLEAR NEW CONSTRUCTION. PROVIDE DX REFRIGERANT PIPING.

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V.I.F.	VE

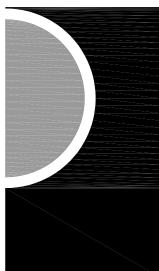
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SHEET NO.	SHEET TITLE	
M0-01	MECHANICAL LEGEND, SHEET INDEX AND DETAILS	
M0-02	MECHANICAL SCHEDULES	
M0-03	MECHANICAL SCHEDULES	
MD-00	BASEMENT DEMO PLAN	
MD-01	MAIN LEVEL DEMO PLAN	
MD-02	SECOND LEVEL DEMO PLAN	
M1-00	BASEMENT MECHANICAL PLAN	
M1-01	MAIN LEVEL MECHANICAL PLAN	
M1-02	SECOND LEVEL MECHANICAL PLAN	

MECHANIC	AL LE	EGEND
R BALANCING DAMPER	CFH	CUBIC FEET PER HOUR
S METER	CFM	CUBIC FEET PER MINUTE
W CONNECTION TO EXISTING	DN	DOWN
MOLITION LIMITS	(E)	EXISTING
AMETER	EDH	ELECTRIC DUCT HEATER
UG VALVE NON LUBRICATED TYPE EYPORT 400 SERIES) (GAS COCK)	EF	EXHAUST FAN
TURN REGISTER	ET	ELECTRICAL TRADES
PPLY REGISTER	GC	GENERAL CONTRACTOR
EXIBLE DUCT	HVAC	HEATING VENTILATING & AIR CONDITIONING
TORIZED DAMPER	МТ	MECHANICAL TRADES
DUCER	0.A.	OUTSIDE AIR
EXIBLE DUCT CONNECTION	R.A.	RETURN AIR
IN-IN FITTING WITH VOLUME DAMPER	RG	RETURN GRILLE
CONDITIONING	EG	EXHAUST GRILLE
R COOLED CONDENSING UNIT	S.A.	SUPPLY AIR
OVE FINISHED FLOOR	SR	SUPPLY REGISTER
THORITY HAVING JURISDICTION	T CC	TEMPERATURE CONTROLS CONTRACTOR
CHITECTURAL TRADES	G	NATURAL GAS
AT PUMP	DX	DX REFRIGERANT
RIFY IN FIELD	UOD	UNLESS OTHERWISE DETERMINED

MECHANICAL DRAWING INDEX

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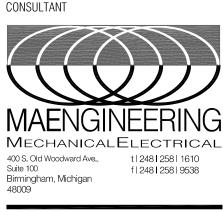
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KEY PLAN

OWNER

City of Dexter

PROJECT NAME

New City Hall Renovations

PROJECT NO.

21-113

ISSUES / REVISIONS Permits

12/22/2021

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DRAWN BY	
RG	
CHECKED BY LS	
APPROVED BY	
SS	

MECHANICAL LEGEND, SHEET INDEX AND DETAILS

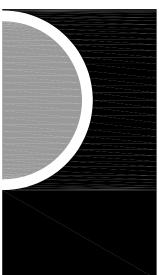
SHEET NO. M0-01

SHEET NAME



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ROOM NUMBER	ROOM NAME	OCCUPANCY OCCUPANCY CLASSIFICATION (SPACE W/ ASTERIC*=ASHRAE 62 2007 TABLE 6-1)	FLOOR AREA (SQ. FT.)	AVERAGE CEILING HEIGH (FT.)	SPACE VOLUME (CUBIC FT.)	MMC TABLE 403.3 MINIMUM OCCUPANT DENSITY/ 1000 SQ. FT. (O OTHER)	CALCULATED NUMBER O PEOPLE OR SEATING PLAN - MOST STRINGEN'	QTY WATER CLOSETS	aty URINALS	дту зномен	MIN. OUTDOOR AIR - CFM PER SQ. FT. FACTOR	MIN. OUTDOOR AIR - CFM PER PERSON FACTOR	OUTDOOR AIR - AIR CHANGES PER HOUR	CFM EXHAUST PER MATER CLOSET	CFM EXHAUST PER AIL	CFM EXHAUST PER SHOWER HEAD	CFM EXHAUST PER SQUARE FOOT	SUPPLY AIR EFFECTIVENESS FACTOR	CALCULATED MIN. OUTDOOR AIR CFM REQUIRED PER AREA & OCCUPANT LOAD	CALCULATED OUTDOOR AIR CFM REQUIRED PER AIR CHANGES PER HOUR	CALCULATED GENERAL EXHAUST AIR CFM REQUIRED	ROOM AIR SUPPLY CFM	RETURN AIR CFM	EXHAUST AIR SYSTEM CFM	SYSTEM DESIGN OUTDOOR AIR % AT MIN SPACE AIRFLOW	OUTDOOR AIR SUPPLIED TO THE SPACE (CFM)	SYSTEM PRESSURE - CFM	ROOM OUTDOOR AIR SUPPLY SYSTEM	ROOM EXHAUST FAN SYSTEM	NOTES
106	OFFICE	OFFICES - OFFICE SPACES	118	10.00		5	1.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	PLIT DX (0	0.0	180	NOTE 2		10	18	18	F-1	NA	SEE BELOW
107 108	OFFICE	OFFICES - OFFICE SPACES CORRIDOR	297 65	10.00		0	2.0 0.0	0	0	0	0.06	5.00 0.00	0.00	0.00	0.00	0.00	0.00	0.80	34.8 4.9	0	0.0	530 90	NOTE 2 NOTE 2		10 10	53 9	53 9	F-1 F-1	NA NA	SEE BELOW
	тот	ALS	480		4,800					-2 SYS	БТЕМ	(3 TON	HIGH	EFFICI	ENCY	GAS FL	JRNAC	E W/ SI	55 PLIT DX (0	800		0		80	80			SEE BELOW
102	LOBBY	OFFICES - MAIN ENTRY LOBBIES	112	10.00	1,120	30	4.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	33.4	0	0.0	230	NOTE 2		15	35	35	F-2	NA	SEE BELOW
103	HOTELING	OFFICES - MAIN ENTRY LOBBIES	123	10.00		SEATING	2.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	21.7	0	0.0	150	NOTE 2		15	23	23	F-2	NA	SEE BELOW
104 109 & 110	CONFERENCE ROOM ELEVATOR LOBBY,	CONFERENCE ROOMS CORRIDORS	231 210	10.00		50	12.0 0.0	0	0	0	0.06	5.00 0.00	0.00	0.00	0.00	0.00	0.00	0.80	92.3	0	0.0	700 120	NOTE 2		15	105	105	F-2	NA	SEE BELOW
	CORRIDOR & STAIR		676		6,760		0.0	0			0.00	0.00		0.00	0.00	0.00	0.00	0.00	163	0	0	1,200		0		180	180			SEE BELOW
111	RECEPTION	OFFICES - OFFICE SPACES	187	10.00	1,870	SEATING	2.0	0	0	0	0.06	5.00	0.00	0.00	P-1A-I \$	0.00	N 0.00	0.80	26.5	0	0.0	30	NOTE 2		100	30	30	HP-1A-I	NA	SEE BELOW
	тот		187		1,870		2.0				0.00	0.00		0.00			0.00		27	0	0	30		0		30	30	INTAKE		SEE BELOW
102	LOBBY	OFFICES - MAIN ENTRY LOBBIES	112	10.00	1,120	30	4.0	0	F ·		STEM 0.06	(3 TON 5.00	HIGH	EFFICI	ENCY (GAS FL 0.00		E W/ S	PLIT DX ()	230	NOTE 2		15	35	35	F-3	NA	SEE BELOW
110	CORRIDOR	CORRIDOR	118	10.00		0	0.0		0	0	0.06	0.00	0.00	0.00	0.00	0.00	0.00	0.80	8.9	0	0.0	120	NOTE 2		15	18	18	F-3	NA	SEE BELOW
112	CORRIDOR	CORRDOR	125	10.00	1,250	0	0.0	0	0	0	0.06	0.00	0.00	0.00	0.00	0.00	0.00	0.80	9.4	0	0.0	130	NOTE 2		15	20	20	F-3	NA	SEE BELOW
113	WOMEN	TOILET/LOCKER ROOMS - PUBLIC	49	10.00	490	0	0.0		0	0	0.00	0.00	0.00	75.00	0.00	0.00	0.00	0.80	0.0	0	75.0	60	NOTE 2	75	15	9	-66	F-3	(EX) EF-1	SEE BELOW
114	MEN ARCHIVE STORAGE	TOILET/ LOCKER ROOMS - PUBLIC STORAGE ROOMS	49 86	10.00		0	0.0		0	0	0.00	0.00	0.00	75.00 0.00	50.00 0.00	0.00	0.00	0.80	0.0	0	75.0 0.0	60 180	NOTE 2	75	15	9 27	-66	F-3	(EX) EF-2	SEE BELOW
116	WORKROOM	OFFICES - OFFICE SPACES	137	10.00		5	1.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	16.5	0	0.0	270	NOTE 2		15	41	41	F-3	NA	SEE BELOW
117	IT CLOSET	UNOCCUPIED	11	10.00	105	0	0.0	0	0	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.80	0.0	0	0.0	0	NOTE 2	100	15	0	-100	F-3	(EX) EF-3	SEE BELOW
118	VESTIBULE	CORRIDOR	118	10.00		0	0.0	0	0	0	0.06	0.00	0.00	0.00	0.00	0.00	0.00	0.80	8.9	0	0.0	150	NOTE 2		15	23	23	F-3	NA	SEE BELOW
	тот	ALS	805		8,045				F·	-4 SYS	STEM	(4 TON	HIGH	EFFICI		GAS FL	JRNAC	E W/ SI	90 PLIT DX (∣ ⁰ COOLING	150	1,200		250		180	-70			SEE BELOW
120	WOMEN	TOILET/ LOCKER ROOMS - PUBLIC	103	10.00	,	0	0.0	2	0		0.00	0.00	0.00	75.00	0.00	0.00	0.00	0.80	0.0	0	150.0	60	NOTE 2	150	50	30	-120	F-4/ ERV-1	(EX) EF-4	SEE BELOW
122	MEN	TOILET/ LOCKER ROOMS - PUBLIC STORAGE ROOMS	83 108	10.00		0	0.0	1	1		0.00	0.00	0.00	75.00 0.00	75.00 0.00	0.00	0.00	0.80	0.0	0	150.0 0.0	60 60	NOTE 2 NOTE 2	150	50 50	30 30	-120 30	F-4/ ERV-1	(EX) EF-5 NA	SEE BELOW
123	SERVER ROOM	EQUIPMENT ROOM	63	10.00		0	0.0	0	0		0.06	0.00	0.00	0.00	0.00	0.00	0.00	0.80	4.7	0	0.0	60	NOTE 2		50	30	30	F-4/ ERV-1	NA	SEE BELOW
127	ELECTRICAL ROOM	EQUIPMENT ROOM	86	10.00	860	0	0.0	0	0	0	0.06	0.00	0.00	0.00	0.00	0.00	0.00	0.80	6.5	0	0.0	60	NOTE 2		50	30	30	F-4/ ERV-1	NA	SEE BELOW
119, 125, 124 & 126	COUNCIL ROOM, CORRIDOR, KITCHENETTE & VESTIBULE	LEGISLATIVE CHAMBERS	1,601	10.00	16,010	SEATING	68.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	545.1	0	0.0	1,100	NOTE 2		50	550	550	F- 4 / ERV-1	NA	SEE BELOW
214	CONFERENCE ROOM	CONFERENCE ROOMS	400	10.00	4,000	SEATING	10.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	92.5	0	0.0	200	NOTE 2		50	100	100	F-4/ ERV-1	NA	SEE BELOW
	тот	ALS	2,444		24,440				F·	-5 SYS	STEM	(5 TON	HIGH	EFFICI		GAS FU		E W/ SI	665 PLIT DX (│ 0 COOLING	300)	1,600		300		800	500			SEE BELOW
129	OPEN OFFICE	OFFICES - OFFICE SPACES	821	10.00	8,210	5	5.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	92.8	0	0.0	640	NOTE 2		15	96	96	F-5	NA	SEE BELOW
130	WOMEN	TOILET/ LOCKER ROOMS - PUBLIC	92	10.00		0	0.0	1	0		0.00	0.00	0.00	75.00	0.00	0.00	0.00	0.80	0.0	0	75.0	50	NOTE 2	75	15	8	-68	F-5	(EX) EF-6	SEE BELOW
131	MEN OPEN OFFICE	TOILET/ LOCKER ROOMS - PUBLIC OFFICES - OFFICE SPACES	64 544	10.00		0	0.0	1	0		0.00	0.00	0.00	0.00	50.00 0.00	0.00	0.00	0.80	0.0 59.6	0	75.0 0.0	50 420	NOTE 2	75	15	8 63	-68	F-5	(EX) EF-7	SEE BELOW
NA	SECOND LEVEL	OFFICES - OFFICE SPACES	1,109	10.00		5	6.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	120.7	0	0.0	840	NOTE 2		15	126	126	F-5	NA	SEE BELOW
	тот	ALS	2,630		26,300														273	0	150	2,000		150		300	150			SEE BELOW
201	OFFICE	OFFICES - OFFICE SPACES	138	10.00	1,380	5	1.0	0	0 F.		0.06	(2 TON 5.00	HIGH 0.00	EFFICI 0.00	ENCY (0.00	0.00	0.00	E W/ SI	PLIT DX (16.6) 0.0	300	NOTE 2		15	45	45	F-6	NA	SEE BELOW
202	OFFICE	OFFICES - OFFICE SPACES	92	10.00	920	5	1.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	13.2	0	0.0	120	NOTE 2		15	18	18	F-6	NA	SEE BELOW
203	OFFICE	OFFICES - OFFICE SPACES	92	10.00	920	5	1.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	13.2	0	0.0	120	NOTE 2		15	18	18	F-6	NA	SEE BELOW
204	OFFICE	OFFICES - OFFICE SPACES	92	10.00		5	1.0	0	0	0	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	13.2	0	0.0	120	NOTE 2		15	18	18	F-6	NA	SEE BELOW
205	CORRIDOR	CORRIDOR	234 648	10.00	2,340 6,480	0	0.0	0	0	0	0.06	0.00	0.00	0.00	0.00	0.00	0.00	0.80	17.6 74	0	0.0	140 800	NOTE 2	0	15	21 120	21 120	F-6	NA	SEE BELOW
		1			1	<u> </u>		I	F										PLIT DX (İ	<u> </u>		I	<u> </u>				<u>.</u>	
208 209	OFFICE	OFFICES - OFFICE SPACES	92 92	10.00		5	1.0	0	0	0	0.06	5.00 5.00	0.00	0.00	0.00	0.00	0.00	0.80	13.2	0	0.0	130	NOTE 2		15	20	20	F-7	NA NA	SEE BELOW
209	OFFICE	OFFICES - OFFICE SPACES	92 203	10.00		5	2.0	-	0	-	0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	27.7	0	0.0	130 300	NOTE 2		15	20 45	20 45	F-7	NA NA	SEE BELOW
2111	UNISEX	TOILET/LOCKER ROOMS - PUBLIC	53	10.00		0	0.0		0		0.00	0.00	0.00	75.00	0.00	0.00	0.00	0.80	0.0	0	75.0	0	NOTE 2	75	15	0	-75	F-7	(EX) EF-8	SEE BELOW
211	UNISEX	TOILET/ LOCKER ROOMS - PUBLIC	53	10.00	530	0	0.0	1	0	0	0.00	0.00	0.00	75.00	50.00	0.00	0.00	0.80	0.0	0	75.0	0	NOTE 2	75	15	0	-75	F-7	(EX) EF-9	SEE BELOW
213	BREAK ROOM	BREAK ROOMS	203	10.00		25	6.0		0		0.06	5.00	0.00	0.00	0.00	0.00	0.00	0.80	52.7	0	0.0	340	NOTE 2		15	51	51	F-7	NA	SEE BELOW
207 & 206	ELEVATOR LOBBY	CORRDOR	260 956	10.00	2,600 9,560	0	0.0	0	0	0	0.06	0.00	0.00	0.00	0.00	0.00	0.00	0.80	19.5 126	0	0.0 150	300 1,200	NOTE 2	150	15	45 180	45 30	F-7	NA	SEE BELOW
			_			<u>[</u>				I		<u> </u>	<u> </u>		NOT	ES	<u> </u>				1		<u> </u>		1				<u>I</u>	
2) RETURN	AIR IS APPROXIMATELY I	R CALCULATION BASED ON: Outdoor / EQUAL TO SUPPLY AIR LESS BUILDIN	IG EXHAU	JSTS. RT	FU RELIEF/								PERATION	1																
3) OCCUPA	NTS CALCULATED PER	CODE OR PER SEATING PLAN OR KN		CUPANC	;Y																									

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CONSULTANT



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12/22/2021

_____ DRAWN BY

RG _____ CHECKED BY

LS

APPROVED BY

SS SHEET NAME

MECHANICAL

SCHEDULES

sheet no. M0-02



										S	PLIT	DX H	EAT PU	MP SCH	EDUL	E																
					MANUF	ACTURER & I	MODEL NUMBE	ERS		DX	CAPACITIES	5				R UNIT SUF ELECTRIC	PPLEMENTA HEAT			ELECTRICAL		DOOR UN		INDOOR UNIT DIMENSION WEIGHT		OUTDOOF DIMENSION WEIGH	S AND		EFFICIE	NCY		
INDOOR UI TAG		OUTDOOR UNIT TAG	SYSTEM TYPE	INDOOR UNIT TYPE	MANUFACTURER	INDOOR UNIT	OUTDOOR UNIT	SYSTEM MODEL	NOMINAL TONS COOLING	SYSTEM RATED COOLING (MBH)	SYSTEM RATED HEATING (MBH)	REFRIG	OUTDOOR TEMP OPERATING RANGE COOLING (°F)	OUTDOOR TEMP OPERATING RANGE HEATING (°F)	ĸw	мвн	HEATING (MBH)	VOLTAGE		MOP UNIT (YES (NO)		E MCA	МОР	L X W X H (IN)	WT (LBS)	WXHXD (IN)	WT (LBS)	SEER (EER (COOL)	COP H (HEAT) (H	ISPF IEAT)	NOTES/ CCESSORIES
HP-1A-I, HP-			THREE INDOOR HEAT PUMPS W/ ONE OUTDOOR INVERTER DRIVEN	CEILING MOUNT DUCTLESS CASSETTE, 1-TON COOLING EACH	- FUJITSU	AUU12RLF	- 36RLXFZH		3-TON OUTDOOR UNIT WITH 3 X	35,200	36,400	R410A	14 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA YES	208-230/1/6	30 31 5	40 -	28 X 28 FACE GRILLE X 11 HEIGHT (MOUNTS THROUGH 2 X 2 T-BAR OPENING)	2 33	39 X 40 X 16	205	20.00	12.00	13.60 1	10.30	1
HP-1C-I		111-1-0	HEAT PUMP	HIGH WALL DUCTLESS, 1-TON COOLING					1-TON INDOOR UNITS	55,200	30,400		14 10 113	-13 10 73	NA	NA	NA	208-230/1/60	NA	NA YES	200-230/ 1/0	50 51.5	40			59 X 40 X 10		20.00	10.00	13.00	10.00	I
HP-2-I		HP-2-0	INVERTER DRIVEN HEAT PUMP	WALL MOUNT DUCTLESS	FUJITSU	ASU30RLE	AOU30RLXEH	I 30RLXEH	2.5	30,000	32,000	R410A	-5 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA YES	208-230/1/6	60 25.6	30	45 X 11 X 14	40	36 X 51 X 15	205 -	18.70	12.50	11.70 1	1.80	1
HP-3-I		HP-3-O	INVERTER DRIVEN HEAT PUMP	WALL MOUNT DUCTLESS	FUJITSU	ASU30RLE	AOU30RLXEH	I 30RLXEH	2.5	30,000	32,000	R410A	-5 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA YES	208-230/1/6	60 25.6	30	45 X 11 X 14		36 X 51 X 15				11.70 1	1.80	1
HP-4-I		HP-4-0	INVERTER DRIVEN HEAT PUMP	WALL MOUNT DUCTLESS	FUJITSU	ASU30RLE	AOU30RLXEH	I 30RLXEH	2.5	30,000	32,000	R410A	-5 TO 115	-15 TO 75	NA	NA	NA	208-230/1/60	NA	NA YES	208-230/1/6	60 25.6	30	45 X 11 X 14	40	36 X 51 X 15	205 1	18.70	12.50	11.70 1	1.80	1
												NOT	FES & ACCE	SSORIES																		

1 AUTO CHANGEOVER, WIRED & WIRELESS REMOTE CONTROLLERS, AIRFLOW ADJUSTMENT, BASE PAN HEATER, STANDARD WARRANTY: 5 YEARS PARTS, 7 YEARS COMPRESSOR, 24" HIGH BIGFOOT MFR CONDENSING UNIT ROOF SUPPORT SYSTEM.

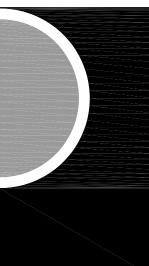
				E	NER	<u>GY</u>	KEC	OVEF	KY V	ENTI	LAT	OR 3	SCHE	:DUI	_E		
TAG	RENEW-AIRE MODEL NUMBER	CEN 4	EXTERNAL STATIC	FILTER	TOTAL EXC	CHANGE EFFE (%)	CTIVENESS		ELECTF	RICAL POWER D	ICAL DATA		NOTEC				
		CFM	PRESSURE (IN W.C.)	EFFICIENCY	WINTER	SUMMER	SENSIBLE			EXHAUST AIR MOTOR HP	MCA (AMPS)	MOPD (AMPS)	LENGTH (IN)	WIDTH (IN)	HEIGHT (IN)	WEIGHT (LBS)	NOTES
ERV-1	H3-1XJINH- S15EE-DGNT- L1	800	0.4	2" MERV 8	69	49	69	208/230/60/1	0.5	0.5	10.8	15.0	50	24	36	280	ALL BELOW

STATIC PLATE HX, HEAT AND HUMIDITY TRANSFER, NON-FUSED DISCONNECT, DIRECT DRIVE BLOWER MOTORS, MOTORIZED ISOLATION DAMP
INTERLOCK TO RUN WITH REPSECTIVE FIRNACE SYSTEM.

	GRILLE, REGISTER, AND DIFFUSER SCHEDULE									
TAG	SERVICE	BASIS OF DESIGN MFR	BASIS OF DESIGN MODEL NUMBER	CFM RANGE	NECK SIZE (IN)	FACE DIMENSIONS (IN)	MOUNTING	NOTES/ ACCESSORIES		
S-1	FLOOR SUPPLY AIR REGISTER	PRICE	LFG	0 - 160	12 X 6	NECK DIMENSION WITH 1 INCH BORDER ALL AROUND	FLOOR/ SURFACE	1		
			Ν	OTES & ACCES	SORIES					
1 1	EXTRUDED ALUMINUM HEAV DIMENSION, 0 DEG DEFLECTI									

	ELECTRIC FAN FORCED HEATER SCHEDULE												
TAG	BASIS OF DESIGN MFR	BASIS OF DESIGN MODEL NUMBER	ARRANGEMENT	ĸw	BTU/HR	CFM	TEMP RISE (°F)	VOLTAGE	HIGH SPEED AMPS	MOUNTING	ROUGH DIMENSIONS (IN)	WEIGHT (LBS)	NOTES/ ACCESSORIES
EUH-1	MARKEL	SERIES 3480 HEAVY DUTY COMMERCIAL RECESSED CEILING HEATER	FACE RETURN/ DISCHARGE	3.0	10,200	600	22	208/1/60	14.4	RECESSED CEILING	24" SQUARE X 10" HEIGHT	50	1
				NOT	ES & A	CCES	SORIE	S					
	DISCONNECT SWITCH, MANUAL RESET THERMAL LIMIT, WHITE POWDER COATED 20 GAUGE STEEL GRILL, 24V CONTROL TRNASFORMER, ENCLOSED STEEL FIN SHEATH ELEMENT, DISCONNECT SWITCH, UT 1001 REMOTE LOW VOLTAGE THERMOSTAT.												

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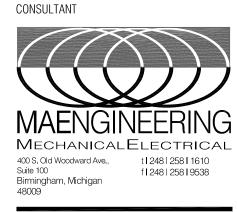
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KEY PLAN

City of Dexter

OWNER

PROJECT NAME New City Hall Renovations

PROJECT NO.

21-113

ISSUES / REVISIONS Permits

12/22/2021

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LS

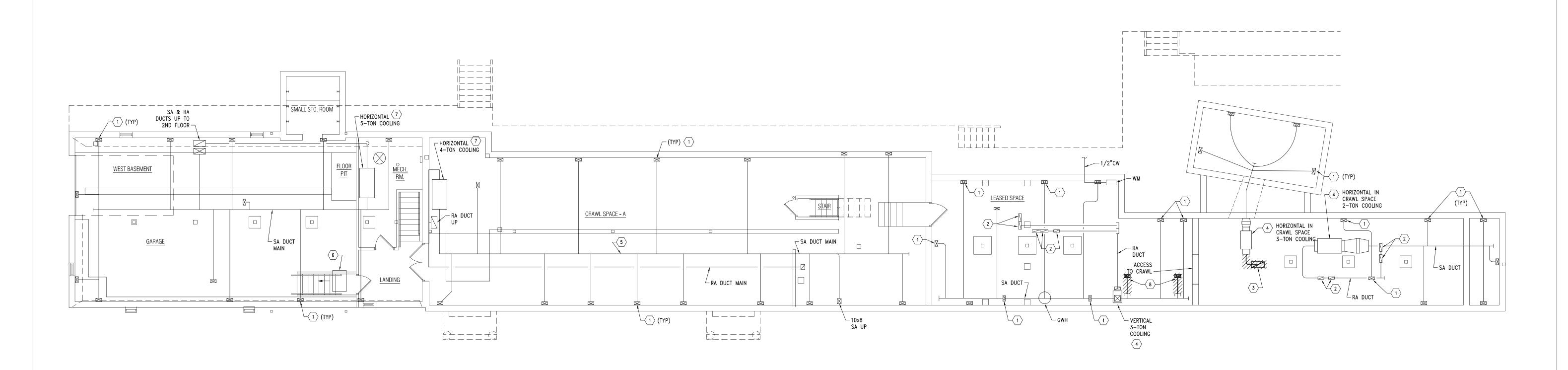
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SHEET NAME

MECHANICAL SCHEDULES

sheet no. M0–03

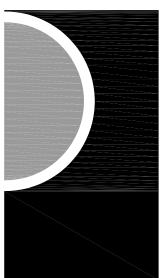




1. EXISTING HVAC SYSTEMS SHALL REMAIN UNLESS OTHERWISE NOTED FOR REWORK OR REPLACEMENT.



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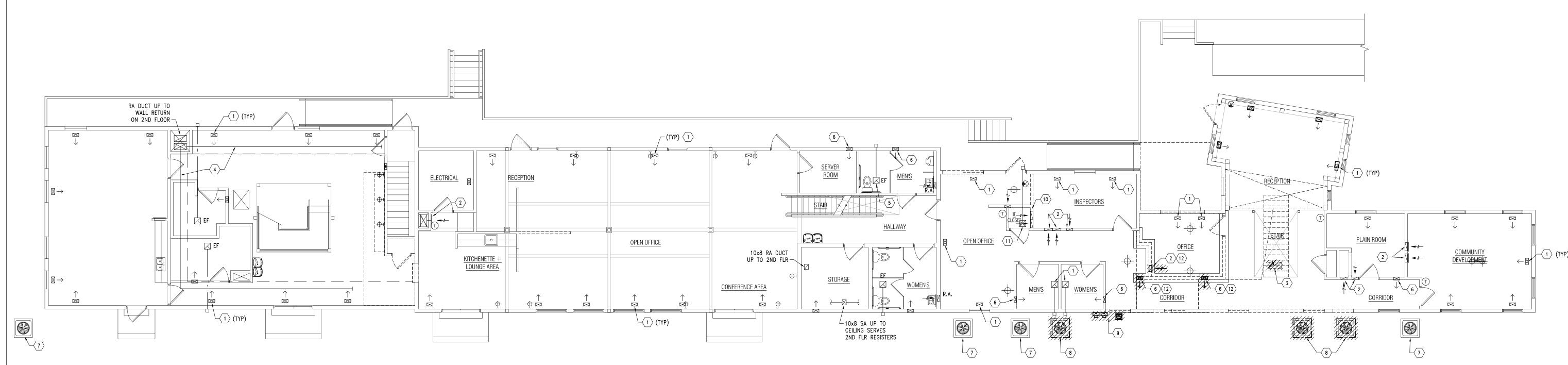
BASEMENT DEMO PLAN

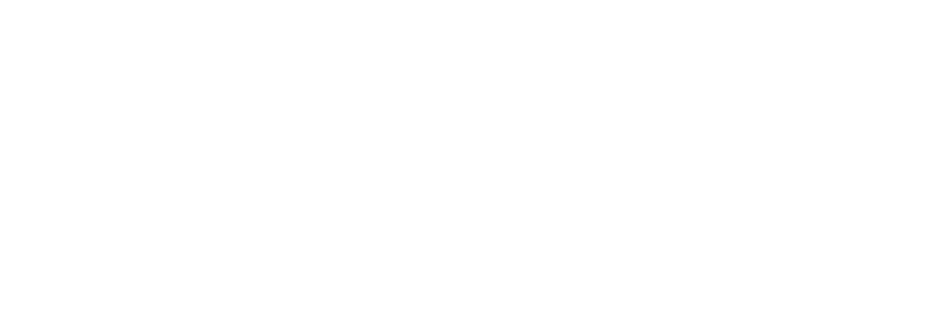
SHEET NO. MD-00

KEYED NOTES (THIS SHEET):

- $\langle 1 \rangle$ sa boot up to perimeter supply register on first floor.
- 2 RA DUCT UP IN WALL CAVITY ABOVE TO SIDEWALL RETURN REGISTER ON FIRST FLOOR.
- $\fbox{3}$ 16"ø FLEX DUCT & 24x10 UP TO FLOOR RA GRILLE ON FIRST FLOOR. REMOVE & REWORK FOR NEW LOCATION.
- $\langle 4 \rangle$ LENNOX FURNACE. APPROX COOLING CAPACITY AS INDICATED (V.I.F.). UNITS ARE CIRCA YEAR 2002. SEE MECHANICAL ALTERNATES ON MO-01 & NEW WORK PLANS FOR REPLACEMENT.
- $\langle 5 \rangle$ patch opening in Sa duct main. (V.I.F.).
- $\langle 6 \rangle$ GAS UNIT HEADER. REPAIR VENTING (V.I.F.).
- $\langle 7
 angle$ american standard furnace. Approx capacity as indicated (v.i.f.) units are circa year 2013.
- $\langle 8
 angle$ DEMO SA RUNOUT TO 1ST FLOOR SR. CAP AT MAIN.







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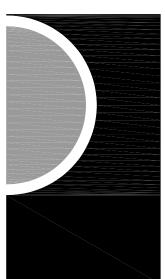


KEYED NOTES (THIS SHEET):

- \frown FLOOR SUPPLY AIR REGISTER.
- $\langle 2 \rangle$ wall return air grille.
- $\langle 3 \rangle$ 26x12 OD, 24x10 ID FLOOR RA GRILLE. REMOVE & REWORK FOR NEW CONSTRUCTION.
- $\langle 4 \rangle$ sa duct in soffit serving floor sa registers on 2nd floor.
- $\langle 5 \rangle$ CEILING EXHAUST FAN WITH EXHAUST TERMINATION THRU WALL.
- $\langle 6 \rangle$ WALL SA REGISTER
- $\langle 7 \rangle$ ACCU ON GRADE. VERIFY FURNACE ASSOCIATION & RETAG.
- $\langle 8
 angle$ relocate accu to be clear of new construction. Rework DX PIPING & ELECTRICAL (V.I.F.)
- 9 natural gas service manifold meter & regulators. Coordinate with utility to relocate & REWORK FOR NEW CONSTRUCTION.
- $\langle 10
 angle$ ra grille was removed (high on wall). Ra opening remains.
- $\langle 11
 angle$ CEILING EXHAUST FAN WITH EXPOSED SPIRAL EA DUCT TO WALL CAP TERMINATION.
- $\langle 12
 angle$ demo supply or return air grille & duct runout dn to basement & cap at main.



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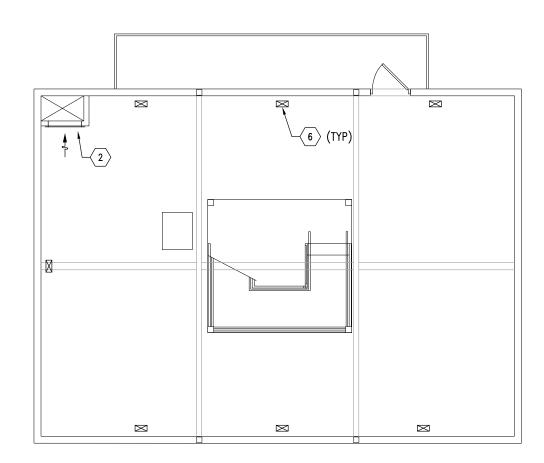
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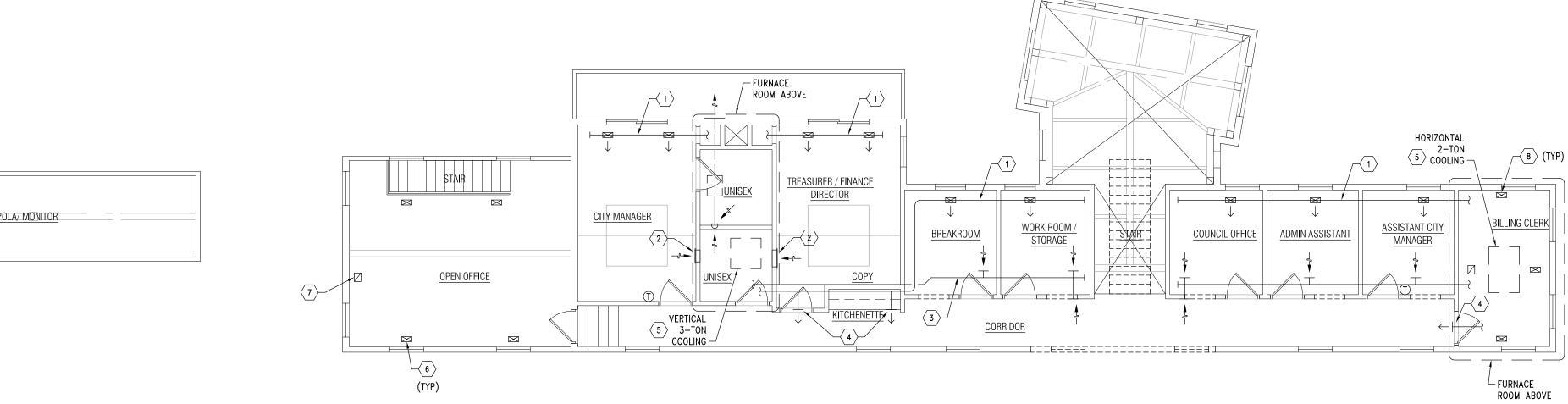
MAIN LEVEL DEMO PLAN

sheet no. MD-01



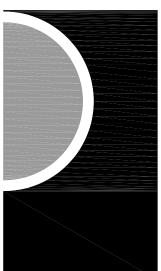
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1. EXISTING HVAC SYSTEMS SHALL REMAIN UNLESS OTHERWISE NOTED FOR REWORK OR REPLACEMENT.





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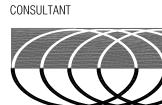
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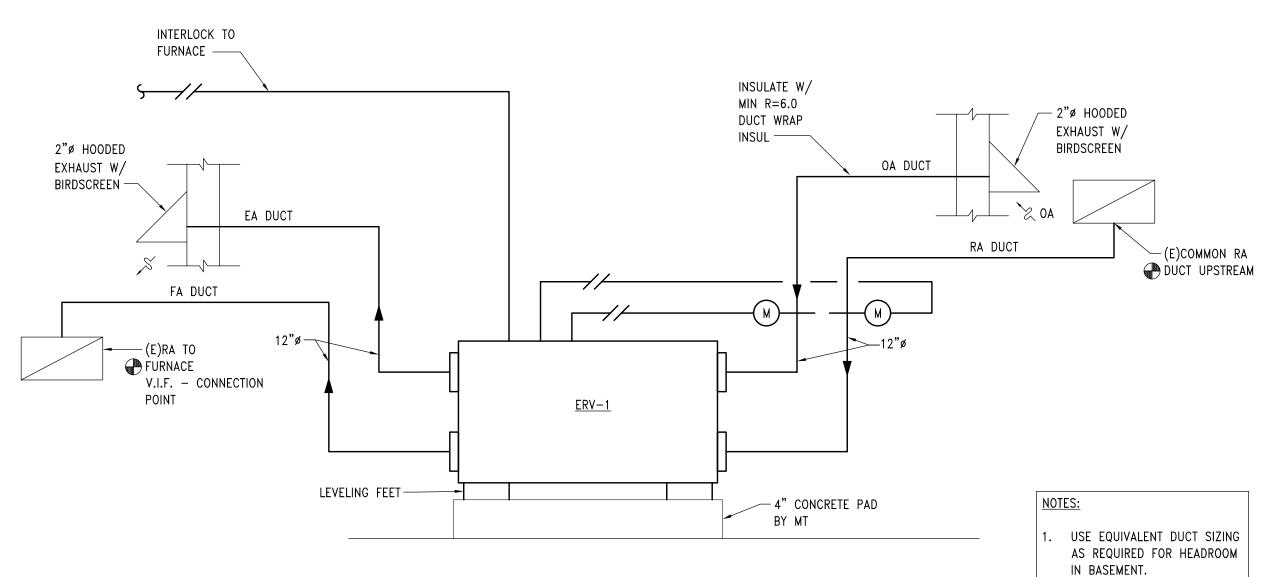
SECOND LEVEL DEMO PLAN

SHEET NO. MD-02

<u>KEYED NOTES (THIS SHEET):</u>

- \frown EXPOSED SPIRAL SA DUCT AT CEILING WITH SA REGISTERS.
- $\langle 2 \rangle$ wall return air register.
- $\langle 3 \rangle$ exposed spiral raduct at ceiling with ra registers.
- \checkmark Wall supply air register.
- $\langle 5
 angle$ lennox furnace with split ac. approx cooling capacity as indicated (v.i.f.). Units are CIRCA YEAR 2002. SEE MECHANICAL ALTERNATES ON MO-01 FOR REPLACEMENT.
- $\langle \mathbf{6} \rangle$ FLOOR SA REGISTER.
- $\langle 7
 angle$ floor ra register.
- $\langle 8 \rangle$ ceiling sa register.
- $\langle 9 \rangle$ ceiling ra register.





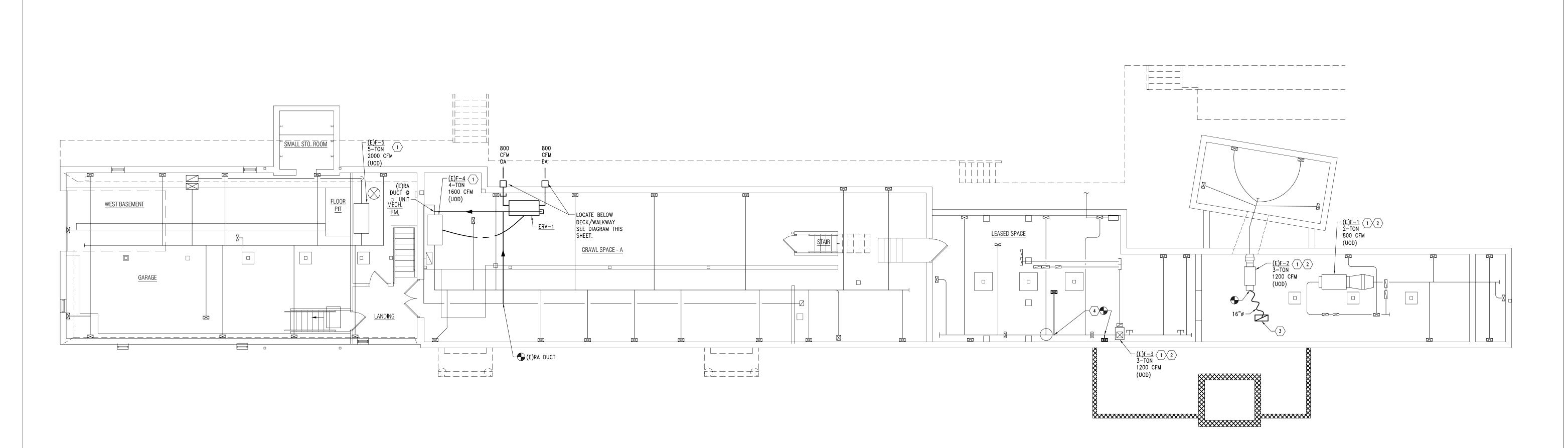
ENERGY RECOVERY VENTILATOR DIAGRAM

SEQUENCE:

NTS

1. ERV RUNS WHEN FURNACE RUNS.

2. OA & RA DAMPERS OPEN WHEN UNIT RUNS & CLOSE WHEN UNIT IS OFF.



ALL CONTROLS, WIRING, ETC.

BY MT IN COMPLIANCE W/

ERV I.O.M.

GENERAL NOTES (THIS SHEET):

- 1. REBALANCE ALL EXISTING FURNACE SYSTEMS & INDIVIDUAL ASSOCIATED SUPPLY AIR REGISTERS TO CFM INDICATED ON PLAN.
- 2. REBALANCE OUTDOOR AIR INTAKES TO REQUIRED AMOUNT PER VENTILATION SCHEDULE.

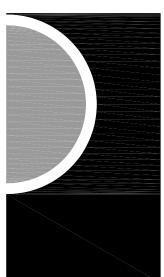


KEYED NOTES:

- \langle 1 \rangle provide maintenance inspection & service to existing gas furnace & split ac systems. SUBMIT ASSESSMENT REPORT TO OWNER IDENTIFYING ANY ISSUES FOR CONSIDERATION OF REPAIR VERSUS REPLACEMENT.
- $\langle z
 angle$ existing lennox sealed combustion furnace & split a/c system installed circa year 2002. FIELD VERIFY CAPACITY OF FURNACE & SPLIT AC & PROVIDE ALTERNATE PRICING TO REPLACE THE SYSTEM. SEE MO.01.
- $\langle 3 \rangle$ NEW LOCATION FOR (E) FLOOR RETURN AIR GRILLE. PROVIDE NEW BOOT & INSULATED FLEX DUCT. COORDINATE WITH (E) FLOOR JOISTS & ELEMENTS. VERIFY SIZING OF EXISTING RA DUCT TO UNIT CONNECTION.
- \langle 4 \rangle provide new 6"ø runout & boot for new floor SA register on first floor.



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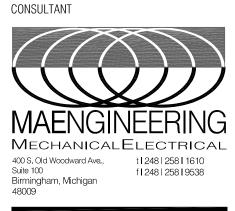
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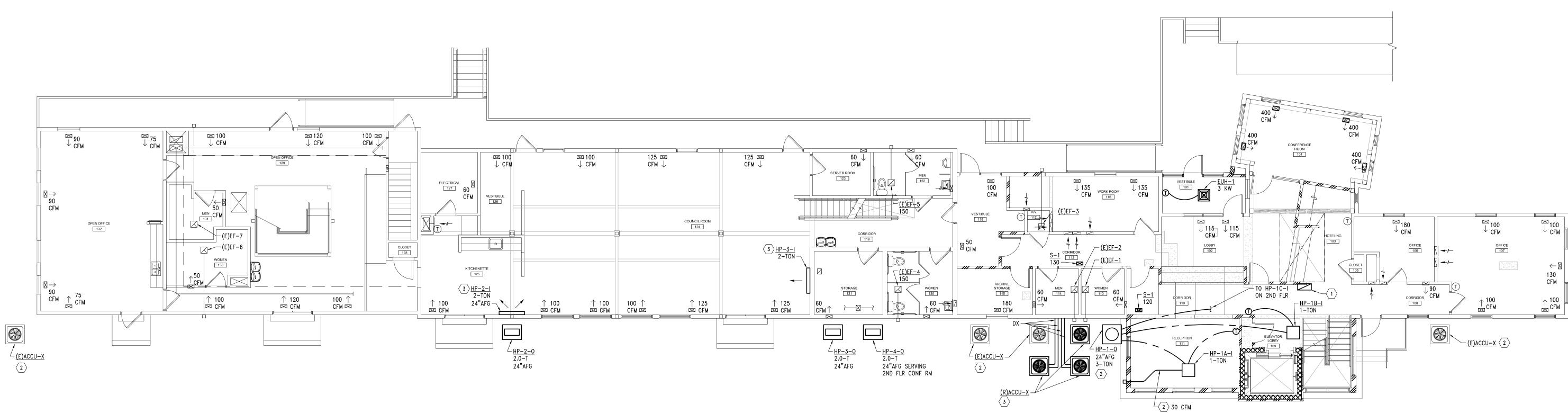
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SS SHEET NAME

BASEMENT MECHANICAL PLAN

sheet no. M1-00





- 1. REBALANCE ALL EXISTING FURNACE SYSTEMS & INDIVIDUAL ASSOCIATED REGISTERS TO CFM INDICATED ON PLAN.
- 2. ROUTE AC CONDENSATE TO DRAINS IN BASEMENT. V.I.F.

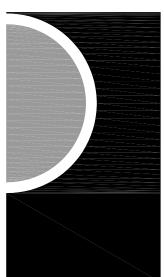


KEYED NOTES:

- $\langle 1 \rangle$ NEW LOCATION FOR (E) FLOOR RETURN AIR GRILLE. CLEAN & RECONDITION. REPLACE IN KIND IF DAMAGED. SEE DEMO PLAN FOR PREVIOUS LOCATION. COORDINATE WITH FLOOR JOISTS & (E) ELEMENTS.
- $\langle z
 angle$ provide 4"ø oa ducting with hooded wall cap w/ birdscreen. Insulate duct w/ r=6 DUCT WRAP. PROVIDE MANUAL DAMPER & BALANCE TO 30 CFM.
- $\langle {
 m 3}
 angle$ mount at 80" a.f.f. u.o.d. during installation & architect. comply w/ mfr i.o.m.



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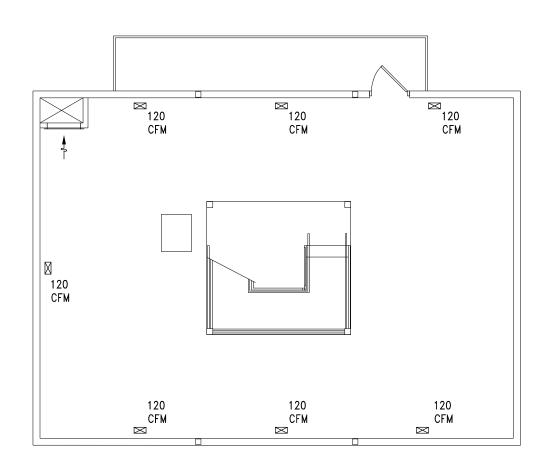
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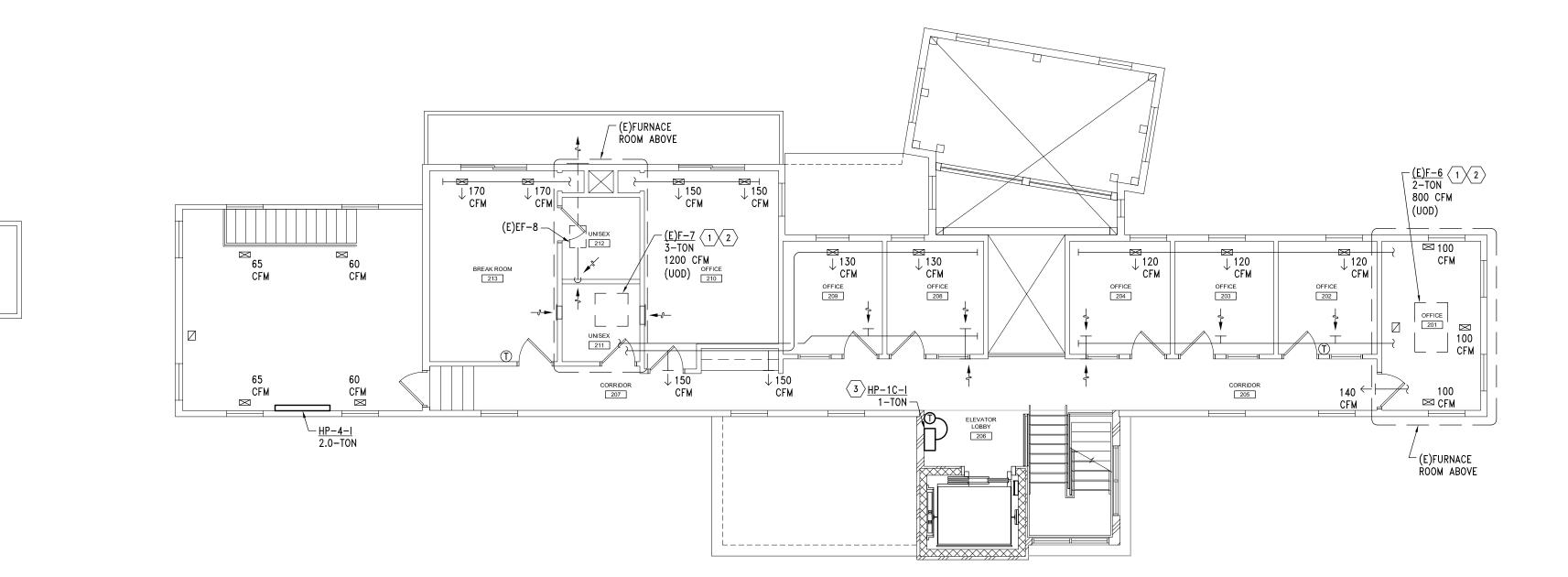
SS SHEET NAME

MAIN LEVEL MECHANICAL PLAN

sheet no. M1-01



- 1. REBALANCE ALL EXISTING FURNACE SYSTEMS & INDIVIDUAL ASSOCIATED SUPPLY AIR REGISTERS TO CFM INDICATED ON PLAN.
- 2. ROUTE AC CONDENSATE TO DRAINS IN BASEMENT. V.I.F.





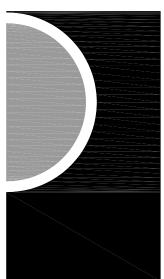


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 angle$ existing lennox sealed combustion furnace & split a/c system installed circa year 2002. FIELD VERIFY CAPACITY OF FURNACE & SPLIT AC & PROVIDE ALTERNATE PRICING TO REPLACE THE SYSTEM. SEE MO.01.
- $\langle 3
 angle$ mount @ 80" a.f.f. u.o.d. during installation & architect. comply w/ mfr. i.o.m.



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SHEET NAME
SECOND LE

EVEL MECHANICAL PLAN

sheet no. M1-02

ELECTRICAL LEGEND *

FIXTURE TYPE	
STRIP LIGHTING FIXTURE	
2'X2' OR 2'X4' LIGHTING FIXTURE	
	ED UNSWITCHED
HALF SHADED FIXTURES ARE FIXTURES PRO	OVIDED WITH BU
EMERGENCY BATTERY PACK FOR EGRESS L	GHTING
TRACK LIGHTING FIXTURE	
	ES ILLUMINATEI
THREE WAY LIGHT SWITCH	
FOUR WAY LIGHT SWITCH	
KEY OPERATED SWITCH	
	-IT
DIMMER SWITCH WITH WALL OCCUPANCY SENS	SOR (SINGLE POL
THREE WAY LIGHT SWITCH WITH DIMMER	
TIMER SWITCH	
BUTTONS AS INDICATED TO PROVIDE PRESE	T SCENES, RIS
CONTRACTOR FOR DEVICE MODEL NUMBERS	RDINATE WITH I , QUANTITIES, I
ADDITIONAL REQUIREMENTS.	
RELAY PACK WITH 0-10V DIMMING OUTPUT	
CONTROL. PROVIDE QUANTITY OF 20A. 120	V/277V RATED
RATED 800W AT 120V AND 1200W AT 277	'V. 1/4 HP. IV
ACCEPTABLE.	
DUPLEX RECEPTACLE	
QUADRUPLEX RECEPTACLE	
	. ,
MOUNTED 6" ABOVE WINDOW, COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION	OWNER/
	TALLY MOUNTED
TO STEEL STRUCTURE	
DUPLEX RECEPTACLE FLOOR MOUNTED	
)N)
DOOR ACTIVATOR PUSH PLATE	···,
ELECTRIC CLOCK OUTLET	
	UNLESS OTHER NOTED PROVID
COMBINATION VOICE/DATA (W: WALL	DOUBLE GANG WITH SINGLE
DATA OUTLET	RING AND 3/4 TO CEILING SF
	SINGLE MUD RI
AUDIO/ TIDLO OUTLET, DOUDLE GANG DAGN	CONDUIT WITH
TO ABOVE ACCESSIBLE CEILING, TERMINATE	G
INSULATING BUSHING, PROVIDE PULL STRIN DUPLEX RECEPTACLE & DATA/PHONE FLUS	G H FLOOR MOUN
INSULATING BUSHING, PROVIDE PULL STRIN	G H FLOOR MOUN
INSULATING BUSHING, PROVIDE PULL STRIN DUPLEX RECEPTACLE & DATA/PHONE FLUS TWO GANG (2G) FLUSH RECTANGULAR STA EQUIVALENT TO HUBBELL #B2432 WITH #S CEILING MOUNTED TWO GANG (2G) FLUSH	G H FLOOR MOUN MPED STEEL 3826 FLIP TOP
INSULATING BUSHING, PROVIDE PULL STRIN DUPLEX RECEPTACLE & DATA/PHONE FLUS TWO GANG (2G) FLUSH RECTANGULAR STA EQUIVALENT TO HUBBELL #B2432 WITH #S CEILING MOUNTED TWO GANG (2G) FLUSH & DATA/PHONE COMPARTMENTS	G H FLOOR MOUN MPED STEEL 3826 FLIP TOP BOX, DUPLEX F
INSULATING BUSHING, PROVIDE PULL STRIN DUPLEX RECEPTACLE & DATA/PHONE FLUS TWO GANG (2G) FLUSH RECTANGULAR STA EQUIVALENT TO HUBBELL #B2432 WITH #S CEILING MOUNTED TWO GANG (2G) FLUSH & DATA/PHONE COMPARTMENTS MULTI-SERVICE STAMPED STEEL FLUSH FLO	G H FLOOR MOUN MPED STEEL 3826 FLIP TOP BOX, DUPLEX F DOR BOX – TYF
INSULATING BUSHING, PROVIDE PULL STRIN DUPLEX RECEPTACLE & DATA/PHONE FLUS TWO GANG (2G) FLUSH RECTANGULAR STA EQUIVALENT TO HUBBELL #B2432 WITH #S CEILING MOUNTED TWO GANG (2G) FLUSH & DATA/PHONE COMPARTMENTS MULTI-SERVICE STAMPED STEEL FLUSH FLO WIREMOLD #RFB4 SERIES OR APPROVED EC MULTI-SERVICE STAMPED STEEL FLUSH FLO	G H FLOOR MOUN MPED STEEL 3826 FLIP TOP BOX, DUPLEX F DOR BOX – TYF DOR BOX – TYF DATA COMPAR QUAL BY HUBBE DOR POKE-THRO
INSULATING BUSHING, PROVIDE PULL STRIN DUPLEX RECEPTACLE & DATA/PHONE FLUS TWO GANG (2G) FLUSH RECTANGULAR STA EQUIVALENT TO HUBBELL #B2432 WITH #S CEILING MOUNTED TWO GANG (2G) FLUSH & DATA/PHONE COMPARTMENTS MULTI-SERVICE STAMPED STEEL FLUSH FLO WITH (2)-20A DUPLEX RECEPTACLES & (2 WIREMOLD #RFB4 SERIES OR APPROVED EC MULTI-SERVICE STAMPED STEEL FLUSH FLO - TYPE F2 - WITH (2)-20A DUPLEX RECI COMPARTMENT, WIREMOLD OR APPROVED E	G H FLOOR MOUN MPED STEEL 3826 FLIP TOP BOX, DUPLEX F DOR BOX – TYF DOR BOX – TYF DOR BOX – TYF DOR BOX – TYF DOR POKE–THRO EPTACLES & (2) QUAL BY HUBB
INSULATING BUSHING, PROVIDE PULL STRIN DUPLEX RECEPTACLE & DATA/PHONE FLUS TWO GANG (2G) FLUSH RECTANGULAR STA EQUIVALENT TO HUBBELL #B2432 WITH #S CEILING MOUNTED TWO GANG (2G) FLUSH & DATA/PHONE COMPARTMENTS MULTI-SERVICE STAMPED STEEL FLUSH FLO WIREMOLD #RFB4 SERIES OR APPROVED EC MULTI-SERVICE STAMPED STEEL FLUSH FLO	G H FLOOR MOUN MPED STEEL 3826 FLIP TOP BOX, DUPLEX F DOR BOX – TYF DOR BOX – TYF DOR BOX – TYF DOR BOX – TYF DOR POKE–THRO EPTACLES & (2) QUAL BY HUBB
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	1x4 LIGHT FIXTURE POLE MOUNTED LIGHTING FIXTURE STRIP LIGHTING FIXTURE 2'X2' OR 2'X4' LIGHTING FIXTURES ARE WIR UILL SHADED LIGHTING FIXTURES ARE FIXTURES PRE EMERGENCY BATTERY PACK FOR EGRESS LI RECESSED DOWN LIGHT WALL MOUNTED LIGHTING FIXTURE TRACK LIGHTING FIXTURE - SHADING INDICAT FACE (S) CHEVRONS AS INDICATED EMERGENCY LIGHTING UNIT COMBINATION OF EXIST AND EMERGENCY LI SINGLE POLE LIGHT SWITCH THREE WAY LIGHT SWITCH THREE WAY LIGHT SWITCH THREE WAY LIGHT SWITCH UIGHT SWITCH WITH PILOT LIGHT THREE WAY LIGHT SWITCH WITH PILOT LIG DIMMER SWITCH, COMPATIBLE WITH LIGHTS DIMMER SWITCH, COMPATIBLE WITH LIGHTS DIMMER SWITCH, COMPATIBLE WITH DIMMER TIMER SWITCH, COMPATIBLE WITH DIMMER TIMER SWITCH WITH WILL OCCUPANCY SENSE THREE WAY LIGHT SWITCH WITH DIMMER TIMER SWITCH WITH WILL DO TO PROVIDE PRESS OFF CONTROL FOR ZOVES INDICATED, COO CONTRACTOR FOR DEVICE MODEL NUMBERS ADDITIONAL REQUIREMENTS. RELAY PACK WITH 0-10V DIMMING OUTPUT CEILING MOUNTED OCCUPANCY SENSOR, SINGLE (PASSIVE INFRARED AND MICROPHONIC/ULTRASONIC), CONTROL PROVIDE OUANTITY OF 20A, 120 AND RELAY PACKS AS REQUIRED TO CONT INFRARED AND MICROPHONIC/ULTRASONIC), CONTROL PROVIDE OUANTITY OF 20A, 120 AND RELAY PACKS AS REQUIRED TO CONT FITURES IN ROOM/SPEC ARE TO BE CO WALL MOUNTED VACANCY SENSOR, SINGLE (PASSIVE INFRARED AND MICROPHONICS/UL RATED BOOW AT 120V AND 1200W AT 220W TATELY PACKS AS REQUIRED TO CONT YATEL SUBCEPTACLE DUPLEX RECEPTACLE DUPLEX RECEPTACLE DUPLEX RECEPTACLE DUPLEX RECEPTACLE SINGLE RECEPTACLE EXCEPT CHUING SAME AS DUPLEX RECEPTACLE EXCEPT TORIU SAME AS DUPLEX RECEPTACLE EXCEPT TORIU DUPLEX RECEPTACLE FLOOR MOUNTED CEILING JUNCTION BOX WALL JUNCTION PUSH BUTT

		FIRE RATED FLUSH FLOOR PO		TH DUPLEX OR QUAD RECEPTACLE						
		FIRE RATED RECESSED DEEP RECEPTACLE & LOW VOLTAGE	FLOOR POKE	THRU WITH DUPLEX OR QUAD						
ITCHED NIGHT	HP 3	EVOLUTION 6 SERIES. JUNCTION BOX FOR FLEXIBLE C FURNITURE WHIP PROVIDED BY	ONNECTION TO) SYSTEMS (P: POWER, D: DATA). JPPLIER. FOR NEW WORK PROVIDE						
	H®~s HI)-es	NOTED. COORDINATE LOCATION	WITH FURNITU	SSIBLE CEILING. UNLESS OTHERWISE RE SYSTEM SUPPLIER. E SUITABLE FOR WHIP CONNECTION.						
'ITH BUILT—IN		DISTRIBUTION PANEL								
		SURFACE MOUNTED LIGHTING RECESSED MOUNTED LIGHTING	•							
	СВ		•	CE MOUNTED IN NEMA ENCLOSURE						
AINATED	СВ		ER – FLUSH	MOUNTED IN NEMA ENCLOSURE						
		MOTOR - SINGLE PHASE								
UNIT	Ó	MOTOR - THREE PHASE								
		MANUAL SINGLE PHASE MOTOR STARTER WITH PILOT LIGHT, LOCKABLE OFF, FOR MOTOR APPLICATIONS. MANUAL SINGLE PHASE MOTOR SWITCH WITH PILOT LIGHT, LOCKABLE OFF AND WITHOUT OVERLOADS FOR DISCONNECT APPLICATIONS TO EQUIPMENT NOT REQUIRING OVERLOADS AND FOR APPLICATIONS WHERE OVERLOADS ARE INTEGRAL TO MOTOR-BASED LOADS. FLUSH MOUNT STARTERS / SWITCHES IN FINISHED SPACES. SURFACE MOUNT IN UNFINISHED SPACES.								
		NON-FUSIBLE DISCONNECT SW	/ITCH							
LLED	<u> </u>	FUSIBLE DISCONNECT SWITCH THREE PHASE COMBINATION M								
LE POLE)		BUS PLUG FUSIBLE DISCONNE		SIBLE MUTUR STARTER						
	T	TRANSFORMER								
	C	CONTACTOR								
PABILITIES, NUMBER OF ES, RISER, LOWER, ON,		GROUND								
WITH LIGHT DIMMING ITIES, LOCATIONS, AND		HOMERUN TO LIGHTING PANEL	·							
	└── ст ──	CABLE TRAY								
	PS EF	PLUG-IN STRIP EXHAUST FAN	EWC	ELECTRIC WATER COOLER						
INOLOGY (PASSIVE JXILIARY RELAY FOR HVAC	EDH	ELECT. DUCT HTR.	AFF	ABOVE FINISHED FLOOR						
RATED POWER PACKS CH LEGS INDICATED. ALL	A	ABOVE COUNTER	WP	WEATHERPROOF						
BY THE SENSORS.	A/E	ARCHITECT / ENGINEER	RT	RAINTIGHT						
HP. IVORY WITH	CM	COFFEE MAKER MICROWAVE	UFD FPB	UNDER FLOOR DUCT						
TCHED PLATE IS NOT	HOA	HAND-OFF-AUTOMATIC	DW	DISHWASHER						
	PC	PHOTOCELL	GD	GARBAGE DISPOSAL						
	HG	HOSPITAL GRADE	REF	REFRIGERATOR						
	UH	UNIT HEATER UNLESS OTHERWISE NOTED	(E) (RE)	EXISTING TO REMAIN RELOCATED EXISTING						
	EG	EQUIPMENT GROUND	IG	ISOLATED GROUND						
	Н	HORIZONTALLY MOUNT 6" ABC		BACK SPLASH						
	GFI or GFR	GROUND FAULT CIRCUIT INTER								
) BE		AUDIO/VISUAL HEAD END EQU								
O USB PORTS	DR	DRIVER FOR 24V UNDER CABI	NET LED LIGI	HT						
DUNTED		CARD READER								
	<u>)</u> (39)	PHOTOELECTRIC CONTROLLER								
STEEL STRUCTURE	WPS	COMBINE PARTITION SENSOR								
	WAP	WIRELESS ACCESS PANEL								
A CORD REEL MOUNTED	CP CP	POWER POLE VOICE/DATA/PO CONTROL PANEL, PROVIDE AS								
	TS	TIME SWITCH								
	BB	BELL								
	RB	RADIO ALERT SYSTEM BELL								
		DOOR SWITCH INTERCOM STATION								
	HEPO	EMERGENCY POWER OFF PUSH	IBUTTON							
OTHERWISE PROVIDE	FACP	FIRE ALARM CONTROL PANEL								
GANG BOX INGLE MUD ND 3/4"C UP		FIRE ALARM ANNUNCIATOR PA								
ING SPACE		NOTIFICATION APPLIANCE CON MICROPHONE	INUL FANEL							
MUD RING	S	CEILING MOUNTED SPEAKER								
TH 1_1/4"C		VOLUME CONTROL DIAL								
T WITH'	(HD)	SMOKE DETECTOR HEAT DETECTOR								
MOUNTED		TAMPER SWITCH								
IP TOP COVER PLEX RECEPTACLE	(FS)	FLOW SWITCH								
			CONNECTION	- AUDIO VISUAL DEVICE						
- TYPE F1 -		MAGNETIC DOOR HOLDER DUCT SMOKE DETECTOR								
COMPARTMENT, HUBBELL	(DS) (SCD)	COMBINATION SMOKE/CO DETECTOR	DR							
E-THROUGH BOX & (2) DATA	F	MANUAL FIRE ALARM STATION								
HUBBÉLL.	FO	FIRE ALARM STROBE								
CONNECTION	F⊲	FIRE ALARM HORN/STROBE								
		FIRE ALADM UNDN /CTDODE	[]]] [] [] []] [] []] [] []] [] []] [] []] [] []] [] [] []] [] [] [] []] [[] [[] [] [] [] [] [] []	IN (FI)						
RATE POWER AND DATA AR TO LEGRAND 4FFATC.	-(F- -(F-s	FIRE ALARM HORN/STROBE -		JNIED						

MOUNTING HEIGHTS

EQUIPMENT OR OUTLETS	ELEVATIONS
WALL SWITCHES	4'-0" AFF
RECEPTACLES	1'-6" AFF
TELECOMMUNICATIONS OUTLETS	1'—6" AFF
TELECOMMUNICATIONS OUTLETS - WALL PHONE	4'-6" AFF
CLOCK OUTLETS	7 ' —6" AFF
TV OUTLETS	1'—6" AFF
FIRE ALARM - PULL STATIONS	4'-0" AFF
FIRE ALARM - SPEAKERS, VISUAL UNITS, HORNS	7 ' —0" AFF
PUSHBUTTONS	4'-0" AFF
DISCONNECT SWITCHES	5'-6" AFF
MOTOR STARTERS	5'—6" AFF
PANELS & CABINETS	6'-0" TO TOP
VOLUME CONTROLS	4'-0" AFF
NURSE CALL STATIONS	4'-0" AFF
NURSE CALL DOME LIGHTS	7 ' —6" AFF
DIMMERS	4'-0" AFF
INDIVIDUAL CIRCUIT BREAKERS	5 '-6" TO TOP
ACCESS CONTROL DEVICES	4'-0" AFF
MOUNTING HEIGHT NOTES:	
1. ALL ELEVATIONS ARE TO CENTER LINE OF DEVICE, OTHERWISE NOTED.	UNLESS

2. REFER TO EQUIPMENT ELEVATION DRAWINGS FOR COORDINATION

WITH CASEWORK.

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PARTNERS

	ELECTRICAL SHEET INDEX
SHEET	DESCRIPTION
E0-01	ELECTRICAL LEGEND, SHEET INDEX AND DETAILS
E0-02	ELECTRICAL SPECIFICATION
E0-03	LIGHT FIXTURE SCHEDULE, ONE LINE DIAGRAM
E0-04	ELECTRICAL PANELS SCHEDULES
ED-01	MAIN LEVEL DEMO PLAN
ED-02	SECOND LEVEL DEMO PLAN
E1-01	MAIN LEVEL LIGHTING PLAN
E1-02	SECOND LEVEL LIGHTING PLAN
E2-01	MAIN LEVEL POWER PLAN
E2-02	SECOND LEVEL POWER PLAN



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KEY PLAN

OWNER

City of Dexter

PROJECT NAME

New City Hall Renovations

PROJECT NO.

21-113

ISSUES / REVISIONS Permits

12/22/2021

DRAWN BY SM

_____ CHECKED BY

MJM _____

APPROVED BY MJM

SHEET NAME

ELECTRICAL LEGEND, SHEET INDEX AND DETAILS



GENERAL REQUIREMENTS:

RATINGS AND LOCATIONS OF ASSEMBLIES.

WARRANTY

ALL WORK SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE, LATEST EDITION, AND ALL LOCAL AND STATE AUTHORITIES HAVING JURISDICTION THEREOF.

ALL EQUIPMENT SHALL BE SPECIFICATION GRADE AND SHALL HAVE U.L. LABEL FOR INTENDED USE.

AND FUNCTIONING INSTALLATION SUBJECT TO FINAL APPROVAL OF ARCHITECT/ENGINEER. ALL REQUIRED PERMIT AND INSPECTIONS SHALL BE OBTAINED BY CONTRACTOR AND SUCH COSTS SHALL BE

INCLUDED IN BID PRICE FOR THIS WORK. PROVIDE UL LISTED SYSTEM FOR FIRE STOPPING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. PROVIDE SYSTEM WITH EQUAL OR GREATER RATING THAN ASSEMBLY. REFER TO ARCHITECTURAL DOCUMENTS FOR

EXAMINATION OF SITE IS MANDATORY. CONTRACTOR IS HEREBY HELD TO HAVE EXAMINED THE SITE AND HAVE INCLUDED IN HIS BID PRICE ALL COSTS DUE TO SITE AND FIELD CONDITIONS.

COMPLETE IDENTIFICATION OF PROJECT ELECTRICAL COMPONENTS IS REQUIRED. IDENTIFY ALL PANELS, DISCONNECTS, CONTROL DEVICES, ETC., WITH THE NOMENCLATURE INDICATED ON THE DOCUMENTS AND WITH SITE-SPECIFIC INFORMATION, AND CONTROL LIGHTING FIXTURES PER OWNER'S SCHEDULE POWER SOURCE AND ELECTRICAL RATINGS USING PLASTIC LAMINATE NAMEPLATE. INSTALL TYPEWRITTEN DIRECTORIES OF ALL CIRCUITS ON INSIDE OF PANELS. IDENTIFY WIRING DEVICE COVERPLATES WITH PANELBOARD AND BRANCH CIRCUIT NUMBER SERVING DEVICE, E.G. "A-15". PROVIDE 1/4" MACHINE-WRITTEN PROVIDE OWNER WITH A MINIMUM OF 2 HOURS OF TRAINING AT JOBSITE BY MANUFACTUR BLACK LETTERING ON CLEAR PLASTIC ADHESIVE TAPE. LOCATE ON BOTTOM FRONT OF COVERPLATE, CENTERED REPRESENTATIVE. BELOW WIRING DEVICE(S). SUBMIT SAMPLE OF LABELED TAPE WITH WIRING DEVICE/COVERPLATE SUBMITTAL. SAMPLE MAY BE ADHERED TO PAPERWORK IN SUBMITTAL, RATHER THAN TO A COVERPLATE.

PROVIDE TEMPORARY POWER AND LIGHTING DURING CONSTRUCTION. REMOVE TEMPORARY WIRING UPON COMPLETION OF THE PROJECT. TEMPORARY SERVICES SHALL BE AS REQUIRED, BY N.E.C. AND OSHA. CONTRACTOR IS RESPONSIBLE TO MEET WITH UTILITY TO FOR TEMPORARY POWER PROVISION AND ALL REQUIRED SKID UNITS.

GROUND CONTINUITY SHALL BE MAINTAINED THROUGHOUT THE ELECTRICAL SYSTEM. INSTALL EQUIPMENT GROUNDING CONDUCTOR WITH EVERY CIRCUIT.

COORDINATE SIZE AND LOCATION OF ANY REQUIRED ACCESS PANELS IN WALLS OR FINISHED CEILINGS WITH ARCHITECT PRIOR TO INSTALLATION.

UNLESS A LONGER PERIOD IS SPECIFIED IN INDIVIDUAL PARAGRAPHS, PROVIDE A MINIMUM OF ONE YEAR WARRANTY ON ALL ELECTRICAL WORK BEGINNING THE DATE OF FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER.

SUBMITTALS: SUBMIT SHOP DRAWINGS FOR ALL MAJOR COMPONENTS OR SYSTEMS OF THE PROJECT. SUBMIT ADDITIONAL SHOP DRAWINGS IF REQUESTED BY ENGINEER.

NO APPARATUS OR EQUIPMENT SHALL BE SHIPPED FROM STOCK OR FABRICATED UNTIL ITS SHOP DRAWINGS HAVE BEEN STAMPED 'REVIEWED" OR "APPROVED AS NOTED". SUBMIT DATA REQUIRED FOR TRANSFORMERS SUCH AS EFFICIENCY, REGULATION, CORE LOSS AND SOUND LEVELS. (SEE APPLICABLE SECTIONS).

SUBMIT SYSTEM COMPONENTS, PRODUCT DATA AND SHOP DRAWINGS COMPLETE FOR EACH SYSTEM UNDER ONE SUBMITTAL. DO NOT BREAK OUT EQUIPMENT FOR ONE SYSTEM BETWEEN MULTIPLE SUBMITTALS.

ALL SHOP DRAWINGS MUST BE CLEARLY MARKED TO SHOW EQUIPMENT SUBMITTED AND ANY DEVIATIONS FROM SPECIFICATIONS SHALL BE NOTED THEREON. DO NOT INCLUDE ONLY MODEL NUMBERS TO INDICATE SUBMITTED WITH NEC AND AHJ REQUIREMENTS. EQUIPMENT. STRIKE OUT ANY INFORMATION ON PRODUCT DATA THAT IS NOT PROJECT SPECIFIC, AND EDIT RELEVANT INFORMATION TO SHOW ACTUAL EQUIPMENT SUBMITTED. ELECTRICAL CONTRACTOR MUST SIGN AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. UNIQUELY NUMBER EACH PAGE IN SUBMITTAL.

IF DIFFERENT SYSTEMS ARE INCLUDED IN ONE SUBMITTAL, CLEARLY SEPARATE INFORMATION AND PROVIDE DIFFERENT SUB-NUMBERING OF SYSTEMS. SHOP DRAWINGS THAT ARE INCOMPLETE, UNSIGNED AND NOT PLAINLY MARKED WILL NOT BE REVIEWED.

MICHIGAN UNIFORM ENERGY CODE: THIS IS A PERFORMANCE BASED DESIGN-BUILD SPECIFICATION.

THE INTENT OF THIS SPECIFICATION ITEM IS FOR FULL COMPLIANCE WITH THE REQUIREMENTS OF THE 2015 MICHIGAN UNIFORM ENERGY CODE AND RELATED AMENDMENTS AS THEY APPLY TO THE ASHRAE 90.1-2013 STANDARDS. AUTOMATIC CONTROL APPLIES TO NEW AND TO EXISTING TO REMAIN FIXTURES.

DESIGN AND PROVIDE A COMPLETE LIGHTING CONTROL SYSTEM PER MANUFACTURER'S RECOMMENDATION. INDICATE ALL COMPONENTS ON AS-BUILT DOCUMENTATION. COORDINATE WITH ARCHITECTURAL TRADES TO PROVIDE CEILING ACCESS PANELS WHERE REQUIRED.

PROVIDE OCCUPANCY SENSOR(S) IN EVERY ROOM OR SPACE (EXCEPT WHERE TIME SWITCHES/CONTACTOR CONTROL IS INDICATED) TO AUTOMATICALLY SHUTOFF ALL NON-EMERGENCY LIGHTING WITHIN ITS SPACE WITH SERVICE SHUTDOWN AND POWER OUTAGES SHALL BE SCHEDULED WITH THE OWNER PRIOF ADJUSTABLE TIME DELAY UP TO 30 MINUTES. WHERE INDICATED, CONTROL LIGHTING THROUGH TIME SWITCH ANY WORK ON EXISTING SERVICE. SCHEDULE SHALL BE PROVIDED IN WRITING 72 HOURS WITH ASTRONOMICAL TIME CLOCK. PROVIDE LIGHTING CONTROLLED VIA CONTACTORS AND TIME SWITCHES AS REQUIRED FOR QUANTITY OF CIRCUITS CONTROLLED. PROVIDE HIGH BAY OCCUPANCY SENSORS IN THE HIGH BAY AREAS.

OCCUPANCY SENSORS SHALL BE OF ULTRASONIC, INFRARED OR MULTI-TECHNOLOGY TYPE AS RECOMMENDED BY MANUFACTURER FOR EACH SPACE/APPLICATION CEILING MOUNTED.

OCCUPANCY SENSORS AND ACCESSORIES. TIME CLOCKS, AND CONTACTORS ARE NOT SPECIFICALLY INDICATED. TELEPHONE SERVICE TO THE SITE IS EXISTING AND SHALL BE UTILIZED AS INDICATED ON THE CONTRACTOR TO DESIGN GROUPING OF BRANCH CIRCUITS AND QUANTITY OF TIME CLOCKS AND CONTACTORS REQUIRED AND PROVIDE ACCORDINGLY. PROVIDE LOCAL WALL SWITCHES ON-OFF TYPE IN ADDITION TO OCCUPANCY CONTROL.

PROVIDE UNIVERSAL VOLTAGE POWER SWITCHES (RELAY) PACKS WITH LOAD CONTACTS RATED 20A O 120/277V FOR EACH SENSOR AS REQUIRED TO ACHIEVE THE LIGHTING CONTROL INTENDED. COORDINATE WITH SWITCH LEGS SHOWN ON PLANS. PROVIDE AUXILIARY CONTACT FOR CONTROL OF HVAC EQUIPMENT ON EACH RELAY PACK. MOUNT COMPONENTS CONCEALED ABOVE FINISHED CEILINGS WHEN PRESENT. PROVIDE ACCESS PANELS FOR NON-ACCESSIBLE CEILINGS. WHEN NO FINISHED CEILINGS ARE PRESENT, MOUNT COMPONENTS CONCEALED IN SHEET METAL ENCLOSURE WITH HINGED COVER. SIZE ENCLOSURE TO ACCOMMODATE COMPONENTS AND WIRING, AND COORDINATE LOCATION WITH ARCHITECT.

PROVIDE FIXTURES WITH TANDEM WIRED BALLASTS AS REQUIRED TO COMPLY WITH ASHRAE 90.1. REFER TO THE LIGHTING DRAWINGS FOR COORDINATION WITH FIXTURES, CIRCUITING AND SWITCHING.

LIGHTING CONTROL RELAY PANEL:

PROVIDE A STANDALONE LIGHTING CONTROL RELAY PANEL AND LCD DISPLAY IN A SURFACE MOUNTED ENCLOSURE, SUITABLE FOR OPERATION ON 120VAC CONTROL POWER. PROVIDE LOCKABLE FRONT COVER. TURN OVER MINIMUM TWO KEYS TO OWNER.

ADJUSTMENTS, AND CAPABILITY TO PROGRAM SITE LOCATION INFORMATION INTO TIME CLOCK FOR USE WITH SUNRISE/SUNSET SETTINGS.

REFER TO PLAN DRAWINGS FOR LOADS CONTROLLED BY RELAY PANEL.

COORDINATE QUANTITY OF RELAYS AND PANELS WITH CIRCUITS BEING CONTROLLED. IN EACH RELAY PANEL IN THE PROJECT, PROVIDE MINIMUM 10% SPARE RELAYS IN ADDITION TO THOSE REQUIRED FOR CONTROLLED CIRCUITS. PANELS MAY BE OF THE SINGLE FEED TYPE WITH BRANCH CIRCUITS AS REQUIRED OR OF THE MULTIPLE FEED TYPE: ONE FOR EACH CIRCUIT NOTED ON THE DRAWINGS AT THE OPTION OF THE CONTRACTOR.

COORDINATE VOLTAGE OF RELAYS WITH CIRCUITS BEING CONTROLLED. PROVIDE 1-POLE RELAYS FOR 120V AND 277V APPLICATIONS, AND 2-POLE RELAYS FOR 208V APPLICATIONS. PROVIDE VOLTAGE BARRIER FOR SEPARATION OF RELAYS CONTROLLING DIFFERENT VOLTAGES. PANEL IS TO INCLUDE CIRCUITRY FOR SWITCHING FULL LOAD AT THE ZERO-CROSSING OF THE AC CURRENT WAVEFORM. RELAYS ARE TO BE NORMALLY OPEN.

PROVIDE LOW VOLTAGE SWITCHES WHICH ARE COMPATIBLE WITH CONTROL PANEL. IDENTIFY LOW VOLTAGE SWITCH COVERPLATES.

PROVIDE LOW VOLTAGE AUTOMATIC CONTROL OVERRIDE MASTER SWITCHES WHERE INDICATED WITH OPERATION AS SPECIFIED. COORDINATE COMPATIBILITY OF SWITCH WITH PANEL AND WITH OPERATION AS SPECIFIED.

LABEL SWITCH COVERPLATE AS SPECIFIED FOR WIRING DEVICES.

PROGRAM RELAY PANEL TO OPERATE WITH LOW VOLTAGE AUTOMATIC CONTROL OVERRIDE OVERRIDE ON: PRESSING THE MASTER SWITCH WITH CIRCUITS OFF WILL TURN ON ALL BRANCH CIRCUITS IN THE PANEL FOR A MAXIMUM OF FOUR HOURS, AND THEN AUTOM CIRCUITS OFF AFTER TIME EXPIRES. CIRCUITS WILL REMAIN OFF UNTIL THE SWITCH IS PR UNTIL THE NEXT PROGRAMMED AUTOMATIC ON-TIME OCCURS.

OVERRIDE OFF: PRESSING THE MASTER SWITCH WITH CIRCUITS ON WILL TURN OFF ALL ELECTRICAL SYSTEMS SHALL BE COMPLETE IN EVERY DETAIL, INCLUDING ALL INCIDENTAL ITEMS FOR A PROPER BRANCH CIRCUITS IN THE PANEL. CIRCUITS WILL REMAIN OFF UNTIL THE SWITCH IS PRES UNTIL THE NEXT PROGRAMMED AUTOMATIC ON-TIME OCCURS. THE PROGRAMMED CONTROL OF THE CIRCUITS ABOVE IS TO OPERATE INDEPENDENTLY OF CONTROL.

PROGRAM PANEL TO FLASH LIGHTS PRIOR TO AUTOMATICALLY TURNING THEM OFF.

PROVIDE DATA OUTLET MOUNTED ADJACENT TO PANEL FOR REMOTE PROGRAMMING AND/ OWNER'S COMPUTER NETWORK.

INCLUDE CONTROL PANEL STARTUP/COMMISSIONING AND TRAINING BY MANUFACTURER'S PERSONNEL. IN ADDITION TO OTHER STARTUP REQUIREMENTS, MANUFACTURER'S FACTORY TO OBTAIN OWNER'S DESIRED OPERATIONAL SCHEDULE FOR EACH CIRCUIT, PROGRAM PAN MICHIGAN UNIFORM ENERGY CODE.

MANUFACTURERS: LEVITON Z-MAX OR APPROVED EQUAL BY STRAND LIGHTING, COOPER HUBBELL

DEMOLITION AND RENOVATION WORK:

DISCONNECT. REMOVE, RELOCATE, REWIRE OR DISPOSE OF ANY EQUIPMENT INTERFERING CONSTRUCTION OR AFFECTED BY RENOVATION WORK.

ANY ELECTRICAL EQUIPMENT OR SYSTEMS WHICH ARE TO REMAIN, AND ARE AFFECTED BY BE IMMEDIATELY RESTORED TO FULL OPERATING CONDITION AND AT NO ADDITIONAL COST

EQUIPMENT REMOVED SHALL BE DISPOSED OF AS DIRECTED, EITHER TO STORAGE OR OFF WHERE SERVICES OR CIRCUITS ARE DISCONNECTED OR DISCONTINUED, IT IS MANDATORY UNUSED WIRING BE REMOVED TO THE SOURCE UNLESS SPECIFICALLY NOTED ON THE DRA INTENT OF THIS ARTICLE TO PERMANENTLY DISCONNECT ALL UNUSED CIRCUITS AT THE WHENEVER POSSIBLE. NO ENERGIZED CIRCUIT SHALL BE TAPED AND ABANDONED IN OUTL SO SPECIFIED ON DRAWINGS.

CIRCUIT TRACE EXISTING TO REMAIN CIRCUITS AS NECESSARY FOR PROPER IDENTIFICATION TO PERFORM AND DOCUMENT WORK.

REMODELING WORK INVOLVING EXISTING BRANCH CIRCUIT PANELBOARD SHALL BE SUCH WORK IS COMPLETED EXISTING PANELS ARE PROVIDED WITH NEW AND UPDATED ACCURA VACATED CIRCUITS SHALL BE MARKED SPARE. WHEN NEW BREAKERS ARE REQUIRED, T INSTALLED IN EXISTING SPACES AND SHALL MATCH THOSE THAT ARE EXISTING. PROVIDE REQUIRED AND WHERE INDICATED.

CONTRACTOR MAY USE EXISTING CONDUITS AND OUTLET BOXES, PROVIDED THEY ARE IN CONDITION AND THE INSTALLATION IS APPROVED BY THE AHJ. RE-SUPPORT EXISTING TO AND BOXES IN RENOVATION AREA IF INADEQUATELY SUPPORTED. PROVIDE SUPPORT AS

IT IS THE INTENT OF THE OVERALL DESIGN TO CONCEAL ALL WORK EXCEPT IN UNFINISH PATCH EXISTING SURFACES AS REQUIRED FOR A CONCEALED INSTALLATION.

ALL ELECTRICAL OPENINGS THAT ARE ABANDONED IN WALLS, CEILINGS OR FLOOR SHALL SUITABLE BLANK COVER PLATES. ABANDONED FLOOR OUTLETS AND PENETRATIONS SHALL EXISTING SURROUNDING CONDITIONS.

CONDUITS AND OTHER PARTS OF ELECTRICAL SYSTEMS THAT BECOME EXPOSED AS A PAR SHALL BE REMOVED AS REQUIRED TO A POINT WHERE THE ABANDONED PORTION IS TOTA ALL SURFACES DAMAGED BY THIS CONTRACTOR IN THE COURSE OF PERFORMING WORK

TO SATISFACTORY CONDITION, AS DIRECTED BY THE ARCHITECT AND ALL COSTS OF REPA FOR BY THE CONTRACTOR

REMOVE SERVICE TO MECHANICAL, ELECTRICAL AND BUILDING EQUIPMENT SPECIFIED AND REMOVED OR DISCONNECTED. MAINTAIN CIRCUITS TO EXISTING-TO-REMAIN EQUIPMENT. II REMOVED CIRCUITS ON PANEL SCHEDULE AS SPARE. COORDINATE WITH ARCHITECTURAL, ELECTRICAL DRAWINGS FOR EXISTING TO REMAIN EQUIPMENT AND FOR DEMOLITION WORK.

SHALL SHOW A DETAILED DESCRIPTION OF THE PROPOSED WORK AND THE DURATION OF

PROVIDE LUMINAIRE DISCONNECTING MEANS PER LIGHTING SPECIFICATIONS.

UTILITY SERVICES ELECTRIC SERVICE TO THE SITE IS EXISTING AND SHALL BE UTILIZED AS INDICATED ON THE DR

ELECTRICAL EQUIPMENT AND DEVICES STEP DOWN TRANSFORMERS SHALL BE GENERAL PURPOSE, DRY TYPE, SELF AIR COOLED,

CLASS 220 INSULATION (115 DEGREE C RISE, 30 DEGREE C HOT SPOT, AND 40 DEGREE STANDARD FULL CAPACITY TAPS. VOLTAGE AND KVA AS INDICATED. MANUFACTURERS:

GE, EATON, SIEMENS, SQUARE D, OR APPROVED EQUAL. PROVIDE GROUNDING OF TRANSF SEPARATELY DERIVED SOURCES PER NEC ARTICLE 250.30. INCLUDE INSULATION CLASS IN INFORMATION.

RECEPTACLES SHALL BE SPECIFICATION GRADE, GROUNDING TYPE, 2-POLE, 3-WIRE, AND RECEPTACLES IN GENERAL SHALL BE 20A, 125 V., HUBBELL #HBL5362 OR EQUAL MOUNT OFFICES AREAS AND 48" AFF IN SHOP AREAS EXCEPT AT COUNTERS WHERE THEY SHALL COUNTER AND IN TOILET ROOMS AT 48" AFF. RECEPTACLES ON SINGLE CIRCUIT SHALL HUBBELL #HBL5362. HIGH AMPERE RATINGS AND VOLTAGES ARE INDICATED ON DRAWINGS

RECEPTACLES DESIGNATED "GFR" SHALL BE GROUND FAULT RECEPTACLES, SIMILAR TO HU FOR OUTDOOR OR WET LOCATIONS, PROVIDE WEATHERPROOF BOX AND GASKETED COVER RECEPTACLES FOR SELF PROTECTION AND NOT DOWNSTREAM PROTECTION OF OTHER WIRI

SWITCHES SHALL BE SINGLE POLE, TWO POLE, OR THREE-WAY, AS INDICATED, TOGGLE PANEL SHALL CONTAIN INTEGRAL ASTRONOMICAL TIME CLOCK WITH AUTOMATIC DAYLIGHT SAVINGS, LEAP YEAR 120/277V., QUIET TYPE, HUBBELL #1221/1222/1223 OR APPROVED EQUAL. PILOT TYPE #1251.

> PROVIDE DIMMERS RATED FOR LOAD WATTAGE AND VOLTAGE CONTROLLED. CONTRACTOR RATING BASED ON APPROVED FIXTURE SUBMITTALS AND ACTUAL FIXTURE QUANTITIES. PF DESIGNED FOR CONTROLLED LOAD CONSULT LIGHT FIXTURE MANUFACTURER FOR COMPATIE SWITCHES.

WIRING DEVICE COLORS SHALL BE WHITE OR AS SELECTED BY OWNER/ARCHITECT.

DEVICE COVER PLATES SHALL BE OF TYPE AND NUMBER OF GANGS FOR DEVICES INSTA 302/304 GRADE BRUSHED STAINLESS STEEL. PROVIDE BRANCH CIRCUIT IDENTIFICATION AS SPECIFIED UNDER "GENERAL REQUIREMENTS". COVERPLATES FOR DEVICES CONNECTED SYSTEM SHALL ALSO BE FACTORY LABELED WITH BLACK LETTERING TO READ "EMERGENCY

PROVIDE TELEPHONE/DATA OUTLETS AND STUBS AS INDICATED. TELEPHONE/DATA OUTLET TWO GANG OUTLET BOX WITH PLASTER RING AND NO COVER PLATE. JACK AND COVER BY OTHERS. HEIGHT OF OUTLET FOR DESK PHONE IS 16" AFF AND FOR WALL PHONE TELEPHONE/DATA OUTLETS SHALL CONTAIN OF 3/4" CONDUIT FROM OUTLET TO AN ACCE CEILING SPACE. TERMINATE WITH INSULATING BUSHING.

CONDUCTORS:

SWITCH AS FOLLOWS:	ALL CONDUCTORS SHALL BE SOFT-DRAWN COPPER OF SIZES INDICATED ON THE DRAWINGS. ALL CONDUCTORS SHALL BE INSULATED FOR 600 VOLTS AND WITH 75 DEGREES (CENTIGRADE) CODE GRADE INSULATION.	A/E WILL NOT SHOW THESE SPECIFICATION
RELAY-CONTROLLED FICALLY SHUT RESSED AGAIN, OR RELAY-CONTROLLED	CONDUCTORS SIZED #10 AND SMALLER SHALL BE SOLID. ALL CONDUCTORS LARGER THAN #10 SHALL BE MADE UP OF STRANDED SINGLE CONDUCTOR CABLE. CONDUCTORS SHALL HAVE THWN OR THHN INSULATION AS APPLICABLE. CONDUCTORS IN UNDERGROUND CONDUIT AND FOR SERVICE ENTRANCE CONDUCTOR SHALL HAVE XHHW OR THWN INSULATION.	SCOPE OF WORK: PROVIDE A COMPLET INCLUDING ALL WOR LIMITED TO THE FOL
SSED AGAIN, OR F ANY LOCAL SPACE	#12 AWG SHALL BE THE MINIMUM WIRE SIZE ALLOWED EXCEPT #14 AWG MAY BE USED FOR CONTROL WIRING.	SYSTEM DESIGN DEVICE LOCATIO BATTERY CALCU
	TYPICAL BRANCH CIRCUITS FROM 20A, 1-POLE BRANCH OVERRCURRENT DEVICES ARE $1/2$ "C, 2#12 AND 1#12G.	CIRCUIT VOLTAG BUILDING PLANS INTERFACE WITH ELEVATORS
OR CONNECTION TO FACTORY-TRAINED 7 REPRESENTATIVE IS NEL WITH	STARTERS, SAFETY SWITCHES, FUSES AND HEATERS: MANUAL MOTOR STARTERS SHALL BE 600V TOGGLE TYPE WITH THERMAL OVERLOAD ELEMENT FOR MOTOR PROTECTION STAINLESS STEEL COVER PLATE AND PILOT LIGHT; FLUSH IN ALL AREAS EXCEPT IN UNFINISHED SPACES. CONTRACTOR TO COORDINATE AND PROVIDE QUANTITY OF POLES AS REQUIRED FOR BRANCH CIRCUIT AND LOAD SERVED. MANUAL MOTOR SWITCHES SHALL BE THE SAME AS MANUAL STARTERS EXCEPT WITHOUT OVERLOADS AND USED AS DISCONNECTING MEANS.	AIR HANDL FIRE CURT/ FIRE SUPPI ANY OTHEF SYSTEM RISER. LEGEND FOR AL
IN COMPLIANCE WITH	MAGNETIC MOTOR STARTERS SHALL BE 600 VOLT 3-PHASE WITH 3 THERMAL OVERLOAD ELEMENTS, HOA SWITCH AND RESET BUTTON IN COVER AND GREEN RUNNING PILOT LIGHT, NEMA ENCLOSURE AND SIZE AS INDICATED. COMBINATION STARTERS SHALL HAVE BUILT-IN FUSED DISCONNECT. PROVIDE START-STOP PUSH BUTTONS FOR USE IN HAND (MANUAL) MODE.	SYSTEM OPERAT AND APPLICABL EMPLOY THE SERVIC SYSTEM DESIGN AND
CONTROLS, LUTRON OR WITH NEW	PROVIDE THERMAL ALLOY MELTING TYPE HEATER ELEMENTS FOR ALL MOTORS BASED ON MOTOR NAMEPLATE DATA. SAFETY AND DISCONNECT SWITCHES SHALL BE 250 OR 600 VOLTS AS REQUIRED, HEAVY DUTY, TWO OR THREE POLE, "QUICK-MAKE', "QUICK-BREAK" SWITCH MECHANISM AND COVER INTERLOCK. SWITCHES SHALL BE FUSED OR UNFUSED AS INDICATED AND SHALL HAVE PAD LOCK PROVISIONS, WITH NEMA TYPE ENCLOSURE FOR LOCATION USED. SWITCHES SHALL BE SQUARE "D"CLASS 3110 OR APPROVED EQUAL.	PLACEMENT; AND IN PROTECTION INSTALL OBTAIN SYSTEM APP AUTHORITIES HAVING INSPECTION. SURVEY EXISTING CO
BY THIS WORK, SHALL	PROVIDE ALL NECESSARY FUSES AND REPLACE ALL THOSE BLOWN DURING CONSTRUCTION. ALL FUSES SHALL BE TIME LAG, DUAL ELEMENT, BUSSMAN "LOW PEAK YELLOW" OR EQUAL.	WORK BEING PERFOR SYSTEM DESIGN SHA CONTROL EQUIPMENT
T TO THE CONTRACT. F THE PREMISES.	<u>PANELBOARDS:</u> MAIN DISTRIBUTION PANELS SHALL BE AS SHOWN ON DRAWINGS, BRACED FOR 35,000 A.I.C. MINIMUM, DEAD FRONT CONSTRUCTION. VOLTAGE, PHASE, AMPERE RATING, AND DEVICES SHALL BE AS INDICATED ON THE	PROVIDE SYSTEM TE ACCEPTANCE.
THAT ANY EXISTING AWINGS. IT IS THE MAIN SOURCE LET BOXES UNLESS	DRAWINGS. LIGHTING PANELS SHALL BE OF VOLTAGE, PHASE, SERVICE AND NUMBER OF WIRES INDICATED ON THE DRAWINGS. BREAKERS SHALL BE THERMAL MAGNETIC, TRIP FREE, SINGLE OR MULTIPOLE, BOLTED DESIGN, MOLDED CASE, MINIMUM 10,000 A.I.C. AT 240 VOLTS OR 14,000 A.I.C. AT 277 VOLTS. DEVICES SHALL BE	PROVIDE FOUR (4) I BY THE OWNER/USE SUBMITTALS TO THE
DN, AND AS REQUIRED THAT, WHEN ALL	AS INDICATED ON THE DRAWINGS OR AS SCHEDULED. LIGHTING PANELS RATED FOR 277/480V, 3-PHASE, 4W SERVICE SHALL BE SQUARE D TYPE "NF" OR EQUAL, AND THOSE RATED FOR 120/208V, 3-PHASE, 4-WIRE SERVICE SHALL BE SQUARE D TYPE "NQOD" OR EQUAL. LOAD CENTERS ARE NOT PERMITTED.	THE FOLLOWING DOC FLOOR PLANS. LOCATION OF C LOCATION OF IN POWER CONNEC
TE DIRECTORIES. ALL Hey shall be New panels if	CONTRACTOR, MANUFACTURER MAY RE-ARRANGE CIRCUIT ORDER IN PANELS, HOWEVER CIRCUIT NUMBERS FROM PANELBOARD SCHEDULES IN CONTRACT DOCUMENTS MUST BE INDICATED ON ANY SUBMITTED PANELBOARD ELEVATIONS, DRAWINGS, TABLES AND SCHEDULES.	SYSTEM RISER DEVICE CIRCUIT BATTERY CALCU CIRCUIT CONDU VOLTAGE DROP
GOOD ELECTRICAL) REMAIN CONDUIT REQUIRED TO COMPLY	ARC FLASH: REFER TO AVAILABLE FAULT CURRENTS NOTED ON THE DRAWINGS AND PERFORM CALCULATIONS AS REQUIRED	INTERFACE WITH NOTED. SYSTEM MATRIX
HED AREAS. CUT AND	TO APPLY FIELD MARKINGS FOR ARC FLASH INCLUDING RECOMMENDED MARKING REQUIREMENTS, BOUNDARIES AND DESCRIPTIONS. FIELD MARK DISTRIBUTION EQUIPMENT (SWITCHBOARDS, PANELBOARDS, CONTROL PANELS, AND MOTOR CONTROL CENTERS) WITH FLASH PROTECTION INFORMATION PER NATIONAL ELECTRICAL CODE ARTICLE 110.16, FLASH PROTECTION. INCLUDE CALCULATED RATINGS ON MARKINGS. PROVIDE ANY	MANUFACTURER DEVICES PROVIE ARCHITECTS/ENGINE
BE PROVIDED WITH BE FILLED TO MATCH	ADDITIONAL MARKINGS ON EQUIPMENT AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION. FIELD MARK FLASH PROTECTION BOUNDARIES RESULTING FROM CALCULATIONS PER NFPA 70E. INSTALLATION AND METHODS OF EXECUTION:	ARCHITECT/ENGINEEF AUTHORITY. INCLUDE REVIEW WILL COVER SPECIFICATIONS.
ART OF NEW WORK ALLY CONCEALED. SHALL BE RESTORED AIRS SHALL BE PAID	ALL WIRING SHALL BE IN CONDUIT, MINIMUM ½". FLEXIBLE METAL CONDUIT SHALL BE USED FOR SHORT CONNECTION TO MOTORS, FINAL CONNECTION TO RECESSED LIGHTING FIXTURES FROM RIGIDLY MOUNTED OUTLET BOX (NOT BETWEEN FIXTURES), VIBRATING EQUIPMENT, ETC., BUT NEVER LONGER THAN 6 FEET. PROVIDE LIQUID TIGHT FLEXIBLE METAL CONDUIT FOR ALL APPLICATIONS EXPOSED TO WATER OR WEATHER. PROVIDE ANTI-SHORT BUSHINGS FOR ALL FLEXIBLE CONDUIT ARMOR TERMINATIONS. PROVIDE SEPARATE EQUIPMENT GROUND WIRE IN ALL CONDUIT RUNS.	SUGGESTED CONSUL SIEMENS FIRE SAFET JOHNSON CONTROLS GAMEWELL NATIONAL TIME AND
/OR INDICATED AS DENTIFY UNUSED, MECHANICAL AND	CONDUIT CONCEALED IN CEILING, WALLS OR FURRED SPACES OR EXPOSED IN DRY LOCATIONS SHALL BE EMT, THIN WALL ELECTRIC METALLIC TUBING. CONDUIT EXPOSED TO WEATHER, IN CONTACT WITH CONCRETE, BURIED IN SLAB, OR IN HAZARDOUS AREAS, SHALL BE HEAVY WALL, RIGID. ALL CONDUITS SHALL BE HOT DIPPED GALVANIZED STEEL.	SIMPLEX/GRINNELL <u>CODES AND STANDA</u> NFPA 72 - NATIONA NFPA 101 - LIFE S NEC 760 - FIRE PR
DR TO PERFORMING RS IN ADVANCE AND OUTAGE.	ALL WORK IN HAZARDOUS LOCATIONS SHALL BE DONE IN STRICT CONFORMANCE WITH NEC ARTICLE 500. PLASTIC CONDUIT, PVC-40, SHALL BE USED ONLY AS INDICATED ON THE DRAWINGS. PLASTIC CONDUIT SHALL BE APPROVED FOR UNDERGROUND USE. PVC BURIAL DEPTH SHALL BE 36" MINIMUM BELOW FINISH GRADE. IN PVC CONDUIT SYSTEMS, RISERS ABOVEGROUND SHALL BE RIGID HEAVY WALL STEEL.	NEC 725 – SIGNALI LOCAL ORDINANCES REGULATORY REQUIR CONFORM TO REQUI
DRAWINGS.	CONDUIT RUNS SHOWN ON DRAWINGS ARE DIAGRAMMATIC. EXACT ROUTING OF CONDUIT RUNS SHALL SUIT JOB CONDITIONS. EXPOSED CONDUIT SHALL BE RUN ONLY IN UNFINISHED AREAS SUBJECT TO FINAL APPROVAL OF ENGINEER AND SHALL RUN PARALLEL TO BUILDING LINES, NEVER DIAGONALLY.	A.D.A. FEDER CONFORM TO STATE CONFORM TO RULES
DRAWINGS. , TWO WINDING, UL E C AMBIENT) WITH	CONNECTION TO EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S SHOP AND INSTALLATION DRAWINGS. REQUIREMENTS GENERALLY VARY FROM ONE MANUFACTURER TO ANOTHER AND CONTRACTOR IS BOUND TO COMPLY AND PROVIDE ALL WORK AS REQUIRED ALTHOUGH CERTAIN DISCREPANCIES MAY EXIST REGARDING THE REQUIREMENT FROM ONE MANUFACTURER TO ANOTHER.	SYSTEMS SUPERVISIO PROVIDE ELECTRONIC CIRCUITS. OCCURREN CIRCUIT IN TROUBLE CIRCUIT DOES NOT
FORMERS AS	PROVIDE POWER WIRING, DISCONNECTS, AND PROTECTION DEVICES TO ALL MECHANICAL EQUIPMENT AND MAKE FINAL CONNECTIONS, INCLUDING TESTING OF MOTORS FOR PROPER ROTATION.	<u>Products:</u> The following is i System design or
N SUBMITTAL) POLARIZED. ITED 16" AFF IN	OUTLET BOXES MAY-BE SURFACE MOUNTED ON EXISTING WALLS (CMU, BRICK OR CONCRETE) WITH SMALLEST SURFACE RACEWAY AS REQUIRED FOR WIRING INSTALLED. PROVIDE FLUSH OUTLET BOXES AND CONDUIT AT NEW CONSTRUCTION WALL AND AT EXISTING WALLS WHICH ARE NOT CMU BRICK OR CONCRETE CONSTRUCTION. CUT AND PATCH EXISTING WALLS AS REQUIRED FOR FLUSH INSTALLATION.	FIRE ALARM CONTRO PROVIDE FLUSH MOU COORDINATE PANEL LOCAL AUTHORITY.
L BE 6" ABOVE BE 20 AMPERES, S.	PROVIDE 4" TALL CONCRETE HOUSEKEEPING PADS FOR ALL FLOOR MOUNTED ELECTRICAL EQUIPMENT. ALL WIRING LOCATED ABOVE THE SUSPENDED CEILING MUST BE SUPPORTED INDEPENDENTLY OF THE SUPPORT WIRES FOR THE SUSPENDED CEILING.	MANUAL STATIONS: SEMI FLUSH, ADDRE IDENTIFIABLE BY THE
UBBELL #GF-5362. Plate. Wire 'GFR' NG DEVICES.	OUTLET BOXES ON OPPOSITE SIDES OF FIRE RESISTANT WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF TWENTY FOUR (24) INCHES.	<u>REMOTE INTERFACE</u> ADDRESSABLE, PROG
TYPE, 20A, SWITCHES HUBBELL	ELECTRICAL OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANT RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE FIRESTOPPED USING APPROVED METHODS TO MAINTAIN THE FIRE RESISTANCE RATING PER ARTICLE 300.21 2017 NEC.	REQUIRED FIRE ALAR SMOKE DETECTORS: PHOTOELECTRIC, LIST
TO COORDINATE ROVIDE DIMMERS IBLE DIMMER	PROVIDE PROPER WORKING CLEARANCES FOR ELECTRICAL EQUIPMENT AS REQUIRED PER NEC.	VELOCITY CHANGES. INDICATING LED'S PF
LLED, SMOOTH EDGED ON ALL COVERPLATES	LED LIGHTING FIXTURES SHALL HAVE 5 YEAR WARRANTY, A COLOR RENDERING INDEX OF 90 OR HIGHER, 3500K COLOR TEMPERATURE UNLESS OTHERWISE INDICATED ON DRAWINGS, LIFETIME: 50,000 HOURS OR GREATER AND MAINTAIN AT LEAST 70% OF INITIAL LUMEN OUTPUT. RATED FOR OUTDOOR USE AND WET LOCATION, IF IN OPEN FIXTURE.	ALARM HORNS/SPEA ALARM HORNS/SPEA ENTIRE LENS NOT LI HEIGHT. MINI HORNS WHEN U GANG BOX.
) TO THE EMERGENCY Y". TS SHALL CONSIST OF	SHALL POSSESS COLOR MANAGEMENT SYSTEM TO MAINTAIN COLOR CONSISTENCY OVER TIME AND TEMPERATURE OF NO GREATER THAN ±100K OVER LIFE. REFER TO LIGHTING FIXTURE SCHEDULE ON ARCHITECTURAL REFLECTED CEILING PLANS FOR LED FIXTURES	ALARM STROBES: FLUSH BACK BOXES, XENON STROBE WITH
PLATE ARE SUPPLIED 48" AFF. CESSIBLE PORTION OF	WITH DIMMING CONTROLS. LED DRIVERS TO BE ELECTRONIC, HIGH POWER FACTOR, MIN. 0.9; UNIVERSAL VOLTAGE 120-277V; 5 YEAR WARRANTY, COMPATIBLE WITH THE LED LAMP OR MODULE USED.	CYCLE OF 40% WITH UNFILTERED OR CLEA VISUAL SIGNALS SHA

FIRE ALARM SYSTEM - PERFORMANCE SPECIFICATION:

W DEVICES ON PLANS. SYSTEM'S QUALITY AND PERFORMANCE SHALL BE AS CO

TE MANUAL/AUTOMATIC ADDRESSABLE FIRE ALARM DETECTION AND NOTIFICATION RK FOR A COMPLETE, FUNCTIONING AND APPROVED INSTALLATION INCLUDING BU LLOWING MAJOR ITEMS:

ULATIONS.

SE DROP CALCULATIONS.

WITH LOCATION OF ALL DEVICES AND EQUIPMENT. OTHER SYSTEMS OR EQUIPMENT.

FIRE SUPPRESSION AND POWER SHUTOFF

ING UNITS SMOKE DETECTION.

AINS AND SMOKE BARRIERS, FIRE AND SMOKE DAMPERS. RESSION SYSTEM.

R FIRE RELATED DEVICES OR EQUIPMENT.

LL DEVICES AND EQUIPMENT SHOWN ON PLANS AND RISER. TION MATRIX AND AS REQUIRED FOR FULL COMPLIANCE WITH REQUIREMENTS OF LE LOCAL, STATE AND NATIONAL RULES AND REGULATIONS.

CES OF A QUALIFIED CERTIFIED FIRE ALARM CONTRACTOR/CONSULTANT TO PREP RELATED CONSTRUCTION DOCUMENTS INCLUDING ALL RELATED CALCULATIONS, CLUDE COORDINATION WITH OTHER SUPPLIERS/CONTRACTORS SUCH AS DESIGN-LER FULLY COMPLETE WITH ALL INFORMATION AND RELATED DATA, AS REQUIRED ROVAL BY THE AUTHORITIES HAVING JURISDICTION. DETERMINE THE APPLICABLE JURISDICTION FOR PROJECT AND INCLUDE ALL IN PLAN REVIEW, PERMITTING,

ONDITIONS PRIOR TO BID. COORDINATE WORK WITH BUILDING FINISHES AND WIT

IALL PROVIDE FOR MINIMUM 25% SPARE CAPACITY ALL ACROSS IN THE FRONT E AND IN EVERY CIRCUIT CAPACITY AND CONDUCTOR SIZING.

ESTING AND CORRECT ALL DEFECTS PRIOR TO FINAL DEMONSTRATION AND OWNE

HOURS OF TRAINING IN OPERATION AND MAINTENANCE FOR TWO PERSONS AS

<u>AUTHORITIES HAVING JURISDICTION (AHJ):</u> CUMENTS SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION:

CONTROL AND ANNUNCIATION EQUIPMENT.

NITIATING DEVICES AND ALARM INDICATING APPLIANCES ON PLANS.

ING ON PLANS AND OR RISER. ULATIONS.

CTORS, TYPE AND SIZE.

CALCULATION FOR EVERY CIRCUIT WITH THE 25% SPARE CAPACITY INCLUDED. OTHER SYSTEMS OR EQUIPMENT (CONTROL FUNCTIONS) AS REQUIRED, SPECIFIC

FOR EVENTS (FUNCTIONAL MATRIX). DATA, CUTS, SHEETS, LISTING AND ALL RELATED INFORMATION FOR THE EQUIPMENT AND DED FOR THE SYSTEM.

ERS REVIEW: R WILL REVIEW SYSTEM DOCUMENTS AFTER THEY HAVE BEEN APPROVED BY LOCAL PROOF OF LOCAL AUTHORITY APPROVAL WITH A/E SUBMITTAL. GENERAL COMPLIANCE WITH PROJECT REQUIREMENTS AND THE INTENT OF THESE

<u>ANTS/CONTRACTORS:</u>

I FIRE ALARM CODE AFETY CODE

ROTECTIVE SIGNALING SYSTEMS NG AND POWER LIMITED CIRCUITS

AS APPLICABLE

REMENTS OF NATIONAL FIRE CODE (NFC).

RAL GUIDELINES AND LOCAL FIRE CODES

AND REQUIREMENTS OF LOCAL GOVERNING BODY.

CALLY SUPERVISED SYSTEM, WITH SUPERVISED ALARM INITIATING AND ALARM SIGNALING NCE OF SINGLE GROUND OR OPEN CONDITION IN INITIATING OR SIGNALING CIRCUIT PLACES MODE. OCCURRENCE OF SINGLE GROUND CONDITION ON ALARM INITIATING OR SIGNALING DISABLE THAT CIRCUIT FROM TRANSMITTING AN ALARM.

INTENDED TO ESTABLISH GENERAL QUALITY OF SYSTEM BUT NOT INTENDED TO LIMIT EXCLUDE ANY REQUIRED DEVICES.

JNTED MAIN FIRE ALARM CONTROL PANEL AND REMOTE FIRE ALARM CONTROL PANEL. FINISH WITH ARCHITECT. COORDINATE MOUNTING LOCATIONS WITH ARCHITECT AND WITH

SSABLE AND WITH PRIORITY ALARM MODULES. MANUAL STATIONS SHALL BE INDIVIDUALLY FIRE ALARM CONTROL PANEL.

RAMMABLE INTERFACE MODULES AS REQUIRED TO MONITOR, CONTROL AND INITIATE RM FUNCTIONS.

(INTELLIGENT ANALOG ADDRESSABLE) TED FOR USE AS OPEN AREA PROTECTIVE COVERAGE AND SHALL BE INSENSITIVE TO AIR DETECTORS SHALL BE OPERATIONAL WITH RELAY BASES, AUDIBLE BASES, AND REMOTE ROGRAMMABLE BY THE CONTROL PANEL.

KERS: AKERS FULLY ENCLOSED AND DUSTPROOF. DESIGNED TO BE MOUNTED ON A WALL WITH LESS THAN 80" AFF AND NOT GREATER THAN 96" AFF. MOUNT ALL DEVICES AT THE SAME USED FOR LIVING UNITS SHALL BE RATED 90DB AT 10' AND SHALL MOUNT TO A SINGLE

COMPLYING WITH A.D.A. GUIDELINES FOR LIGHT INTENSITY AND THE FOLLOWING: MINIMUM REPETITION RATE OF 1 HZ, NOT EXCEEDING 3 HZ AND A MAXIMUM DUTY H A PULSE DURATION OF .2 SECONDS. EAR WHITE LIGHT.

VISUAL SIGNALS SHALL BE MOUNTED AT A HEIGHT OF MAXIMUM 80 INCHES ABOVE FINISH FLOOR LEVEL, OR SIX INCHES BELOW CEILING LEVEL WHICHEVER IS LOWER. SYNCHRONIZE DEVICES WHEN MULTIPLE DEVICES ARE WITHIN THE SAME LINE OF SIGHT.

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Statement of Intellectual Property

OR "BIDDING / CONSTRUCTION"

OVERED IN	<u>AUXILIARY DEVICES:</u> DEVICES SUCH AS MAGNETIC DOOR HOLDERS, WATER FLOW SWITCHES, TAMPER SWITCHES AND THE LIKE SHALL BE PROVIDED AS REQUIRED.
n system It not	DUCT SMOKE DETECTORS: PROVIDE DETECTORS FOR ALL AIR HANDLING UNITS AS REQUIRED. PHOTOELECTRIC LISTED FOR USE IN DUCT DETECTION. INSENSITIVE TO AIR VELOCITY CHANGES. CAPABLE OF SENSITIVITY TESTED AFTER REMOVAL FROM BASES. REMOTE INDICATING LED PROGRAMMABLE (RESETTABLE) FROM CENTRAL PANEL. (WALL OR CEILING MOUNTED – COORDINATE WITH ARCHITECT).
	INSTALLATION: THE SYSTEM AS DESCRIBED SHALL BE INSTALLED, TESTED, AND APPROVED BY THE AHJ. THE SYSTEM SHALL INCLUDE ALL THE REQUIRED HARDWARE, RACEWAYS, INTERCONNECTING WIRING AND SOFTWARE TO ACCOMPLISH THE INTENT OF THESE SPECIFICATIONS AND THE CONTRACT DOCUMENTS, WHETHER OR NOT SPECIFICALLY ITEMIZED HEREIN.
F NFPA 72	ALL EQUIPMENT FURNISHED SHALL BE NEW AND INCLUDE THE LATEST STATE OF THE ART PRODUCTS FROM A SINGLE MANUFACTURER, ENGAGED IN THE MANUFACTURING AND SALE OF FIRE DETECTION SYSTEMS FOR OVER FIVE YEARS. THE INSTALLING CONTRACTOR SHALL CONTRACT WITH A SINGLE SOURCE FOR SUPPLYING DEVICES/MATERIALS, SERVICES, AND PROGRAMMING, INCLUDING FINAL INSPECTION/TEST SERVICES FOR THE FIRE ALARM SYSTEM.
PARE THE DEVICE	CONTROL AND OTHER PANELS SHALL BE MOUNTED WITH SUFFICIENT CLEARANCE FOR OBSERVATION AND TESTING. ALL FIRE ALARM JUNCTION BOXES MUST BE CLEARLY MARKED FOR EASY IDENTIFICATION.
-BUILD FIRE D, TO E AND	FIRE ALARM PULL STATIONS AND HORNS INSTALLED IN FINISHED AREAS SHALL BE MOUNTED SEMI-FLUSH AND MAY BE SURFACE MOUNTED IN EXISTING AND NON-FINISHED AREAS. SMOKE DETECTORS AND THERMAL DETECTORS SHALL BE MOUNTED ON A RECESS MOUNTED JUNCTION BOX IN FINISHED AREAS AND TO SURFACE MOUNTED JUNCTION BOXES IN NON-FINISHED AREAS.
TH OTHER	INSTALL MANUAL STATION FLUSH MOUNTED WITH OPERATING HANDLE 48 INCHES ABOVE FLOOR. INSTALL AUDIBLE AND VISUAL SIGNAL DEVICES NO MORE THAN 80 INCHES ABOVE HIGHEST FLOOR LEVEL OR 6 INCHES BELOW THE CEILING, WHICHEVER IS LOWER.
END	MOUNT OUTLET BOX FOR ELECTRIC DOOR HOLDER TO WITHSTAND 80 POUNDS PULLING FORCE.
	<u>WIRING:</u> ALL FIRE ALARM WIRING SHALL BE RUN IN A DEDICATED RACEWAY SYSTEM APPROVED BY THE AHJ. WITH APPROVAL OF LANDLORD AND THE AHJ, PLENUM RATED WIRING MAY BE RUN WITHOUT RACEWAYS ABOVE ACCESSIBLE FINISHED CEILINGS.
SELECTED	WHERE EXPOSED RACEWAY IS PERMITTED BY ARCHITECT IN FINISHED SPACES, SUCH AS IN EXISTING CONSTRUCTION, COORDINATE APPROVAL OF RACEWAY TYPE, ROUTING AND FINISH WITH THE AHJ AND WITH THE ARCHITECT.
	NO WIRING OTHER THAN THAT DIRECTLY ASSOCIATED WITH FIRE ALARM DETECTION, ALARM OR AUXILIARY FIRE PROTECTION FUNCTIONS SHALL BE PERMITTED IN FIRE ALARM CONDUITS. WIRING SPLICES ARE TO BE AVOIDED TO THE EXTENT POSSIBLE, AND IF NEEDED THEY MUST BE MADE ONLY IN JUNCTION BOXES AND SHALL BE CRIMP CONNECTED. TRANSPOSING OR CHANGING COLOR CODING OF WIRE SHALL NOT BE PERMITTED. ALL CONDUCTORS IN CONDUIT CONTAINING MORE THAN ONE WIRE SHALL BE LABELED AND HARNESSED SO THAT EACH DROPS OFF DIRECTLY OPPOSITE TO ITS TERMINAL. ALL WIRING SHALL BE CHECKED AND TESTED TO INSURE THAT THERE ARE NO GROUNDS, OPENS, OR SHORTS.
IED OR	TESTING, APPROVAL AND CERTIFICATION: FIRE ALARM SYSTEM SHALL BE TESTED IN PRESENCE OF LOCAL INSPECTING AUTHORITY AND TEST REPORT OF RESULTS SHALL BE FILED WITH OWNER/ARCHITECT/ENGINEER AS PART OF SYSTEMS DOCUMENTATION.
	MAKE ALL REVISIONS OR CHANGES NECESSARY TO MAINTAIN FINAL APPROVAL AT NO EXTRA COST TO OWNER.

PROVIDE ALL PERSONNEL AND MATERIALS REQUIRED FOR SYSTEM TESTING.

City of Dexter

OWNER

PROJECT NAME

New City Ha Renovations

PROJECT NO.

21-113

ISSUES / REVISIONS Permits

12/22/2021

DRAWN BY SM

CHECKED BY MJM

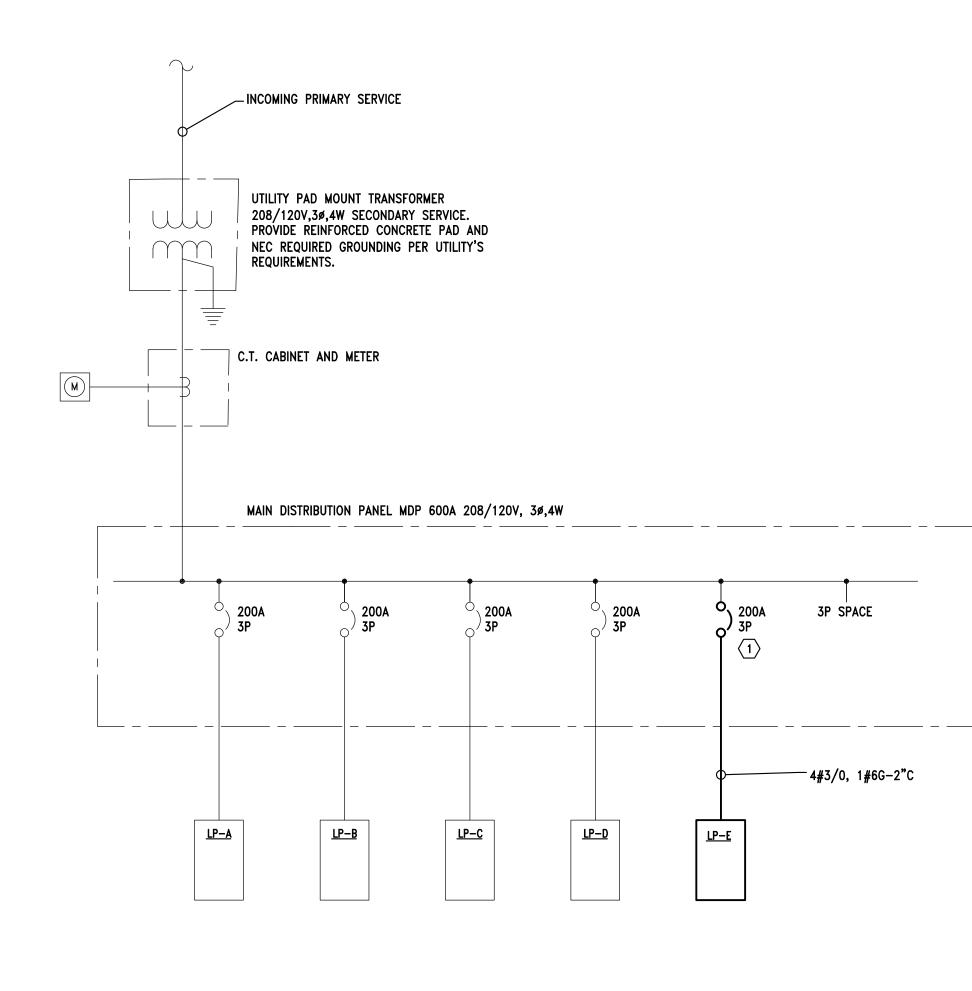
APPROVED BY MJM

SHEET NAME

ELECTRICA SPECIFIC







 $\langle 2 \rangle$ ONE LINE DIAGRAM NO SCALE

KEY NOTES:

 $\langle 1 \rangle$ provide new circuit breaker in existing space.

 $\langle 2 \rangle$ all new work is shown bold.

ТҮРЕ	
L1	4"H X 4"W X LENGTH A DIRECT/INDIRECT LEE FINISH, FLUSH FROST
L2	FOCAL POINT SEEM 4 FINELITE HP-4 SERIES APPROVED EQUAL 4.5"H X 2"W X LENGTH FIXTURE WITH EXTRU WHITE DIFFUSERS, MI
	FOCAL POINT SEEM 2 FINELITE HP-2 SERIES APPROVED EQUAL
L3	SAME AS TYPE L2 EXC
L4	FOCAL POINT SEEM 2 FINELITE HP-2 SERIES APPROVED EQUAL
	DIRECT/INDIRECT LED FINISH, FLUSH FROST
L5	FOCAL POINT SEEM 2 FINELITE HP-2 SERIES APPROVED EQUAL 6" DIAMETER LED REC MEDIUM WIDE DISTRIE
	SPECULAR, MULTI-VO
	GOTHAM EVO6 SERIES APPROVED EQUAL
L6	2X2 LAY-IN RECESSED DOOR FRAME, ACRYL
	LITHONIA 2GTL SERIES APPROVED EQUAL
L7	4" DIAMETER CONAL T WHITE FINISH, NARRO SINGLE CIRCUIT TRAC
	JUNO 27W CONIX II LE APPROVED EQUAL
L8	8.7''W X 5.35'' H X 3.21''I SATIN CHROME FINISH
	EUREKA BOX 3414B S APPROVED EQUAL
L9	8"H X 11" W X 3"DP WA HOUSING, FINISH SELE EMERGENCY BATTER
	LITHONIA WPX LED P1 APPROVED EQUAL
X1	LED EXIT LIGHT FIXTUR LETTERS, MOUNTING , NICAD BATTERY FOR BATTERY CHARGER, N
"E"	LITHONIA LQM SERIES DUALLITE EQUAL SURELITE EQUAL SAME AS FIXTURE TYF
SUFFIX	TRANSFER DEVICE TO OPERATION AND AUTO BATTERY WITH 90 MIN INTEGRAL CHARGER.
	BODINE IOTA
1. INSTA	LL ALL FIXTURES AS D
	R TO ARCHITECTURAL LL REMOTE DRIVERS I
	E FROM LAMP SOURC
H. FRUV	

		WATTS PER	
DESCRIPTION	LAMPING	FIXTURE	REMARKS
TH AS INDICATED ON PLAN SUSPENDED LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, WHITE DSTED WHITE DIFFUSERS, MULTI-VOLT 0-10V DIMMING DRIVER.	1000 LUMENS DIRECT, 275 LUMENS INDIRECT PER LINEAR FOOT 3500K, 80 CRI	12W PER LINEAR FOOT	AIRCRAFT CABLE SUSPENSION, HEIGHT AS DIRECTED BY ARCHITECT
EM 4 SERIES RIES L	3300K, 80 CKI		
GTH AS INDICATED ON PLAN SUSPENDED LINEAR DIRECT LED RUDED ALUMINUM HOUSING, WHITE FINISH, FLUSH FROSTED 8, MULTI-VOLT 0-10V DIMMING DRIVER.	500 LUMENS PER LINEAR FOOT, 3500K, 80 CRI	4.5W PER LINEAR FOOT	AIRCRAFT CABLE SUSPENSION, HEIGHT AS DIRECTED BY ARCHITECT
M 2 SERIES IES			
EXCEPT RECESSED MOUNTING.	500 LUMENS PER LINEAR FOOT, 3500K, 80 CRI	4.5W PER LINEAR FOOT	
M 2 SERIES NES -			
GTH AS INDICATED ON PLAN SUSPENDED LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, WHITE DISTED WHITE DIFFUSERS, MULTI-VOLT 0-10V DIMMING DRIVER.	625 LUMENS DIRECT, 250 LUMENS INDIRECT PER LINEAR FOOT 3500K, 80 CRI	8W PER LINEAR FOOT	AIRCRAFT CABLE SUSPENSION, HEIGHT AS DIRECTED BY ARCHITECT
RES -			
RECESSED DOWNLIGHT FIXTURE WITH STEEL HOUSING, RIBUTION, FLUSH LENS, SELF-FLANGED, CLEAR SEMI- VOLT 0-10V DIMMING DRIVER.	2000 LUMENS, 3500K, 80 CRI	20W	
RIES -			
SED LED TROFFER WITH STEEL HOUSING, FLUSH WHITE RYLIC PRISMATIC LENS, MULTI-VOLT 0-10V DIMMING DRIVER.	3300 LUMENS, 3500K, 80 CRI	31W	
RIES -			
AL TRACK HEAD WITH STEEL HOUSING, CLEAR GLASS LENS, ROW FLOOD DISTRIBUTION, DIMMING DRIVER, COMPATIBLE RACK LENGTH AS INDICATED.	1928 LUMENS 3500K, 90 CRI	27.4W	SUSPEND TRACK AS DIRECTED BY ARCHITECT
I LED SERIES -			
21"DP WALL MOUNT LED DIRECT/INDIRECT SCONCE WITH	1020 LUMENS,	12W	
NSH, FROSTED ACRYLIC DIFFUSERS, 0-10V DIMMING DRIVER. B SERIES	3500K, 85 CRI		
-			
WALL MOUNT LED FIXTURE WITH DIE-CAST ALUMINUM ELECTED BY ARCHITECT, IP66 RATED, INTEGRAL ERY FOR 90 MINUTE MINIMUM EMERGENCY OPERATION.	1550 LUMENS, 3000K	11W	CONNECT EMERGENCY FUNCTION AHEAD OF SWITCH CONTROL.
) P1 SERIES -			
TURE WITH WHITE POLYCARBONATE HOUSING, RED NG AND ARROWS AS INDICATED WITH SELF-CONTAINED OR 90 MINUTES MINIMUM EMERGENCY OPERATION, INTEGRAL R, MULTI-VOLT DRIVER AND SELF-DIAGNOSTICS.		1W	CONNECT TO NEAREST LOCAL LIGHTING CIRCUIT AHEAD OF LIGHTING CONTROL.
RIES			
TYPE INDICATED TOGETHER WITH INTEGRAL BATTERY AND E TO ALLOW FULL CONTROL DURING NORMAL POWER AUTOMATIC FULL BRIGHT DURING POWER FAILURE. PROVIDE MINUTES MINIMUM OPERATION AND SELF-DIAGNOSTICS AND ER.			CONNECT TO NEAREST LOCAL LIGHTING CIRCUIT AHEAD OF LIGHTING CONTROL.

NOTES:

S AS DIRECTED BY CORRESPONDING ARCHITECTURAL DETAIL FOR THAT PARTICULAR FIXTURE TYPE. FURAL REFLECTED CEILING PLAN FOR EXACT LIGHT FIXTURE LOCATION.

ERS HIDDEN IN ACCESSIBLE LOCATIONS WITHOUT EXCEEDING MANUFACTURERS RECOMMENDATIONS FOR MAXIMUM URCE. COORDINATE ALL DRIVER LOCATIONS WITH ARCHITECT.

4. PROVIDE DIMMERS COMPATIBLE WITH LAMP TYPE AND DRIVER TYPE SPECIFIED.

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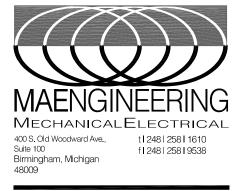


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City of Dexter

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PROJECT NO.

21-113

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LIGHT FIXTURE SCHEDULE, ONE LINE DIAGRAM



PANEL: EXISTING MDP VOLTAGE: 208Y/120V, 3 PHASE, 4 WIRE + G MAIN: 600 A MLO								ounting: AIC: Feeder: Quipped:	EXISTING EXISTING	_		
Circ	Brea	aker	Load Information					Amps				
No	Pole	Trip	Locati	on/Descrip	tion			FEEDER:			Conn	Dem
1	3	200	EXIST	ING LP-A				EXISTING			38.9	38.9
2	3	200	EXIST	ING LP-B				EXISTING			69.0	69.0
3	3	200	EXIST	ING LP-C				EXISTING			62.5	62.5
4	3	200	EXIST	ING LP-D				EXISTING			93.0	93.0
5	3	200	LP-E	- NOTE 3				REFER T	O ONE LIN	NE DIAG.	105.9	105.9
6	3											
CONNECTED KVA: CONNECTED AMPS:							133.0			Tatala	200.0	200.0
				C	DEN	MAND kva:	369.2 133.0			Totals:	369.2	369.2
					DEMA	ND AMPS:	369.2					

NOTES: 1. ALL WORK SHOWN BOLD IS NEW. 2. REPLACE CIRCUIT AS INDICATED.

3. PROVIDE NEW CIRCUIT BREAKER IN EXISTING SPACE.

PA		TAGE:	EXISTING LP-A 208Y/120V, 3 PHASE, 4 WIRE + G 200 A MCB	Mounting: Existing AIC: Existing Feeder: Existing SPD Equipped: No		
Circ	Bre	aker	Load Information		Co	
No	Pole	Trip	Description			
1			SPACE			
3			SPACE			
5			SPACE			
7			SPACE			
9			SPACE			
11			SPACE			
13			SPACE			

5			SPACE		
7			SPACE		
9			SPACE		
11			SPACE		
13			SPACE		
15			SPACE		
17			SPACE		
19			SPACE		
21			SPACE		
23			SPACE		
25			SPACE		
27			SPACE		
29	1	20	EXISTING LOAD		
31	1	20	EXISTING LOAD	1000	
33	1	20	EXISTING LOAD		1000
35	1	20	EXISTING LOAD		
37			SPACE		
39			SPACE		
41			SPACE		
2			SPACE		
4			SPACE		
6			SPACE		
8			SPACE		
10			SPACE		
12			SPACE		
14			SPACE		
16			SPACE		
18			SPACE		
20			SPACE		
22			SPACE		
24			SPACE		
26			SPACE		
28			SPACE		
30			SPACE		
32	1	20	EXISTING LOAD	1000	
34	1	20	EXISTING LOAD		1000
36	1	20	EXISTING LOAD		
38	1	20	EXISTING LOAD	1000	
40	2	60	SHED PANEL		3000
42	2	00			
			CONNECTED KW: 14		
			CONNECTED AMPS: 39 Phase Watts:	3,000	5,000
			DEMAND KW: 14		
			DEMAND AMPS: 39		
NOTE	S.			-	

NOTES: 1. ALL WORK SHOWN BOLD IS NEW. 2. REPLACE CIRCUIT AS INDICATED.

3. PROVIDE NEW CIRCUIT BREAKER IN EXISTING SPACE.

PAI		FAGE:	LP-E MOUNTING: SURFACE 208Y/120V, 3 PHASE, 4 WIRE + G AIC: 10,000 200 A MLO FEEDER: REFER T SPD EQUIPPED: NO		e diagra	
Circ	Brea	aker	Load Information	Connected V		
No	Pole	Trip	Description	Phase A	Phase B	
1	1		RECEPTACLES	900		
3	1		MONITOR		240	
5	1	20	RECEPTACLES			
7	1		RECEPTACLES	360		
9	1		RECEPTACLES		900	
11	1	20	RECEPTACLES	••••••		
13	1	20	RECEPTACLES	900		
15	1		SPARE			
17	1	20	SPARE			
19	1		SPARE			
21 23	2	20	EUH-1		1500	
25			SPACE			
27			SPACE			
29			SPACE	•••••••••••••••••••••••••••••••••••••••		
31			SPACE			
33			SPACE			
35			SPACE			
37			SPACE			
39			SPACE			
41			SPACE			
2 4	3	35	ELEVATOR	2640	2640	
6 8	2	40	HP-1-0, HP-1A-I, HP-1B-I	2950	0050	
10 12 14	2	30	HP-4-0, HP-4-I	2396	2950	
14 16 18	2	30	HP-3-0, HP-3-I		2396	
20 22	2	30	HP-2-0, HP-2-I	2396	2396	
24 26	2	15	ERV-1	1011		
28	1	20	SPARE			
30	1	20	SPARE			
32	1	20	SPARE			
34	1	20	SPARE			
36	1	20	SPARE			
38	1	20	SPARE			
40	1	20	SPARE			
42	1	20	SPARE			
			CONNECTED KW: 38 CONNECTED AMPS: 106 Phase Watts: DEMAND KW: 38 DEMAND AMPS: 106	13,553	13,022	

	PA		TAGE:	EXISTING LP-B MOUNTING: EXISTING 208Y/120V, 3 PHASE, 4 WIRE + G 200 A MLO FEEDER: EXISTING SPD EQUIPPED: NO			
tts	Circ	Brea	aker	Load Information	Co	nnected W	atts
Phase C	No	Pole		Description	_	Phase B	
	1	1	20	EXISTING LOAD	500	T Hube D	T Habe o
	3	1	20	EXISTING LOAD		500	
	5	1	20	EXISTING LOAD			500
	7	1	20	EXISTING LOAD	500		
	9	1	20	EXISTING LOAD		500	
	11	1	20	EXISTING LOAD			500
	13 15	2	50		3000	3000	
	17	1	20	EXISTING LOAD			500
	19	1	20	EXISTING LOAD	500		
	21	1	15	EXISTING LOAD		500	
	23	1	20	LIGHTING - NOTE 3			1040
	25	1	-	LIGHTING - NOTE 3	324		
	27	· ·		SPACE			
1000	29			SPACE			
	31			SPACE			
	33			SPACE			
1000	35			SPACE			
	37			SPACE	000000000000000000000000000000000000000		
	39			SPACE			
	41			SPACE			
	2	1	20	EXISTING LOAD	500		
	4	1	-	EXISTING LOAD	000	500	
	6	1	15	EXISTING LOAD		000	500
	8	1	20	EXISTING LOAD	500		000
	10	1	20	EXISTING LOAD	000	500	
	12	1	20	EXISTING LOAD		000	500
	14	1	20	EXISTING LOAD	500		000
	16	1	20	EXISTING LOAD	000	500	
	18	1	20	EXISTING LOAD			500
	20	1	20	EXISTING LOAD	500		000
	22	1	20	REFRIGERATOR		1000	
	24	1		MICROWAVE		1000	1000
	26 28	2	30	TECHNOLOGY ROOM RECEPTACLE	1500	1500	
	30 32	2	30	TECHNOLOGY ROOM RECEPTACLE	1500		1500
	34	1		SPACE			
1000	36	1		SPACE			
	38	1		SPACE			
	40	1		SPACE			
3000	42	1		SPACE			
6,000				CONNECTED KW: 25 CONNECTED AMPS: 69 Phase Watts: DEMAND KW: 25	9,824	8,500	6,540
	NOTE			DEMAND AMPS: 69			

PA		TAGE:	EXISTING LP-C MOUNTING: EXISTING 208Y/120V, 3 PHASE, 4 WIRE + G 200 A MLO FEEDER: EXISTING SPD EQUIPPED: NO			
Circ	Bre	aker	Load Information	Co	nnected W	atts
No	Pole		Description	Phase A	Phase B	
1	1		EXISTNG LOAD	500		
3	1		EXISTING LOAD		500	
5	1	_	EXISTING LOAD			50
7 9	2		CONDENSING UNIT	3000	3000	
11	1	20	EXISTING LOAD			50
13	1	20	EXISTING LOAD	500		
15	1	20	EXISTING LOAD	000	500	
17	1		EXISTING LOAD			50
19	1		EXISTING LOAD	500		
21	1	20	EXISTING LOAD		500	
23	1		EXISTING LOAD			50
25			SPACE			
27			SPACE			
29			SPACE			
31			SPACE			
33			SPACE			
35			SPACE			
37			SPACE			
39			SPACE	1		
41			SPACE			
2	1	20	EXISTING LOAD	500		
4	1	20	EXISTING LOAD	000	500	
6	1	20	EXISTING LOAD			50
8	1	20	EXISTING LOAD	500		
10	1	20	EXISTING LOAD	000	500	
12	1	20	EXISTING LOAD		000	50
14	1	20	EXISTING LOAD	500		00
16	1	20	EXISTING LOAD	000	500	
18 20	2	-	EXISTING LOAD	500		50
22	1	20	EXISTING LOAD		500	
24 26	2	-	CONDENSING UNIT	3000		300
28			SPACE	0000		
30			SPACE			
32			SPACE		*****	
34			SPACE	1	{	
36		1	SPACE			
38			SPACE			
40			SPACE			
42			SPACE			
			CONNECTED KW: 23 CONNECTED AMPS: 62 Phase Watts: DEMAND KW: 23 DEMAND AMPS: 62	9,500	6,500	6,50

NOTES:

1. ALL WORK SHOWN BOLD IS NEW.

2. REPLACE CIRCUIT AS INDICATED. 3. PROVIDE NEW CIRCUIT BREAKER IN EXISTING SPACE.

NOTES: 1. ALL WORK SHOWN BOLD IS NEW.

REPLACE CIRCUIT AS INDICATED.
 PROVIDE NEW CIRCUIT BREAKER IN EXISTING SPACE.

AM /atts Phase C 1080 1500 2640 2396 2396 1011 11,563

nnected Watts Phase B Phase

PA			EXISTING LP-D MOUNTING: EXISTING	i				
1	VOLT	FAGE:	208Y/120V, 3 PHASE, 4 WIRE + G AIC: EXISTING	ì				
		MAIN:	200 A MLO FEEDER: EXISTING	ì				
			SPD EQUIPPED: NO					
Circ	Brea	aker	Load Information	Connected Watts				
No	Pole	Trip	Description	Phase A	Phase B	Phase C		
1	1	20	EXISTING LOAD	500				
3	1	20	EXISTING LOAD		500			
5	1	20	EXISTING LOAD			500		
7	1	20	EXISTING LOAD	500				
9	1	20	EXISTING LOAD		500			
11	1	20	EXISTING LOAD			500		
13	1	20	EXISTING LOAD	500				
15	1	20	EXISTING LOAD		500			
17	1	20	EXISTING LOAD			500		
19	1	20	EXISTING LOAD	500				
21	1	20	EXISTING LOAD		500			
23	1	20	EXISTING LOAD			500		
25	1	20	EXISTING LOAD	500				
27	1	20	EXISTING LOAD		500			
29 31	2	30	SPARE					
33	1	20	AC-01 FURNACE		1000			
35	1	20	AC-02 FURNACE			1000		
37	1	20	AC-03 FURNACE	1000				
39	1	20	AC-04 FURNACE		1000			
41	1	20	AC-05 FURNACE			1000		
2	1	20	EXISTING LOAD	500				
4	1	20	EXISTING LOAD		500			
6	1	20	EXISTING LOAD			500		
8	1	20	EXISTING LOAD	500				
10	1	20	EXISTING LOAD		500			
12	1	20	EXISTING LOAD			500		
14	1	20	EXISTING LOAD	500				
16	1	20	EXISTING LOAD		500			
18	1	20	EXISTING LOAD			500		
20	1	20	EXISTING LOAD	500				
22	1	20	EXISTING LOAD		500			
24 26	2	20	CU-01 CONDENSING UNIT	1000		1000		
28 30	2	20	CU-02 CONDENSING UNIT		1000	1000		
32 34	2	30	CU-03 CONDENSING UNIT	2000	2000			
36	2	30	CU-04 CONDENSING UNIT	00000	2000	2000		
38 40	2	30	CU-05 CONDENSING UNIT	2000	2000			
42	-	50				2000		
			CONNECTED KW: 34 CONNECTED AMPS: 93 Phase Watts:	10,500	11,500	11,500		
			DEMAND AMPS: 02					
NOTE			DEMAND AMPS: 93	I				

NOTES:

1. ALL WORK SHOWN BOLD IS NEW. 2. REPLACE CIRCUIT AS INDICATED. 3. PROVIDE NEW CIRCUIT BREAKER IN EXISTING SPACE.

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21-113

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12/22/2021

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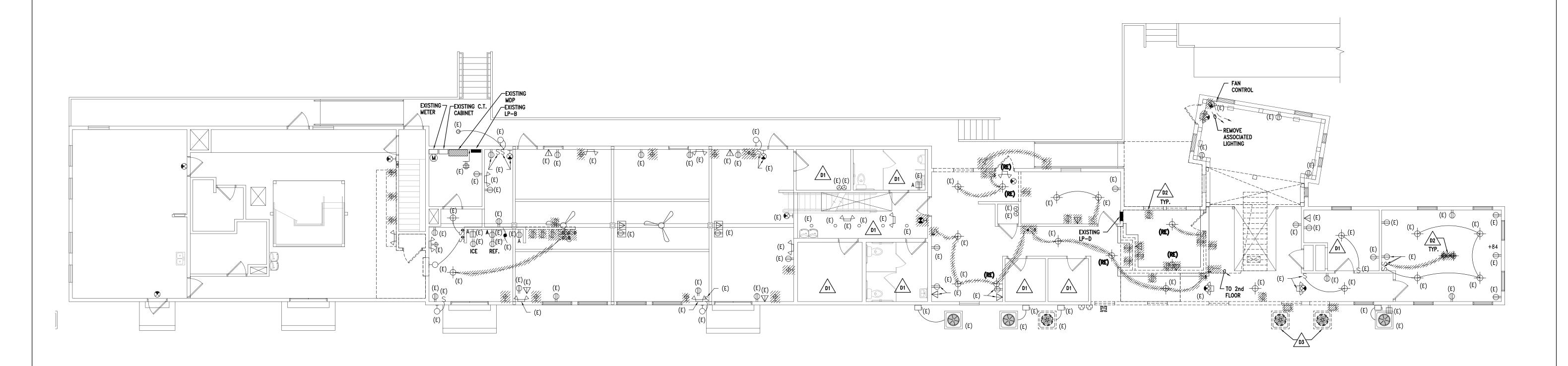
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ELECTRICAL PANELS SCHEDULES





<u>KEY NOTES :</u>

 $\overrightarrow{\text{D1}}$ no work in this room.

D2 REMOVE ALL EQIPMENT SHOWN HATCHED INCLUDING WIRE AND CONDUIT BACK TO SOURCE. MAINTAIN CIRCUITING TO DEVICES REMAINING.

D3 CONDENSING UNITS TO BE RELOCATED.



PARTNERS

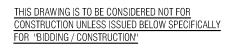


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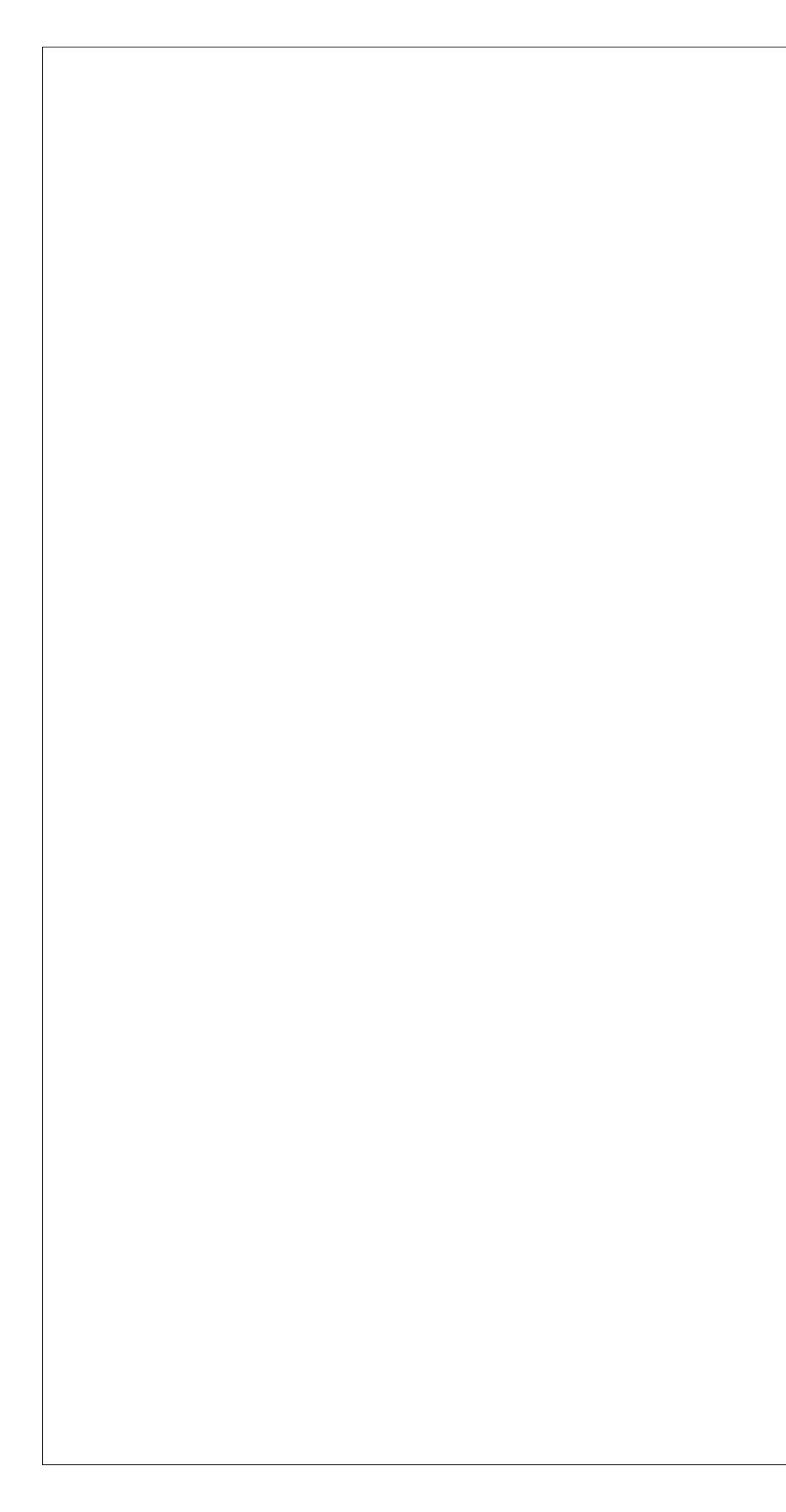
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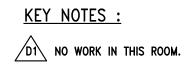
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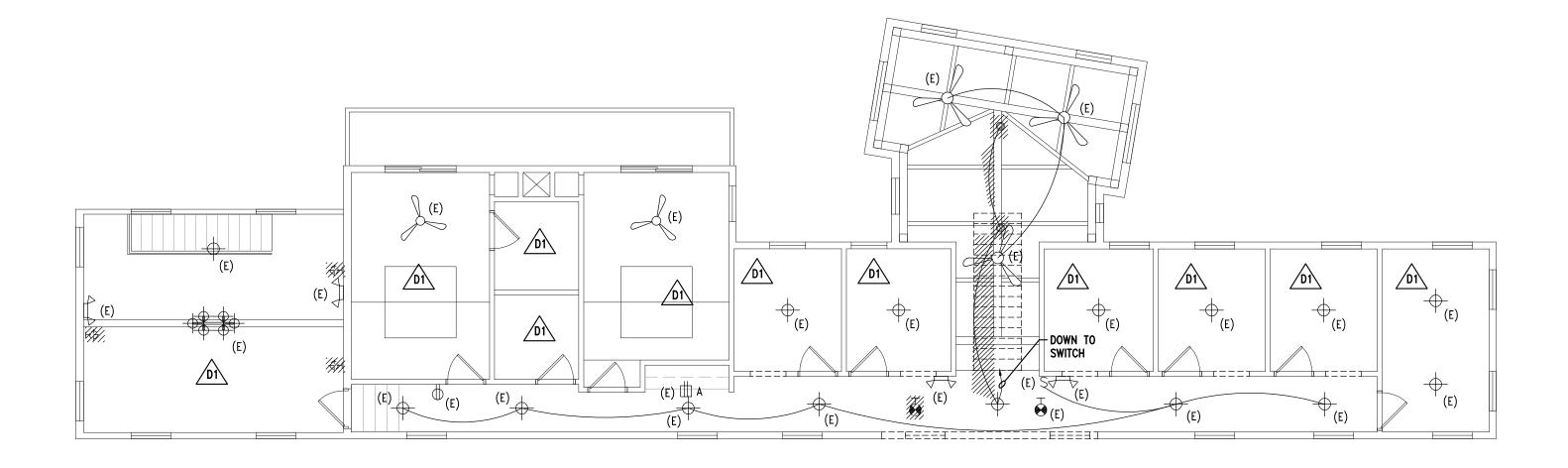
SHEET NAME

MAIN LEVEL DEMO PLAN



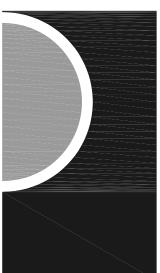








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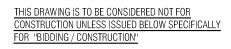


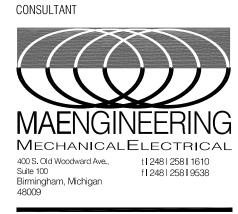
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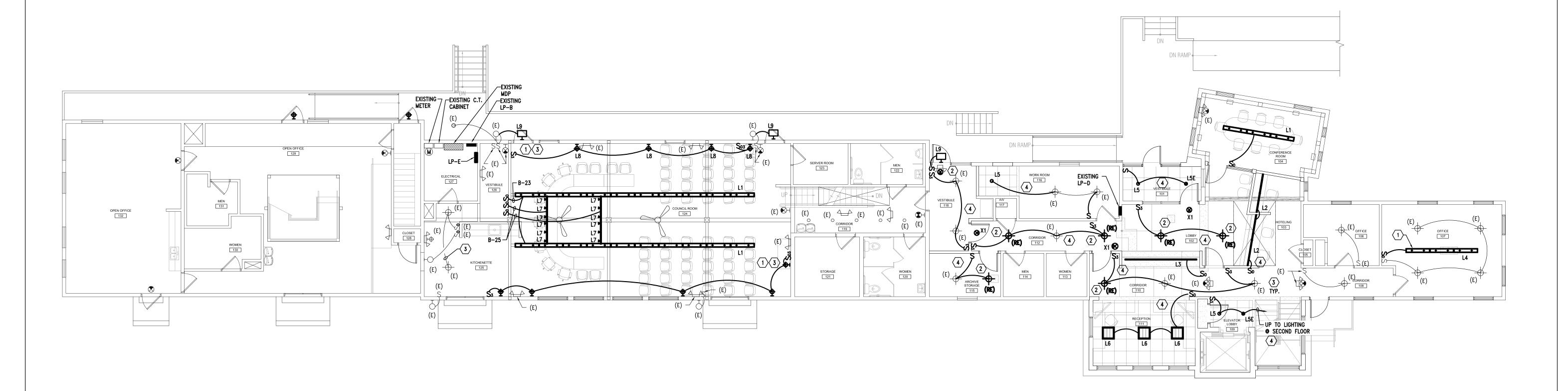
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MJM SHEET NAME

SECOND LEVEL DEMO PLAN

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SHEET NO.
ED-02
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<u>KEY NOTES :</u>

- $\langle 1 \rangle$ connect to existing circuit.
- $\langle 2 \rangle$ new location for salvaged light fixture.
- $\overline{3}$ RE-CONFIGURE LIGHTING CONTROL AS INDICATED.
- **4** RE-WORK LIGHTING CIRCUITS TO ACCOMMODATE NEW LIGHTING LAYOUT UNLESS OTHERWISE NOTED.



PARTNERS

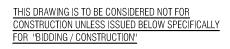


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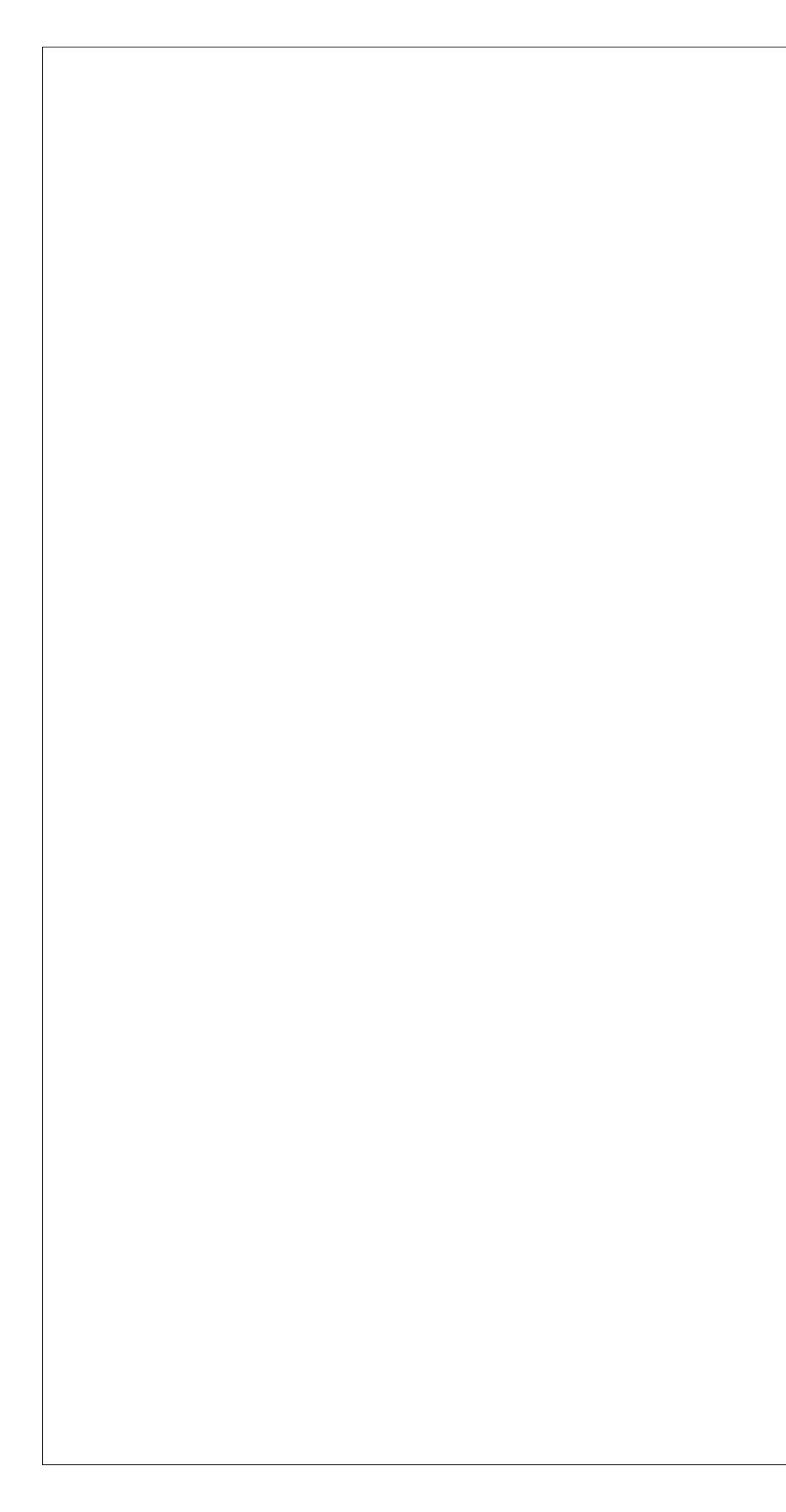
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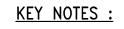
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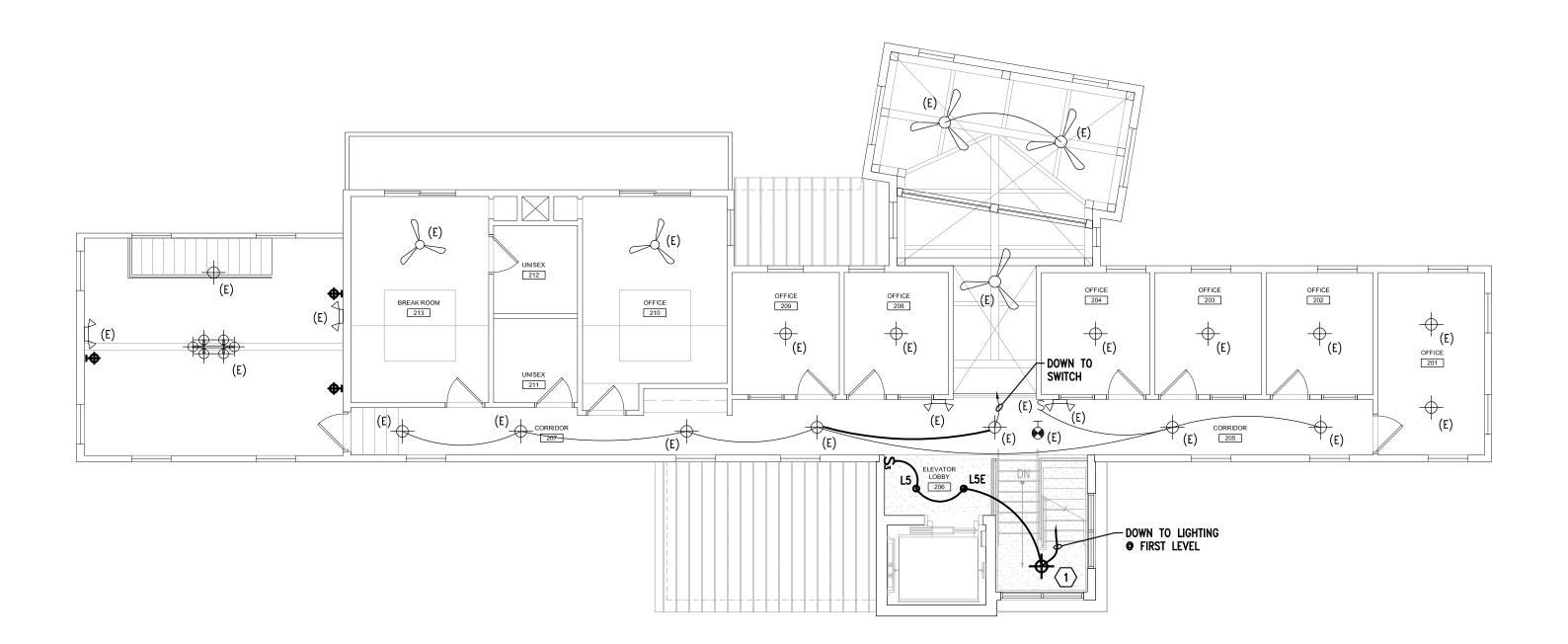
MAIN LEVEL LIGHTING PLAN





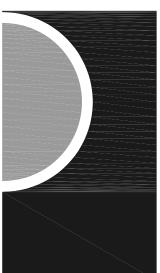


 $\langle 1 \rangle$ relocate "artichoke" fixture from area "c". Adjust suspension for 6'-8" CLEAR AFF.





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KEY PLAN

OWNER

City of Dexter

PROJECT NAME

New City Hall Renovations

PROJECT NO.

21-113

ISSUES / REVISIONS Permits

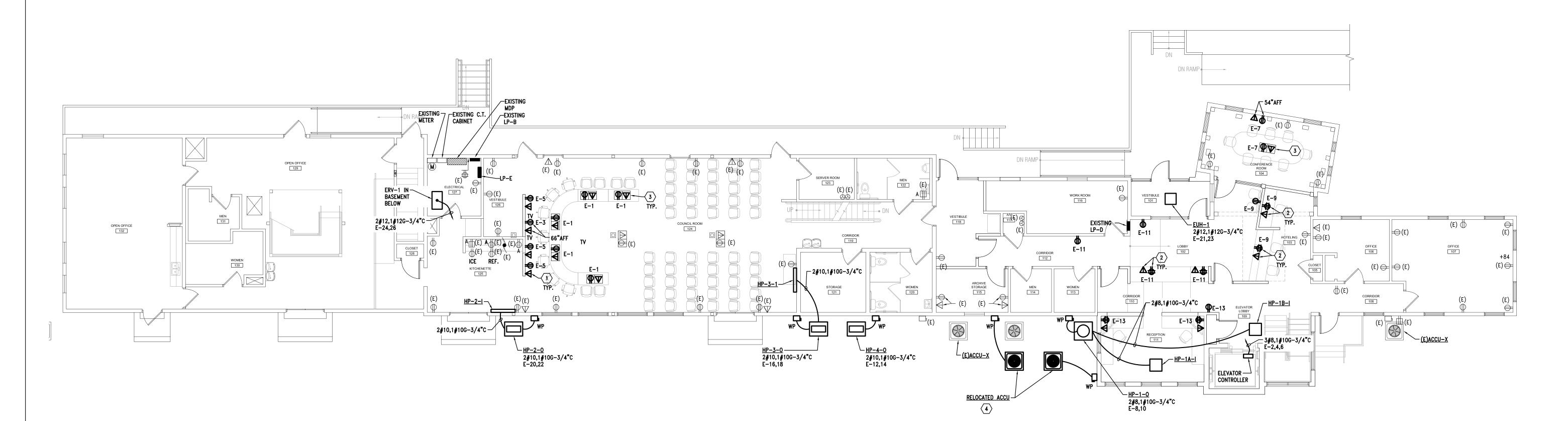
12/22/2021

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SHEET NAME

SECOND LEVEL LIGHTING PLAN

sheet no. E1-02





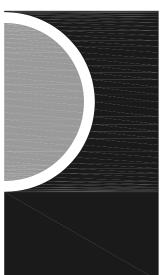
- (4) RELOCATE DISCONNECT FROM EXISTING LOCATION PROVIDE NEW WIRING FROM SAME CIRCUIT TO NEW LOCATION. VERIFY SIZE OF WIRE AND SOURCE IN FIELD.
- ARCHITECT. LEGRAND WIREMOLD 880 SERIES.
- $\overline{3}$ FLUSH FLOOR 2-GANG BOX WITH 1-20A-125V. DUPLEX RECEPTACLE AND DATA OUTLETS, RECTANGULAR FLIP COVER FOR EACH GANG, FINISH AS SELECTED BY

 $\langle 1 \rangle$ provide with 3/4"C stubbed into ceiling area of basement below.

<u>KEY NOTES :</u>

 $\langle 2 \rangle$ locate devices beneath counter.

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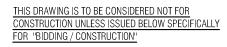


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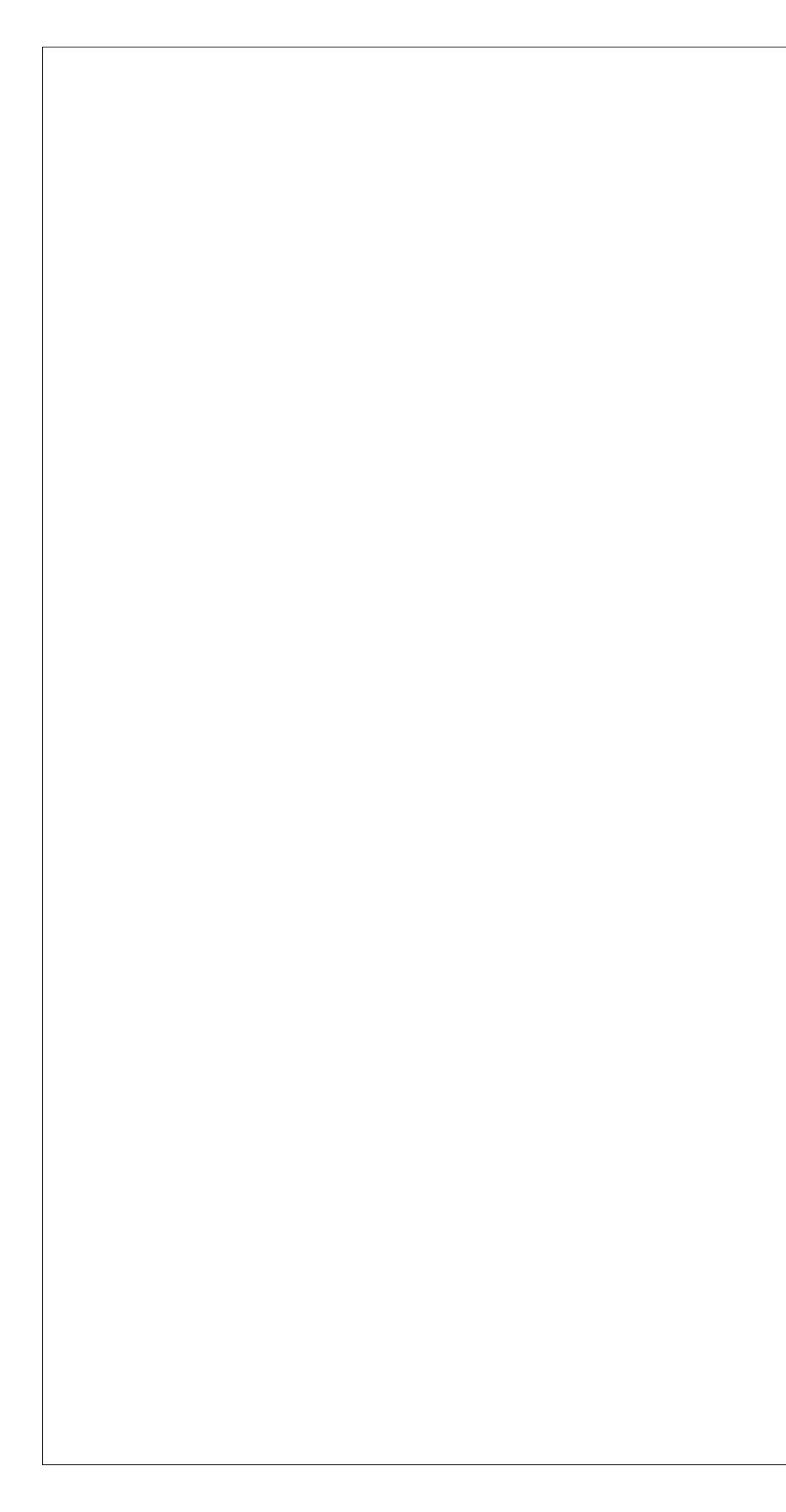
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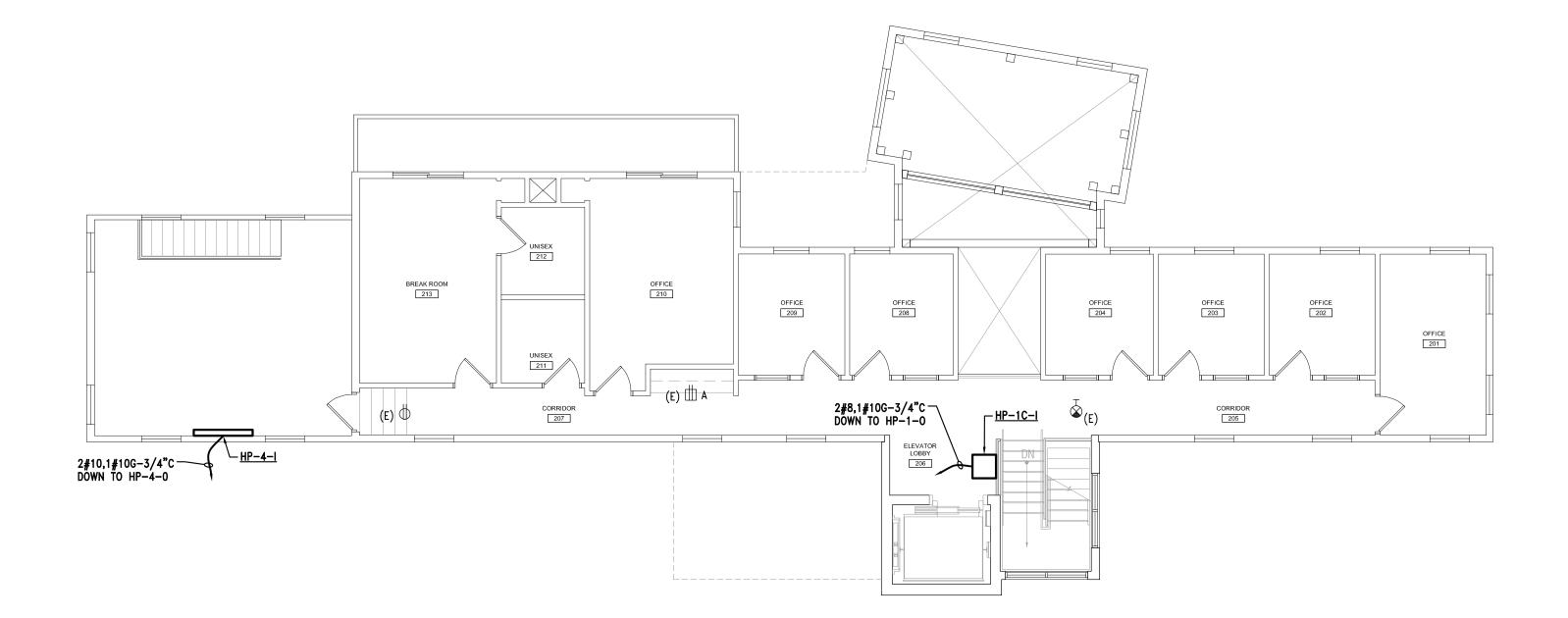
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MAIN LEVEL POWER PLAN









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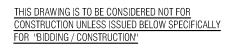


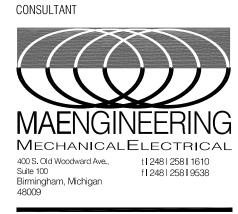
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SECOND LEVEL POWER PLAN

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sheet no.
E2-02
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