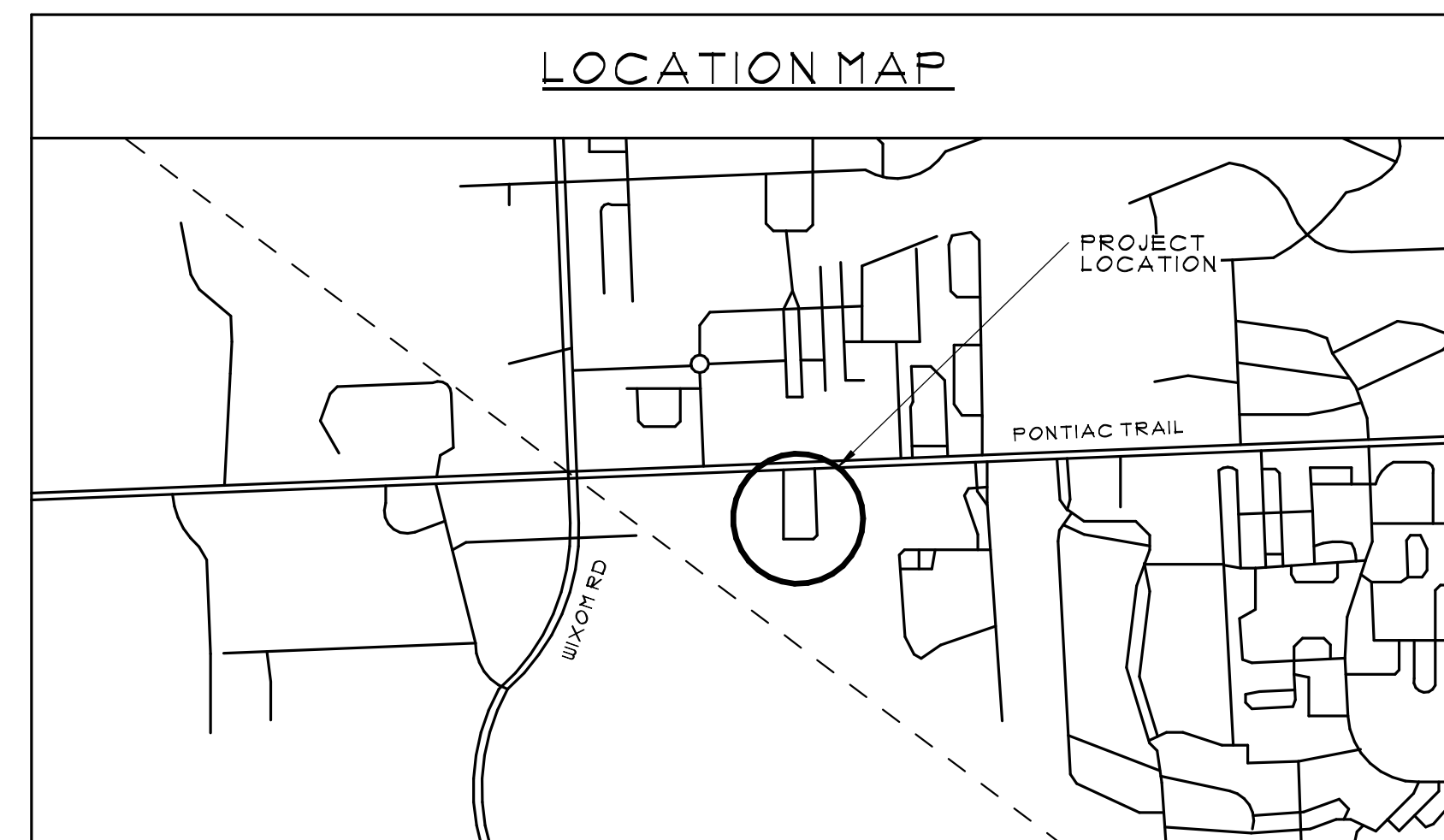


# CITY OF WIXOM RENOVATION PROJECTS

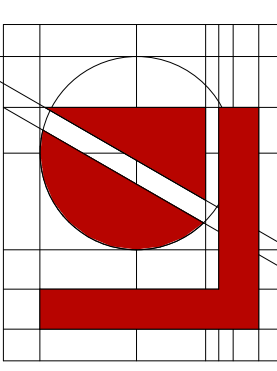


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OWNER REP.:  
TIM SIKMA  
CITY OF WIXOM  
DPW



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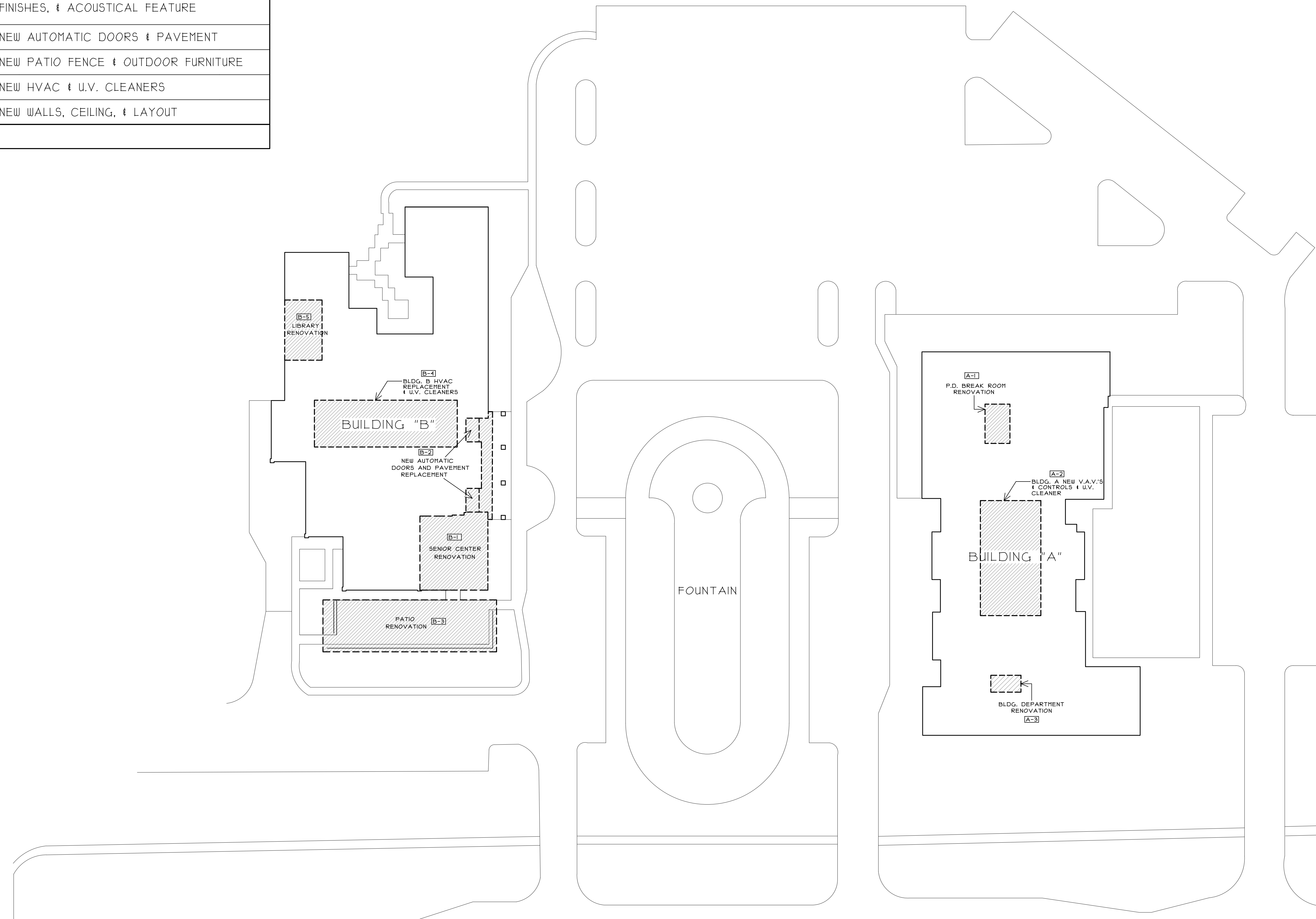
INTERIOR RENOVATION for:  
**Wixom P.D. Break Room**  
Wixom, MI  
**COVER SHEET**

CV  
23016

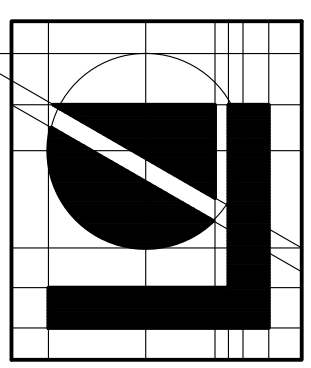
TAG	ROOM NAME	PROJECT DESCRIPTION
A-1	P.D. BREAKROOM	NEW CABINETRY, ROOM EXPANSION
A-2	V.A.V. SYSTEM	NEW V.A.V.'S, CONTROLS, & U.V. CLEANER
A-3	BUILDING DEPARTMENT	NEW CABINETRY, WINDOW & INTERIOR FINISHES
B-1	SENIOR CENTER	INTERIOR RENOVATION, NEW SMALLER DOOR, FINISHES, & ACOUSTICAL FEATURE
B-2	ENTRY VESTIBULE	NEW AUTOMATIC DOORS & PAVEMENT
B-3	PATIO	NEW PATIO FENCE & OUTDOOR FURNITURE
B-4	HVAC SYSTEM	NEW HVAC & U.V. CLEANERS
B-5	LIBRARY-YA & STUDY ROOM	NEW WALLS, CEILING, & LAYOUT

2  
P.M.L.O. RENOVATION SCHEDULE

LINE LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
	HIDDEN WORK
	EXISTING TO BE REMOVED



FILE LOCATION: H:\23016 Wixom Senior Center and HVAC\_renovation\pml\pml\Project\_location\_map.dwg  
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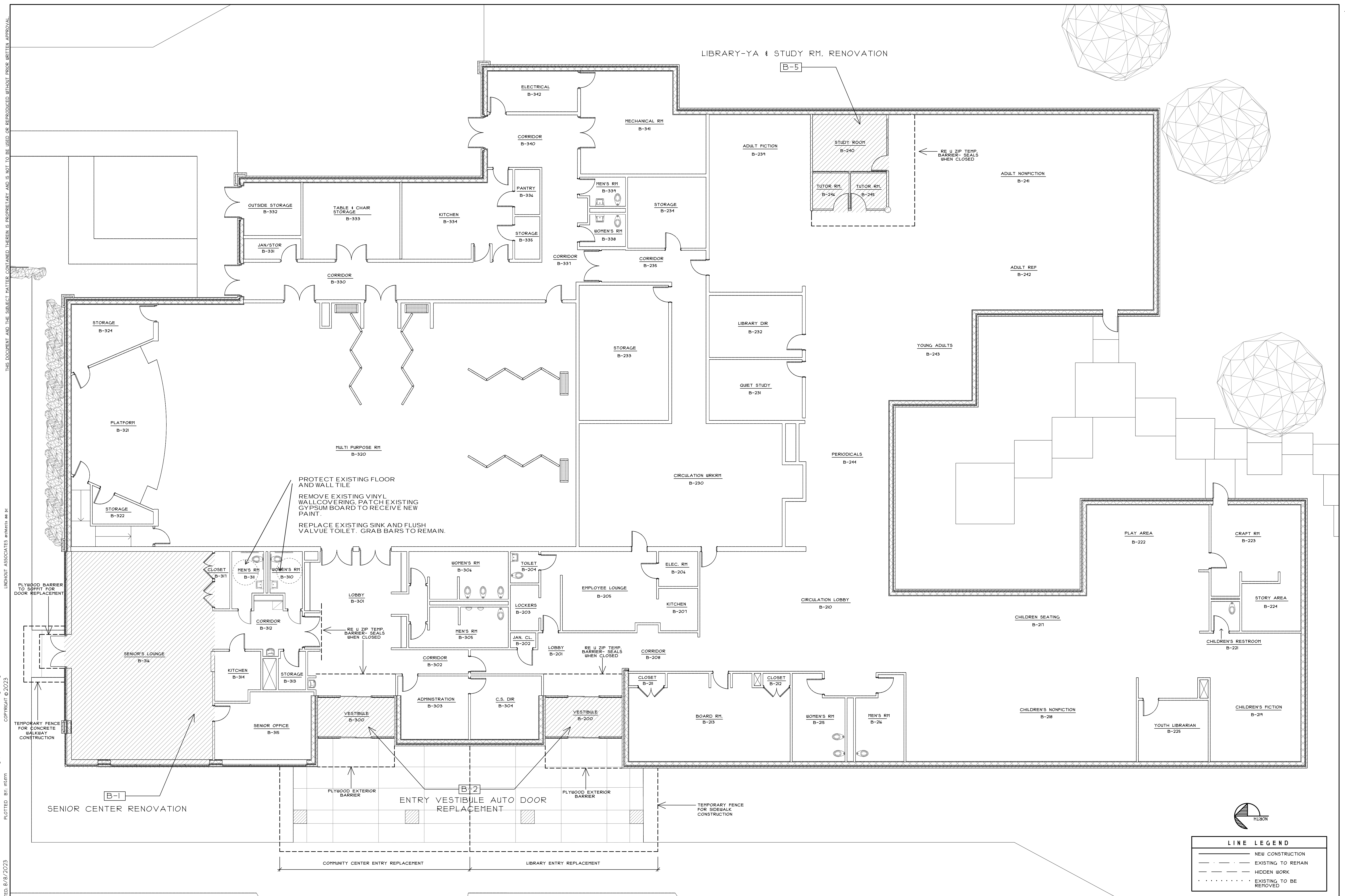
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 app d: xxx  
 02-19-24  
 1-25-23  
 date

RENOVATIONS for:  
**CITY OF WIXOM**  
 WIXOM, MICHIGAN  
**PROJECT LOCATION MAP**

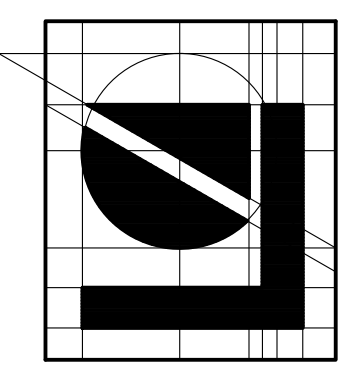
**PM1.0**  
**23016**

1  
P.M.L.O. PROJECT LOCATION MAP

SCALE: 1/32" = 1'-0"



FILE LOCATION: H:\23016 Wixom Senior Center and HVAC renobldg-pdf\4423016 Wixom Building B.dwg  
 DATE PLOTTED: 8/8/2023  
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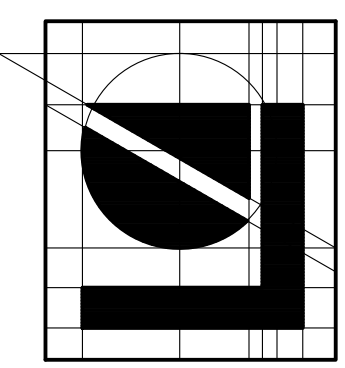
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INTERIOR RENOVATION FOR:  
**CITY OF WIXOM BLDG. B**  
 WIXOM, MICHIGAN  
**FIRST FLOOR PLAN**

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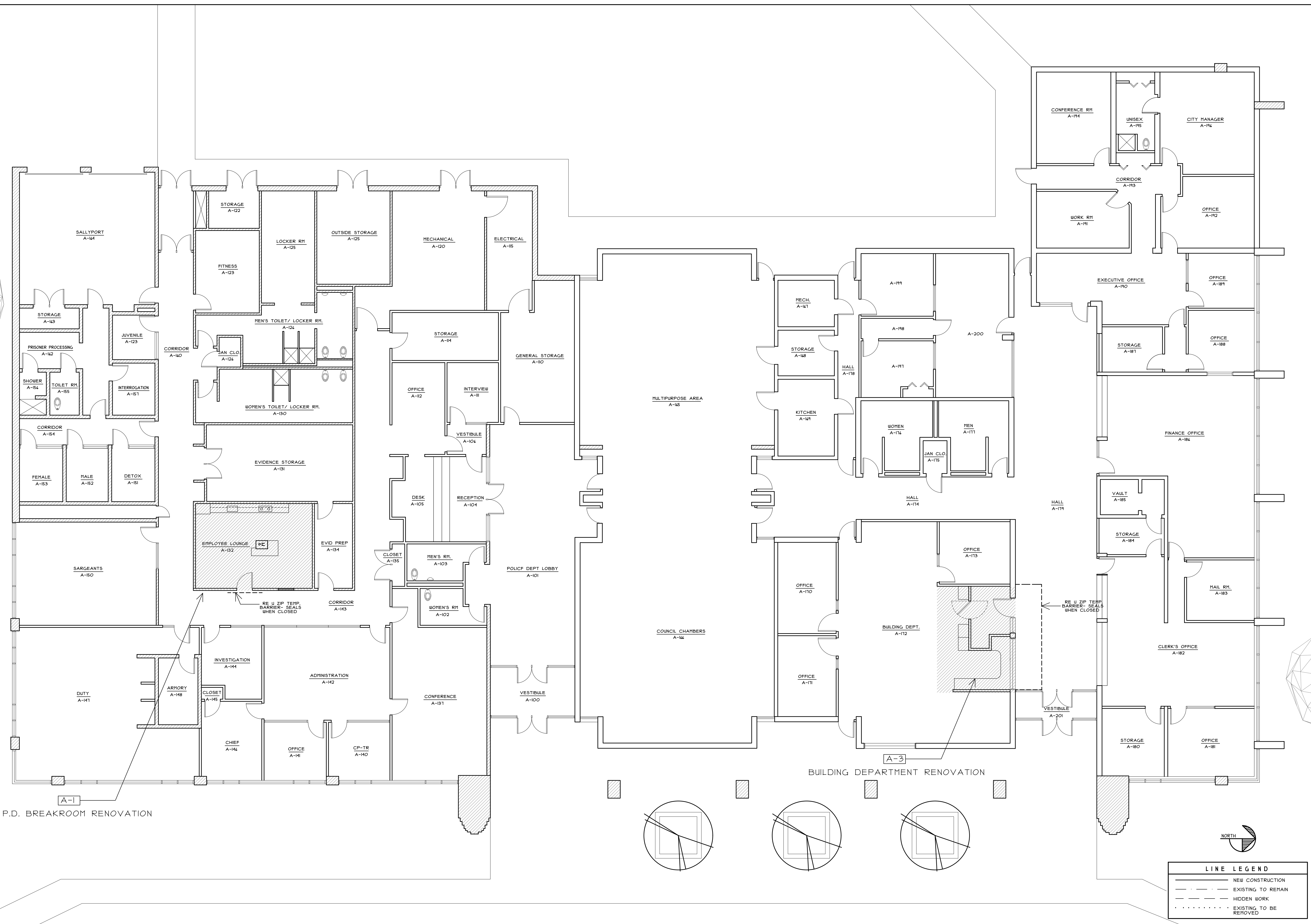
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app d: xxx  
O2-19+24  
08-03-23  
date

INTERIOR RENOVATIONS FOR:  
CITY OF WIXOM BLDG A  
WIXOM, MICHIGAN  
FIRST FLOOR PLAN

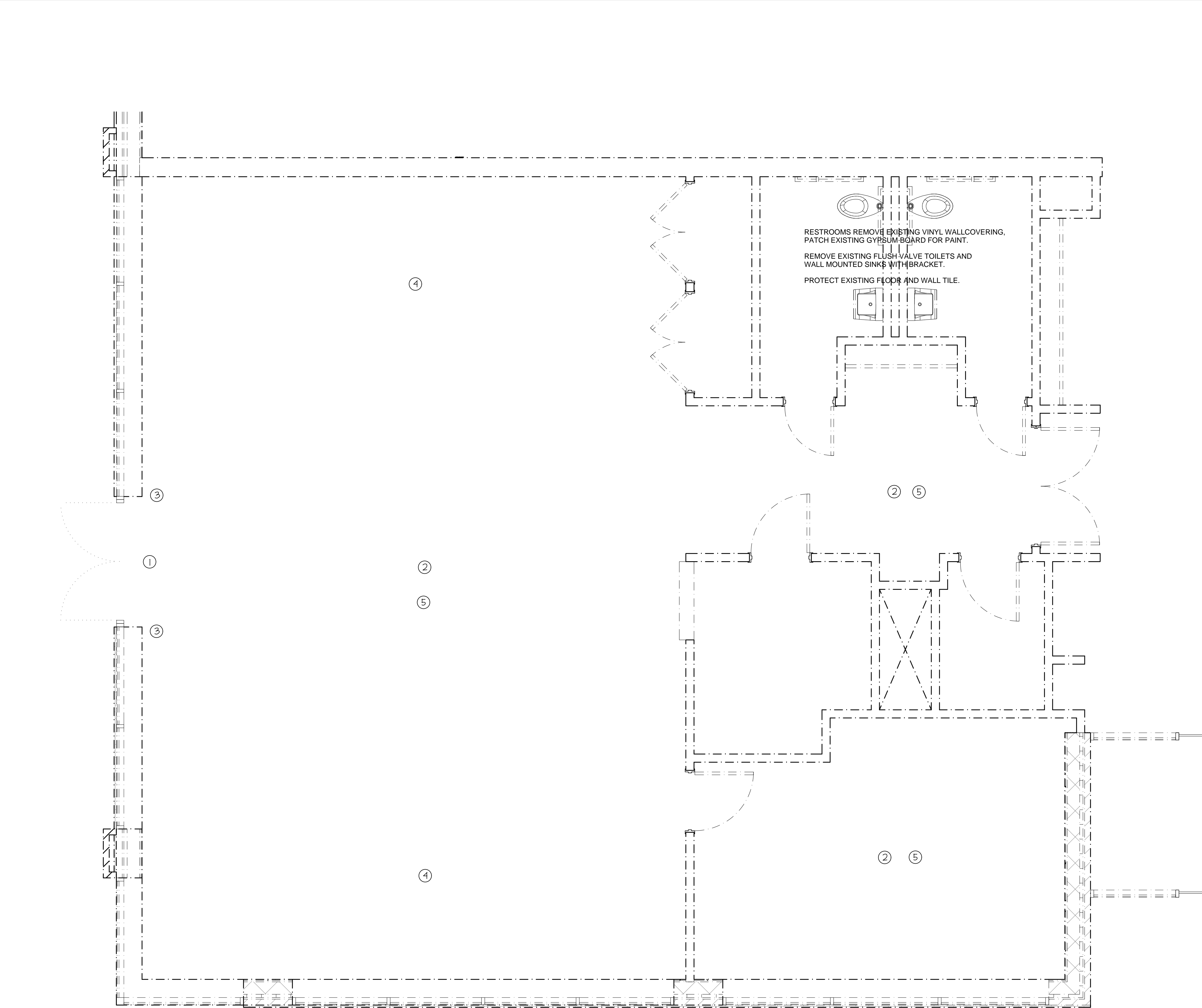
A1.1  
23016



1 FIRST FLOOR PLAN BLDG. A

SCALE: 1/8" = 1'-0"

FILE LOCATION: H:\23016 Wixom Senior Center and HVAC\_renovation.dwg DATE PLOTTED: 8/17/2023  
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**1 D.I.O. DEMO NOTES**

- ① REMOVE EXISTING EXTERIOR DOOR/FRAME AND DISCARD LEAVING TEMPORARY FRAMING & 1/2" PLYWOOD CLOSURE.
- ② REMOVE EXISTING CEILING PADS & LIGHTING. LEAVE EXISTING CEILING GRID IN PLACE.
- ③ REPAIR EDGES AROUND EXTERIOR DOOR FRAME.
- ④ TOUCH UP CEILING GRID WITH PAINT.
- ⑤ REMOVE EXISTING CARPET CAREFULLY TO BE STORED BY OWNER FOR ATTIC STOCK.

**ADDITIONAL NOTES:**

ALL WORK TO BE DONE WHILE BUILDING IS OCCUPIED. SENIOR CENTER WILL BE CLOSED DURING CONSTRUCTION. NORMAL BUSINESS OPERATIONS OF THE REST OF BUILDING B (COMM. CENTER & LIBRARY) WILL BE CONTINUED DURING CONSTRUCTION. TAKE ALL MEASURES NECESSARY TO LIMIT DISRUPTION, DUST, NOISE, AND NUISANCE. INTERFERENCE WITH NORMAL OPERATIONS SHALL NOT OCCUR WITHOUT THE OWNER'S EXPRESSED CONSENT. ANY ACTIVITIES THAT SPECIFICALLY PRODUCE EXCESSIVE NOISE OR VIBRATIONS SHALL BE PERFORMED AFTER BUSINESS HOURS.

CONTRACTOR SHALL PROVIDE TEMPORARY DUST-PROOF ENCLOSURES IF AND WHERE REQUESTED BY THE OWNER'S REPRESENTATIVE. ENCLOSURES SHALL BE FIRE RATED IF REQUIRED BY CODE. ALL TEMP. ENCLOSURE PARTITIONS SHALL BE CONSTRUCTED IN A MANNER AND OF MATERIALS OFFERING ADEQUATE PROTECTION TO OWNER'S EQUIPMENT AND PERSONNEL FROM DAMAGE AND INJURY DUE TO SELECTIVE DEMOLITION WORK.

ALL UTILITIES ARE EXISTING AND ARE TO BE KEPT OPERATIONAL AT ALL TIMES. NOTIFY OWNER PRIOR TO ANY PLANNED DISRUPTIONS OF POWER, WATER, SEWER, GAS, TELECOMMUNICATIONS, OR ANY OTHER UTILITY

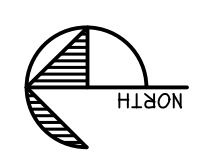
ALL DEMOLITION DEBRIS, NOT SPECIFICALLY DESIGNATED FOR SALVAGE OR RE-USE, IS TO BE DISPOSED OF PROPERLY AND IN A TIMELY MANNER.

ALL EXISTING CONSTRUCTION AND FINISHED SURFACES WHICH ARE TO REMAIN BUT ARE EXPOSED TO DEMOLITION WORK SHALL BE PROTECTED FROM DAMAGE AND/OR RESTORED AND REFINISHED TO MATCH THE EXISTING CONSTRUCTION, FINISH, AND ALIGNMENT OF THE ADJACENT CONDITIONS.

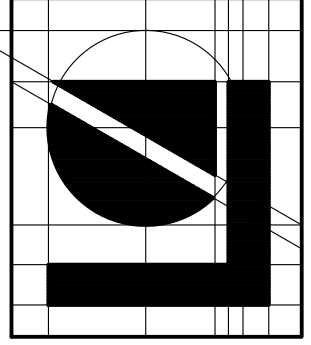
VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS IN THE FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.

SURFACES TO RECEIVE NEW FINISHES SHALL BE CLEANED AND PREPPED ACCORDING TO THE REQUIREMENTS OF THE NEW MATERIALS INSTALLATION GUIDELINES.

ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE LOCAL AND STATE CODES. REFER TO DIVISION I OF THE PROJECT SPECIFICATIONS.



LINE LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
	HIDDEN WORK
	EXISTING TO BE REMOVED



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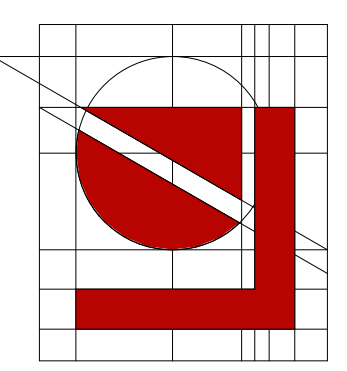
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app d: xxx  
O2-19-24  
1-25-23  
date

RENOVATIONS for:  
**WIXOM SENIOR CENTER**  
WIXOM, MICHIGAN  
**DEMOLITION PLAN**

H:\23016 Wixom Senior Center and HVAC renoting\dwg\pdf\0223016 Wixom Senior Center 1/2 apr new materials.rvt  
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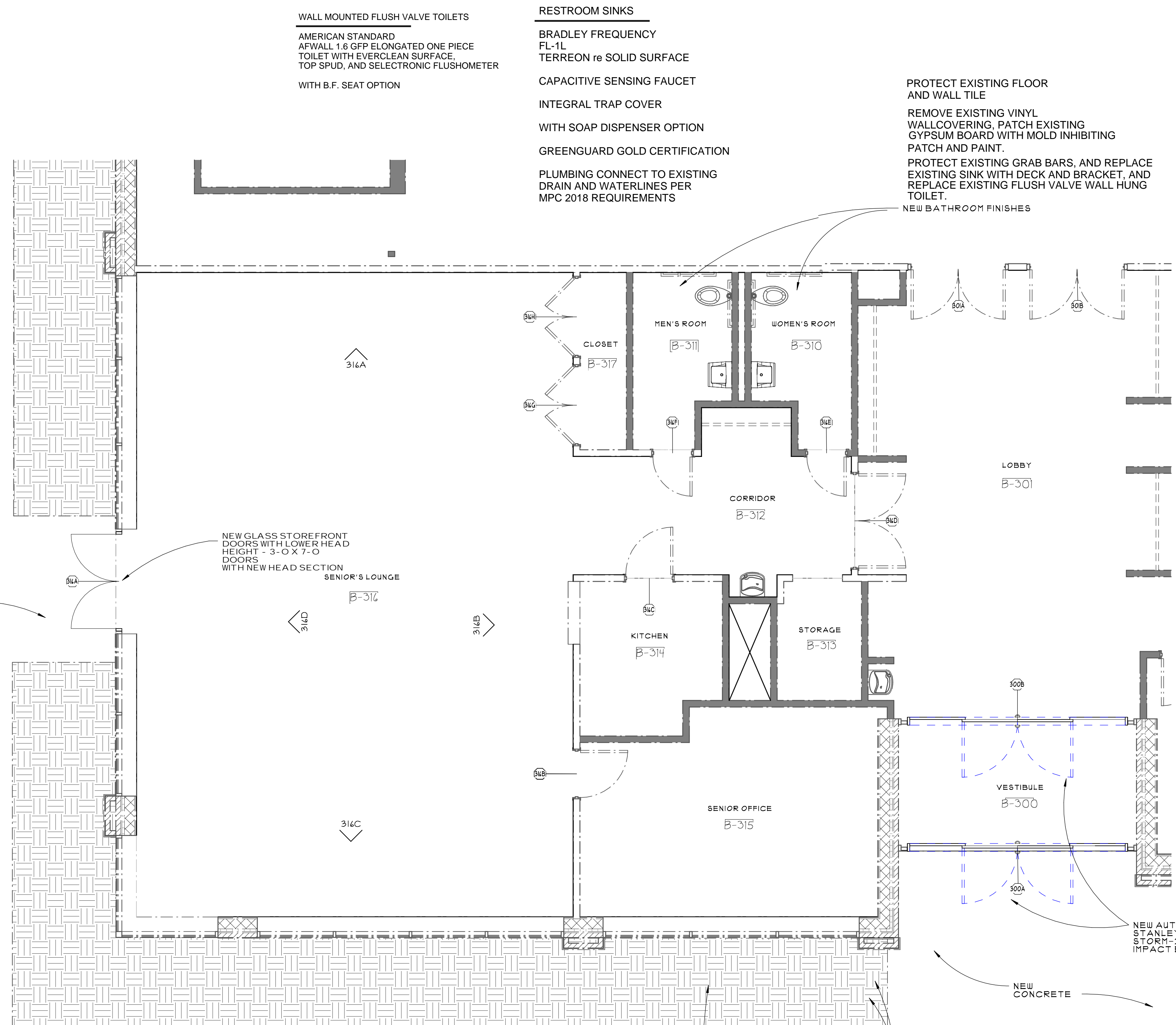
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INTERIOR RENOVATION FOR:  
**Wixom Senior Center**  
 Wixom, MI  
**SR. CENTER FLOOR PLAN**

**A1.2**  
**23016**

Number	Name
B-200	VESTIBULE
B-201	LOBBY
B-202	JANITOR CLOSET
B-203	LOCKERS
B-204	TOILET
B-205	EMPLOYEE LOUNGE
B-206	ELECTRICAL ROOM
B-207	KITCHEN
B-208	CORRIDOR
B-210	CIRCULATION LOBBY
B-211	CLOSET
B-212	CLOSET
B-213	BOARD ROOM
B-215	WOMEN'S ROOM
B-214	MEN'S ROOM
B-211	CHILDREN SEATING
B-218	CHILDREN'S NONFICTION
B-219	CHILDREN'S FICTION
B-221	CHILDREN'S RESTROOM
B-222	PLAY AREA
B-223	CRAFT ROOM
B-224	STUDY AREA
B-225	YOUTH LIBRARIAN
B-230	CIRCULATION WORKROOM
B-231	QUIET STUDY
B-232	LIBRARY DIR
B-233	STORAGE
B-234	STORAGE
B-235	CORRIDOR
B-239	ADULT FICTION
B-240	STUDY ROOM
B-241	ADULT NONFICTION
B-242	ADULT REFERENCE
B-243	YOUNG ADULTS
B-244	PERIODICALS
B-245	TUTOR ROOM
B-246	TUTOR ROOM
B-300	VESTIBULE
B-301	LOBBY
B-302	CORRIDOR
B-303	ADMINISTRATION
B-304	C.S. DIR.
B-305	MEN'S ROOM
B-306	WOMEN'S ROOM
B-310	WOMEN'S ROOM
B-311	MEN'S ROOM
B-312	CORRIDOR
B-313	STORAGE
B-314	KITCHEN
B-315	SENIOR OFFICE
B-316	SENIOR'S LOUNGE
B-317	CLOSET
B-320	MULTI PURPOSE ROOM
B-321	PLATFORM
B-322	STORAGE
B-324	STORAGE
B-330	CORRIDOR
B-331	JANITOR STORAGE
B-332	OUTSIDE STORAGE
B-333	TABLE / CHAIR STORAGE
B-334	KITCHEN
B-335	STORAGE
B-336	PANTRY
B-337	CORRIDOR
B-338	WOMEN'S ROOM
B-339	MEN'S ROOM
B-340	CORRIDOR
B-341	MECHANICAL ROOM
B-342	ELECTRICAL



- WALL MOUNTED FLUSH VALVE TOILETS**  
 AMERICAN STANDARD  
 AFWALL 1.6 GFP ELONGATED ONE PIECE  
 TOILET WITH EVERCLEAN SURFACE,  
 TOP SPUD, AND SELECTRONIC FLUSHOMETER  
 WITH B.F. SEAT OPTION
- RESTROOM SINKS**  
 BRADLEY FREQUENCY  
 FL-1L  
 TERREON re SOLID SURFACE
- CAPACITIVE SENSING FAUCET  
 INTEGRAL TRAP COVER  
 WITH SOAP DISPENSER OPTION
- GREENGUARD GOLD CERTIFICATION
- PLUMBING CONNECT TO EXISTING  
 DRAIN AND WATERLINES PER  
 MPC 2018 REQUIREMENTS

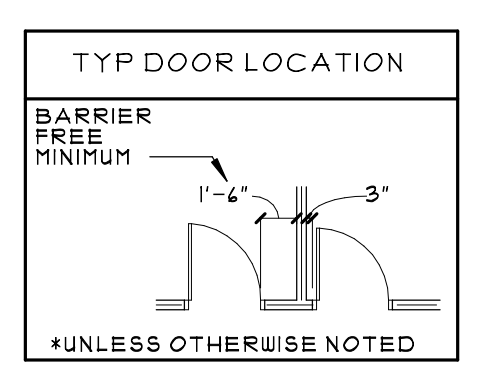
- PROTECT EXISTING FLOOR  
 AND WALL TILE
- REMOVE EXISTING VINYL  
 WALLCOVERING, PATCH EXISTING  
 GYPSUM BOARD WITH MOLD INHIBITING  
 PATCH AND PAINT.
- PROTECT EXISTING GRAB BARS, AND REPLACE  
 EXISTING SINK WITH DECK AND BRACKET, AND  
 REPLACE EXISTING FLUSH VALVE WALL HUNG  
 TOILET.
- NEW BATHROOM FINISHES

**FLOOR PLAN NOTES**

- LEVEL RENOVATION:**
- NEW FLOORING
  - NEW CEILING PADS
  - NEW LIGHTING
  - NEW PATIO DOOR
  - NEW PAINT / WALL COVERING

**PARTITION TYPES**

	1 LAYER 5/8\"/>
	1 LAYER 5/8\"/>
	1 LAYER 5/8\"/>
	1 LAYER 5/8\"/>
	1 LAYER 5/8\"/>

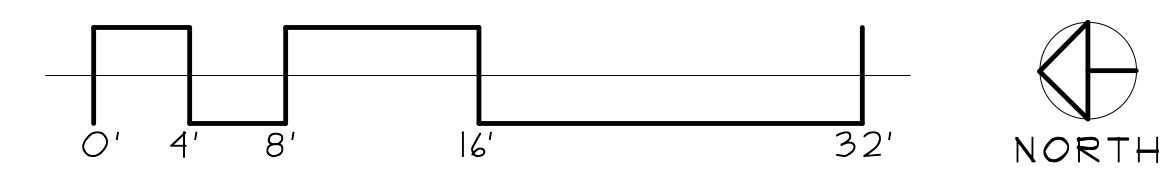


**NOTES**

- ASSUMED F.F.E. = 100'-0"

**LINE LEGEND**

---	NEW CONSTRUCTION
---	EXISTING TO REMAIN
---	HIDDEN WORK
---	EXISTING TO BE REMOVED



**SR. CENTER FLOOR PLAN**  
 1/4" = 1'-0"

PROTECT EXISTING  
WINDOWS & SHADES

REMOVE EXISTING  
CONCRETE PAD

REPLACE  
NEW 7'X8' CONCRETE  
EXIT PAD ON  
EXISTING FROST  
STOOP

4K CONCRETE  
MIX - BARRIER  
FREE WALK  
INTO DOORWAY

LEVEL WITH  
EXISTING PATIO

NEW B.F. THRESHOLD

NOTE:  
SEE SHT. A2.1  
FOR NEW PATIO  
FURNISHINGS



NEW MAPES INSULATED  
PANEL TO FIT 1" GLASS  
SLOT - ALUM., FACE EXT.,  
PAINTABLE GYPSUM INT.

NEW RENOVATION ALUM.  
JAMB SECTIONS

PROTECT EXISTING  
TRANSOM GLAZING

PROTECT EXISTING  
HORIZONTAL STOREFRONT

REMOVE EXISTING  
DOORS & HARDWARE,  
AUTO OPENER,  
ACCESS CONTROL

ADD NEW ALUMINUM  
STOREFRONT HORIZONTAL  
HEADER, GREEN TO  
MATCH EXISTING

ADD NEW MEDIUM  
STYLE ALUMINUM  
STOREFRONT DOORS  
WITH INSULATING  
GLASS, TEMPERED  
3'X7' EACH DOOR

HARDWARE

PUSH PULL, SATIN CHROME  
DEAD BOLT WITH PADDLE  
AND LOCK PROTECTOR  
CONTINUOUS HINGES  
AND WEATHERSTRIPPING

PROTECT EXISTING  
BRICK

NEW LOWER HEIGHT DOORS, GLAZING, ALUMINUM  
AND NEW CONCRETE DOOR STOOP

O2-19-24 BIDS AND PERMITS

DOOR 316A

DRAWING A1.2B

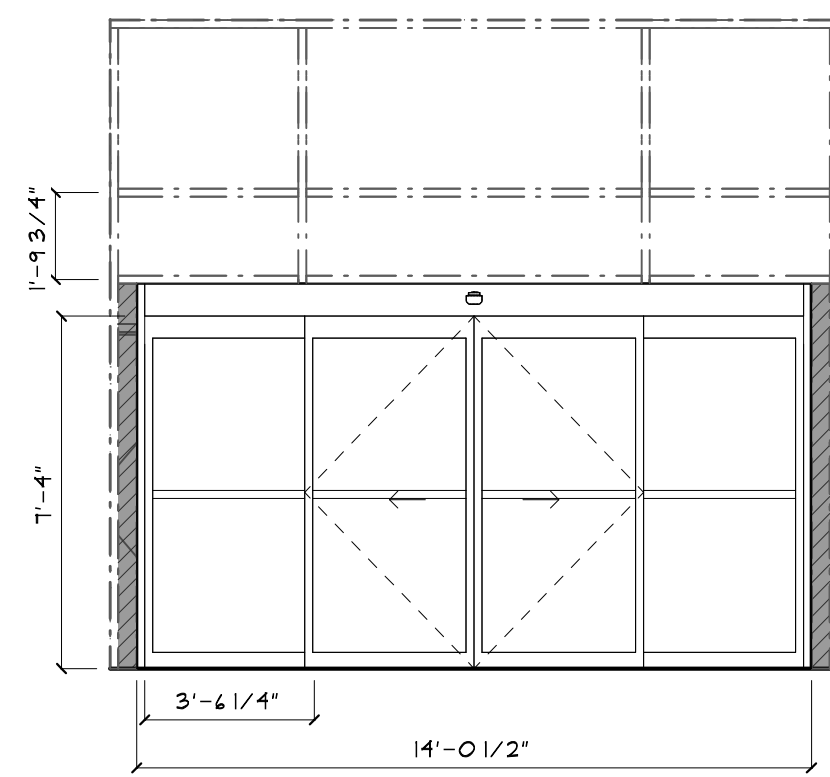
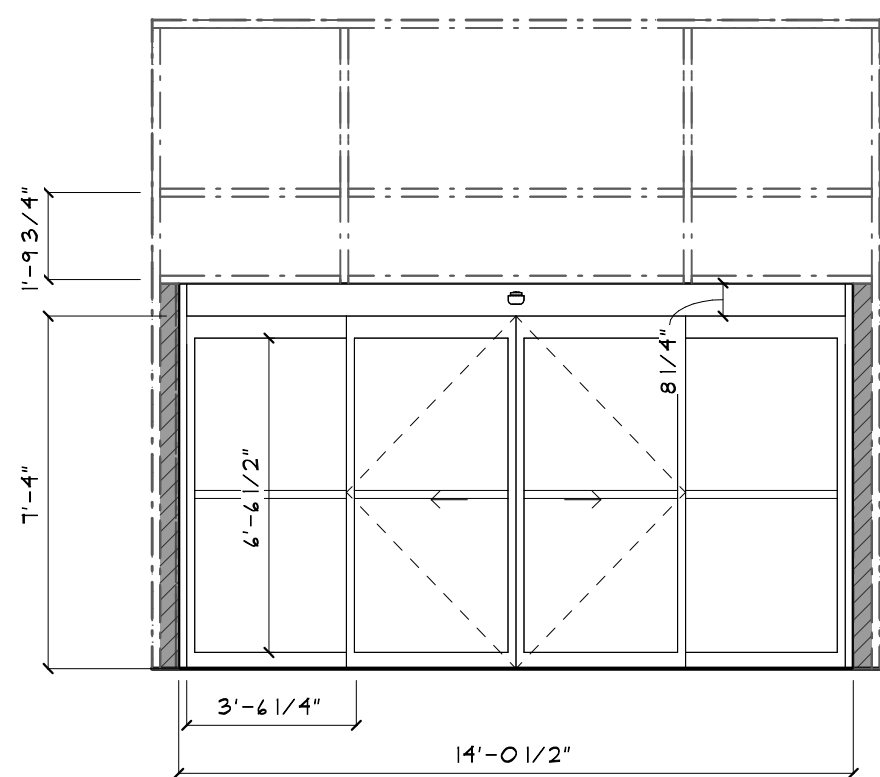
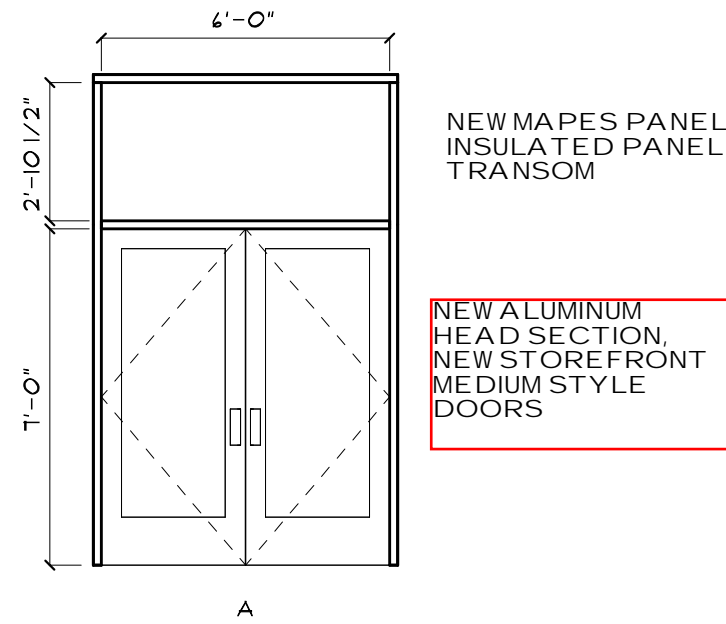
LAA #23106





WINDOW SCHEDULE

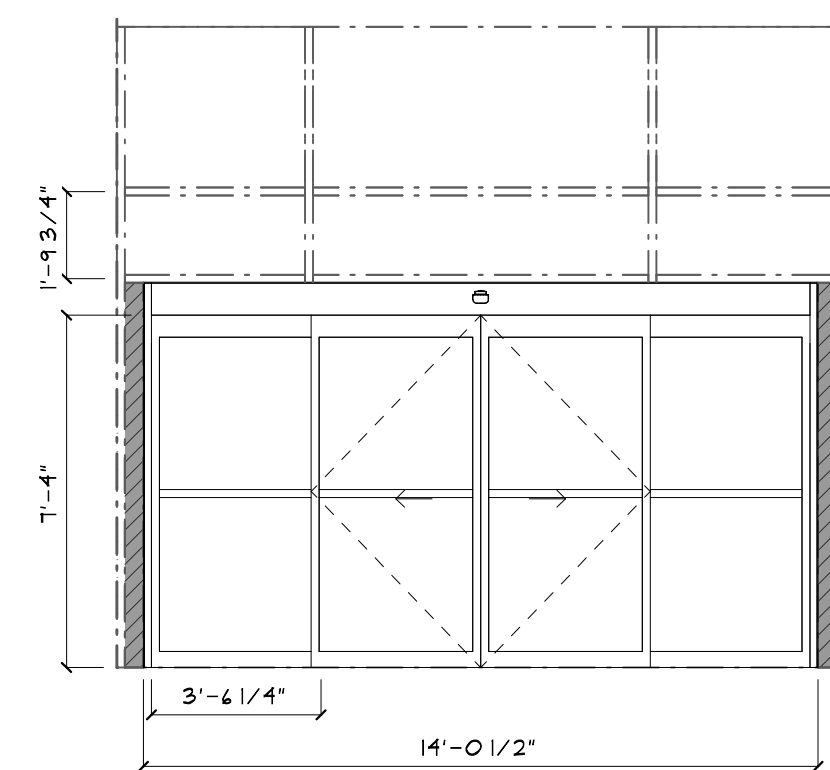
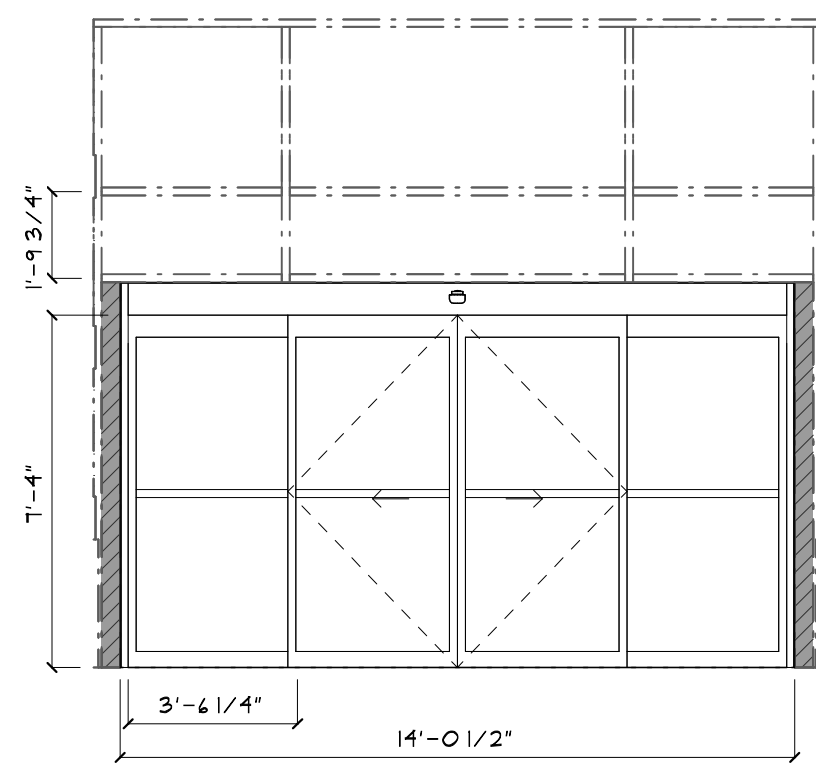
TYPE	WINDOW SIZE		FRAME TYPE	GLASS		FIRE RATING	REMARKS
	WIDTH	HEIGHT		MAT.	FIN.		
A	4'-0"	7'-0"	6" ALUM. FRAME	ANOD.	1" INSUL. TINTED		



NEW AUTOMATIC GLASS STOREFRONT DOORS  
SEE SPECS.  
1 OF 4 AUTODOORS  
EACH WITH ACCESS CONTROL

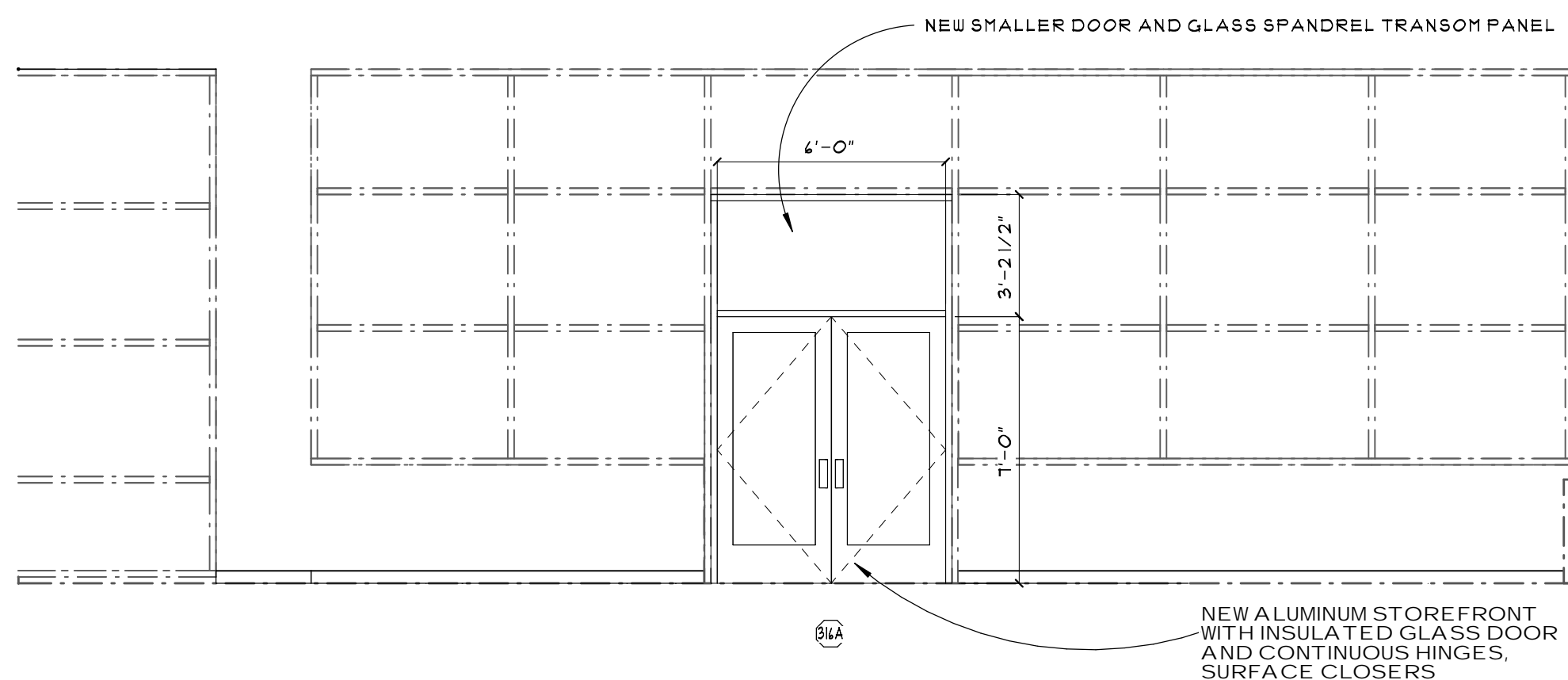
6 IOIA  
1/4" = 1'-0"

7 IOOA  
1/4" = 1'-0"



4 IOIB  
1/4" = 1'-0"

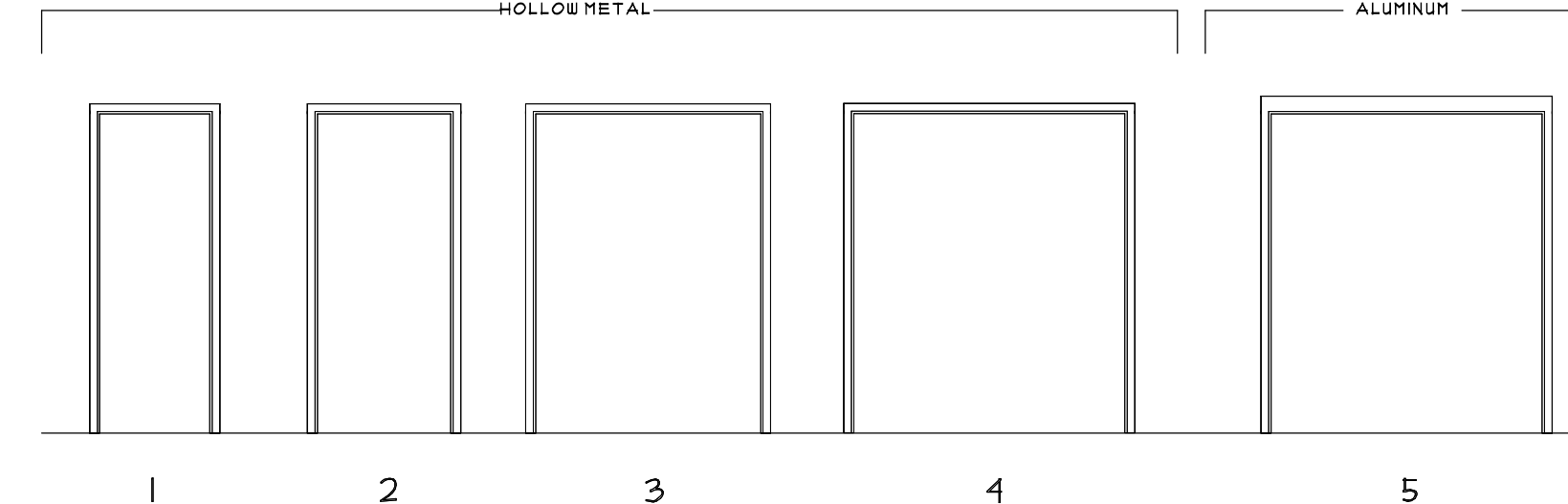
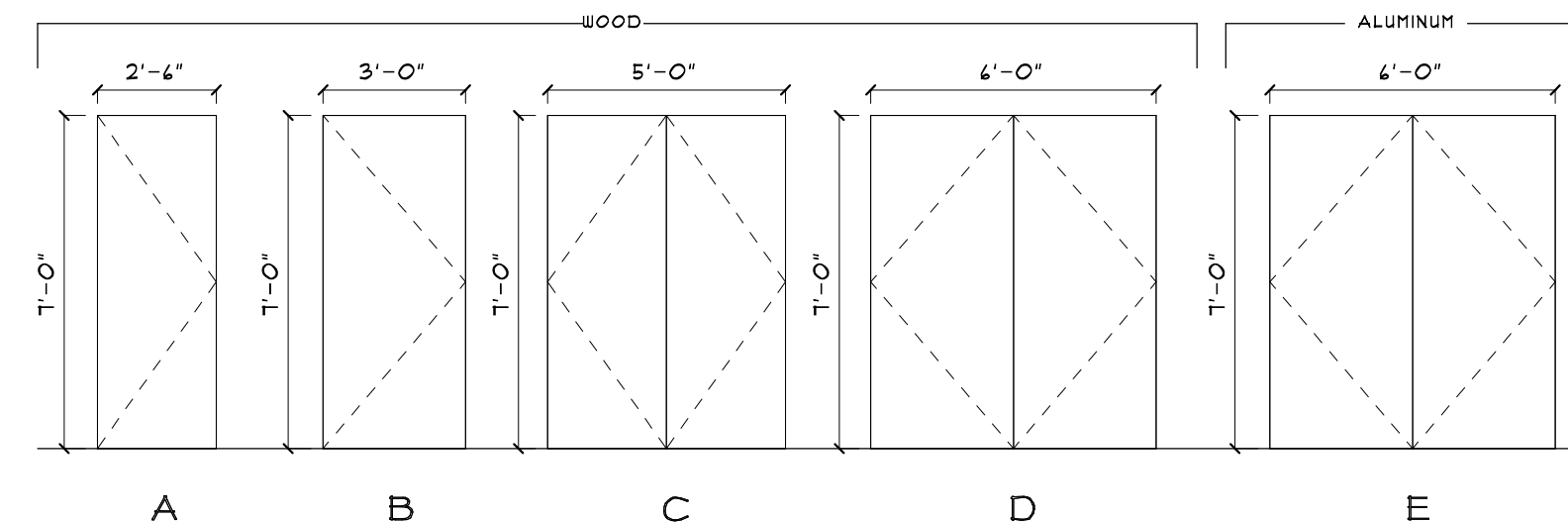
5 IOOB  
1/4" = 1'-0"



8 316D  
1/4" = 1'-0"

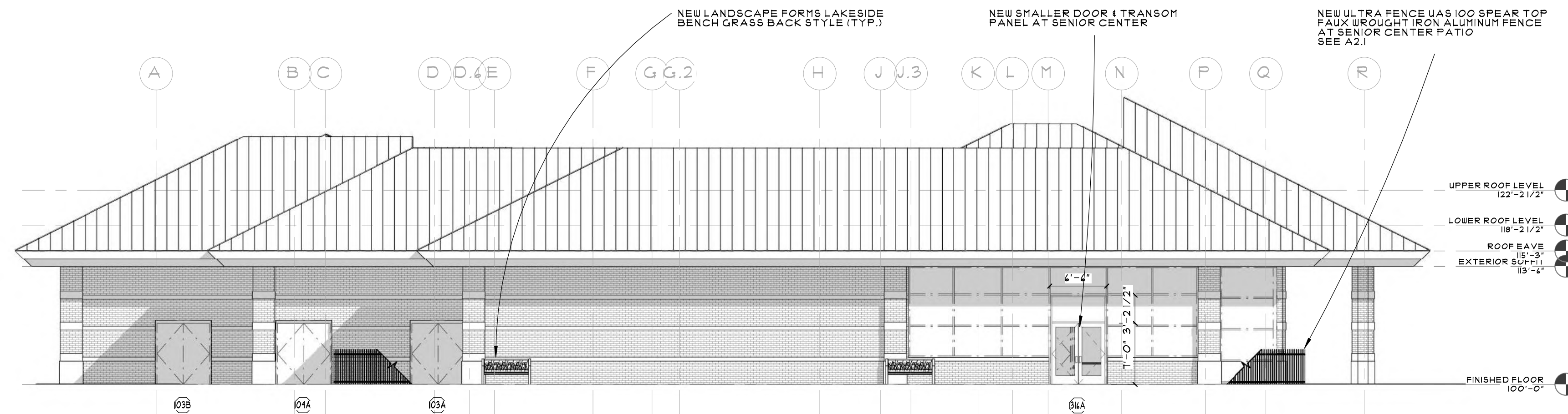
DOOR SCHEDULE

MARK	DOOR TYPE		FRAME TYPE		DETAILS			WALL THICKNESS	HARDWARE SET	COMMENTS
	SIZE	DOOR TYPE	MAT. / FINISH	FRAME TYPE	MAT. / FIN.	HEAD	JAMB			
IO3A	4'-0" x 7'-0"	E		5				15 3/4"		
IO3B	4'-0" x 7'-0"	E		5				15 3/4"		
IO4A	4'-0" x 7'-0"	E		5				15 3/4"		

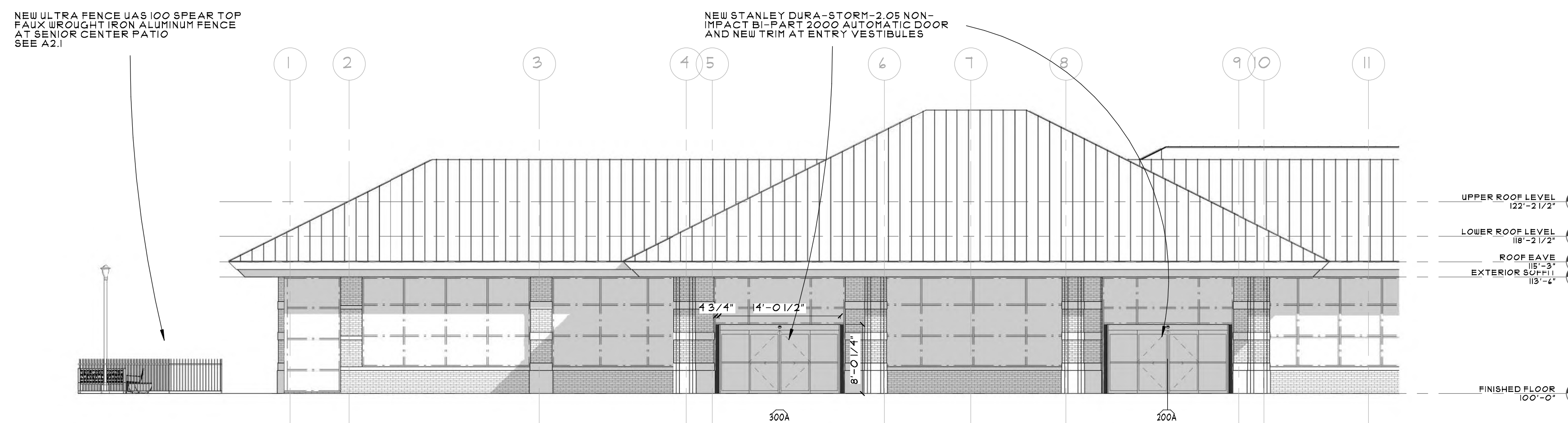


3 DOOR TYPES  
1/4" = 1'-0"

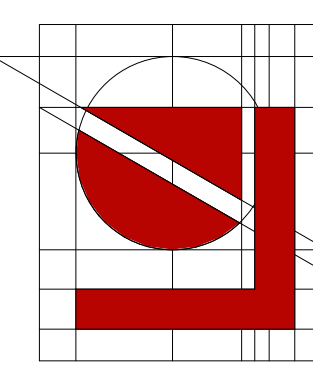
9 DOOR FRAME TYPES  
1/4" = 1'-0"



1 NORTH ELEVATION  
1" = 10'-0"



2 WEST PARTIAL ELEVATION  
1" = 10'-0"



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DATE: 02-19-24  
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ISSUED FOR

INTERIOR RENOVATION for:  
Wixom P.D. Break Room  
Wixom, MI  
ELEVATIONS AND SCHEDULES

A1.4  
23016

H:\23016 Wixom Senior Center and HVAC renovating\pdf\23016 Wixom Senior Center V2.apr new materials.rvt  
 DATE PLOTTED: 8/9/2023 8:54:48 AM FILE LOCATION:  
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2" TROFFER RECESSED LED DOWNLIGHT - HC44"  
 33 TOTAL DOWNLIGHTS, 24 IN MAIN SPACE,  
 3 IN CORRIDOR AND 6 IN ADJOINING OFFICE.  
 CONNECT TO EXISTING TROFFER LIGHT  
 CIRCUITS, AND NEW OCC, SENSOR, DIMMING  
 SWITCHES.  
 REMOVE EXISTING TROFFER LIGHTS  
 AND DISPOSE OF OFFSITE PER EPA  
 REGULATIONS.  
 LICENSED ELECTRICIAN ONLY WITH 3  
 COMMERCIAL REFERENCES FROM '23 AND  
 '24.  
 NATIONAL ELECTRIC CODE 2017 WITH  
 AMENDMENTS AND MICHIGAN ELECTRIC  
 CODE 2017 APPLY.

TRANSOM PANEL PAINTED BEHR DOVE  
 HDC-MD-21

NEW LOWER HEIGHT DOOR  
 SEE SHT. A1.42

MURAL WALL: BEACH SCENE  
 KOROSEAL WATERSCAPES 7  
 IMAGE #7273

COMMERCIAL WALL PAPER  
 INSTALLER ONLY - PROVIDE  
 3 COMMERCIAL REFERENCES  
 FROM '23 AND '24.

MAINTAIN 65 TO 71 DEG. FOR 4 DAYS  
 BEFORE AND AFTER INSTALL

SURFACES TO BE COVERED MUST BE CLEAN,  
 SMOOTH AND DRY. LOOSE PAINT AND OTHER  
 COVERINGS TO BE REMOVED. NAILHEADS,  
 NICKS, GOUGES AND OTHER SURFACE  
 IMPERFECTIONS SANDED SMOOTH AND SEALED.

SHAW CONTRACT HONED 2X2 TILE  
 CARPET - STYLE ALABASTER 33III

COMMERCIAL FLOORING INSTALLER  
 ONLY - PROVIDE 3 COMMERCIAL  
 REFERENCES FROM '23 AND '24

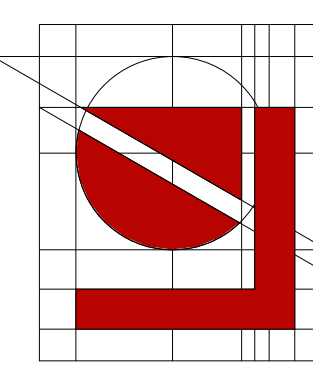
PROVIDE 10'X10' SAMPLE AREA FOR  
 REVIEW PRIOR TO ROOM INSTALLATION  
 REMOVE EXISTING CARPET, BASE AND  
 REMOVE FROM SITE.



FINE FISSURED SECOND LOOK CEILING  
 PANELS - WHITE

FRASCH BAFFLE KIT COLOR 54 ESPRESSO

WALL PAINT: BEHR COLOR JOJOBA N390-3



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 Brighton, Michigan 48116-9510  
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 Fax: (810) 227-5855

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DESIGN:	02-19-24	BIDS AND PERMITS	ISSUED FOR
ARCHITECT:	08-01-23	OWNER REVIEW	
CHECKED:	DATE:		
DRAWN:			

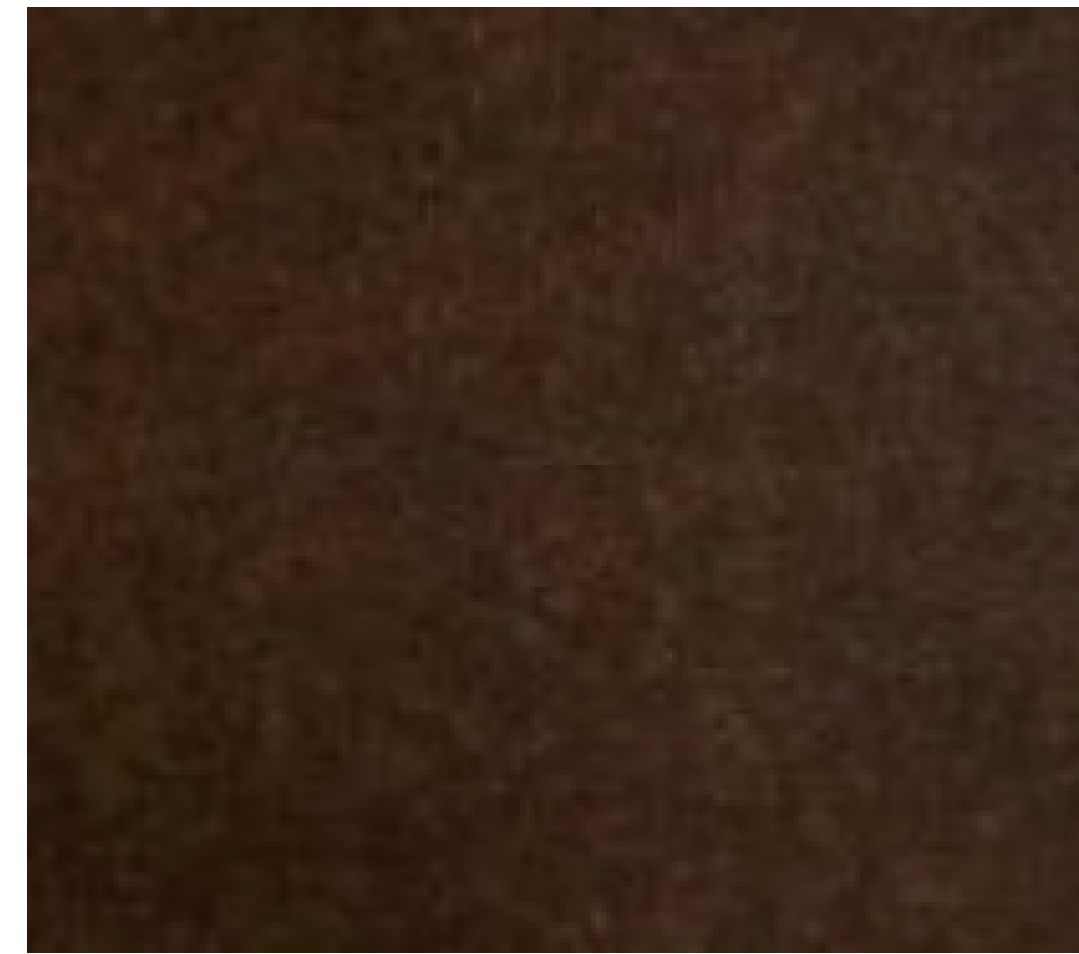
INTERIOR RENOVATION for:  
**Wixom Senior Center**  
 Wixom, MI  
**PERSPECTIVE IMAGES**



DATE PLOTTED: 8/7/2023 9:15:04 AM FILE LOCATION: H:\2016 Wixom Senior Center and HVAC renoting\wg-pd\dc23016 Wixom Senior Center V2.apr view materials.rvt COPYRIGHT © 2020 LINDHOUT ASSOCIATES architects aia pc THIS DOCUMENT AND THE SUBJECT MATTER CONTAINED THEREIN IS PROPRIETARY AND IS NOT TO BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN APPROVAL

### FRASCH BAFFLE KIT

8 SQUARE SUSPENDED FELT TREATMENT CEILING KITS. INSTALLED BY COMMERCIAL FINISH CARPENTER.



COLOR- 54 ESPRESSO

PROVIDE ALL FITTINGS AND WIRE TO INSTALL DEAD LEVEL PER IMAGES ON PERSPECTIVES DRAWING.

1 YEAR WARRANTY ON INSTALLATION AND MATERIAL. 2015 MICHIGAN BUILDING CODE FOR MATERIAL SUPPORT, FLAMESPREAD AND WORKER SAFETY.

COMMERCIAL CARPENTER ONLY. PROVIDE 3 COMMERCIAL REFERENCES.

### TYPICAL WALL PAINT

2 COATS, EGGSHELL FINISH. COMMERCIAL PAINTER ONLY. PROVIDE 3 COMMERCIAL REFERENCES.



**JOJOBA**  
N390-3

◆ INTERIOR AND EXTERIOR ONE-COAT HIDE

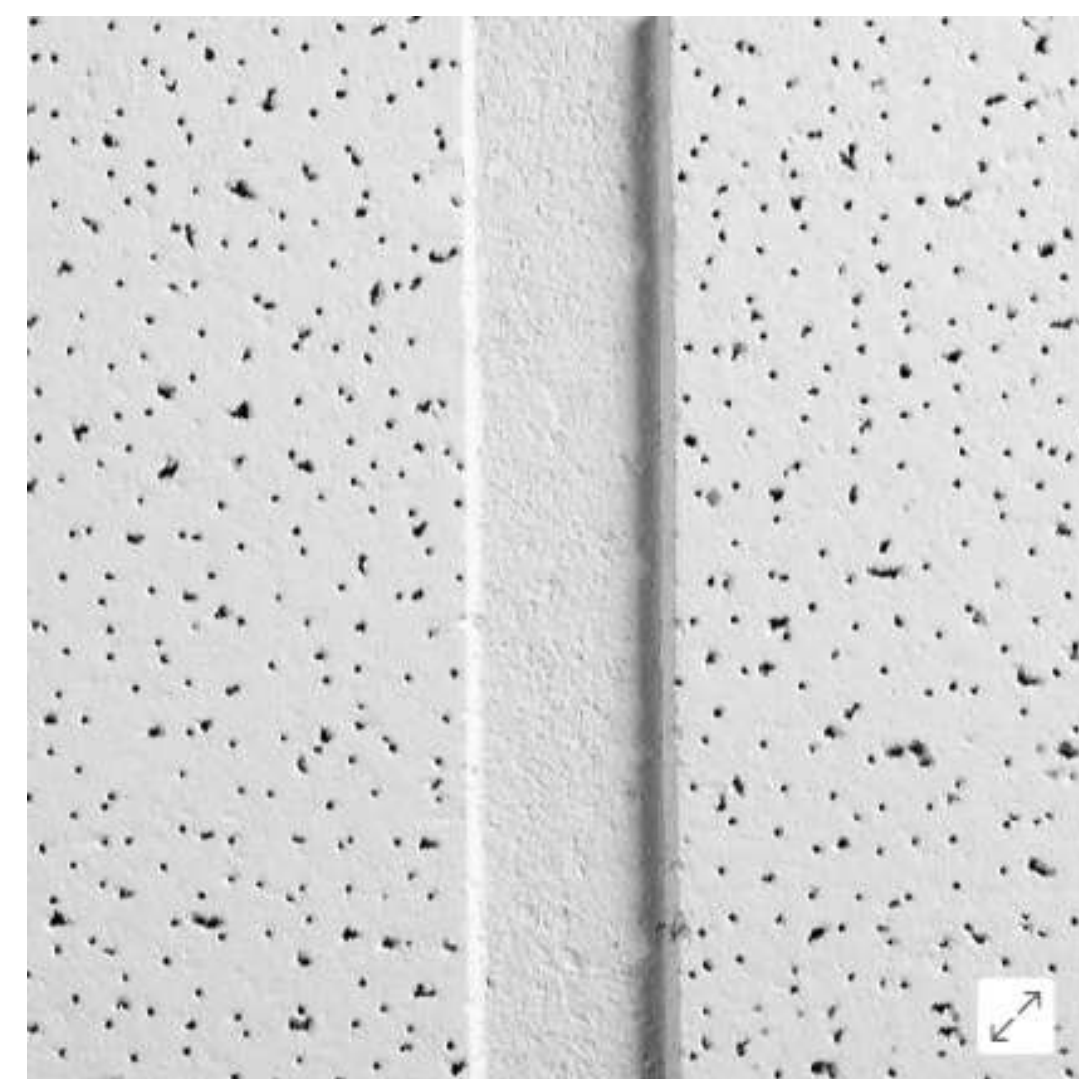
☀️ COLOR FADE PROTECTION

LRV 47    R 176    G 185    B 166

### COLOR WAY INSPIRATION



### FINE FISSURED SECOND LOOK CEILING PANELS



COLOR- WHITE

### SHAWCONTRCT- HONED TILE CARPET



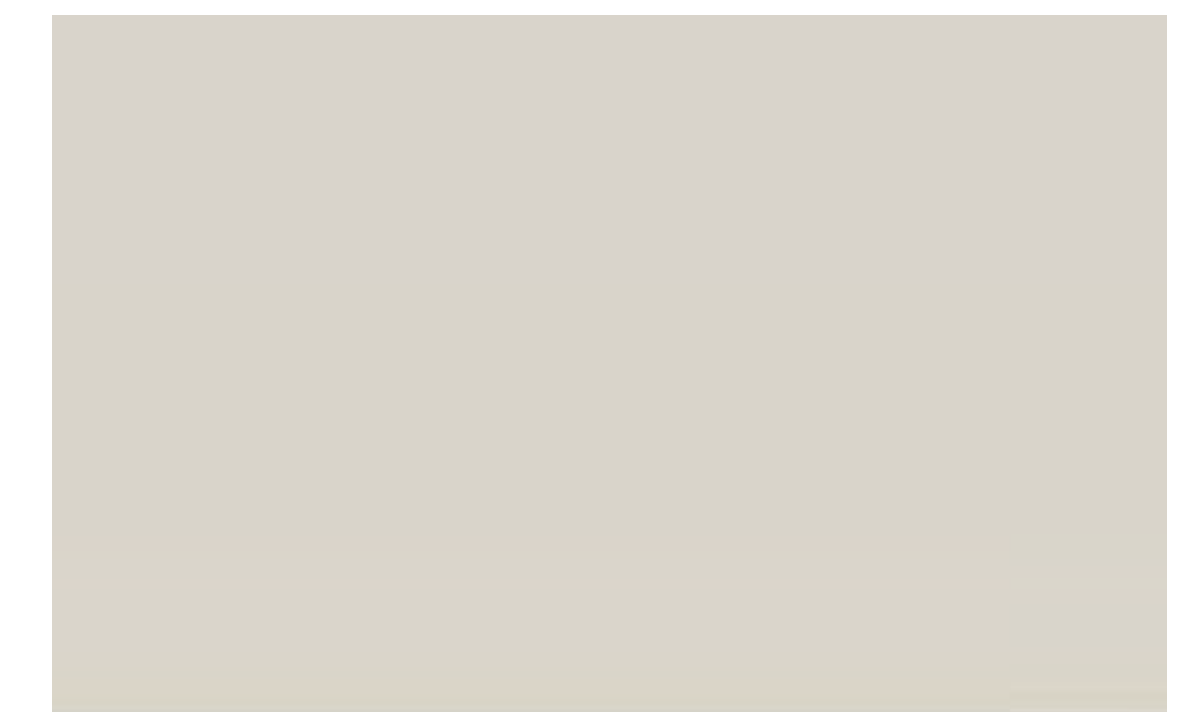
STYLE- ALABASTER 33III

### HALO COMMERCIAL HC4, 33 DOWNLIGHTS TOTAL 2100K RECESSED LED DOWNLIGHT- HC4 4"



COLOR- SOFT WHITE/ WARM  
WITH HANGER BARS FOR EXISTING CEILING GRID  
WITH 0 TO 10 DIMMING PACKAGE

### PAINTED TRANSOM PANEL COLOR

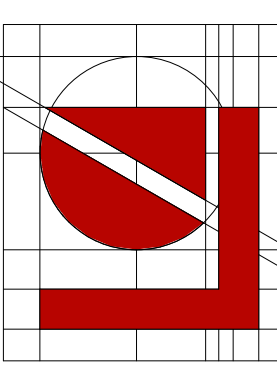


**DOVE**  
HDC-MD-21

◆ INTERIOR AND EXTERIOR ONE-COAT HIDE

☀️ COLOR FADE PROTECTION

LRV 66    R 217    G 212    B 203



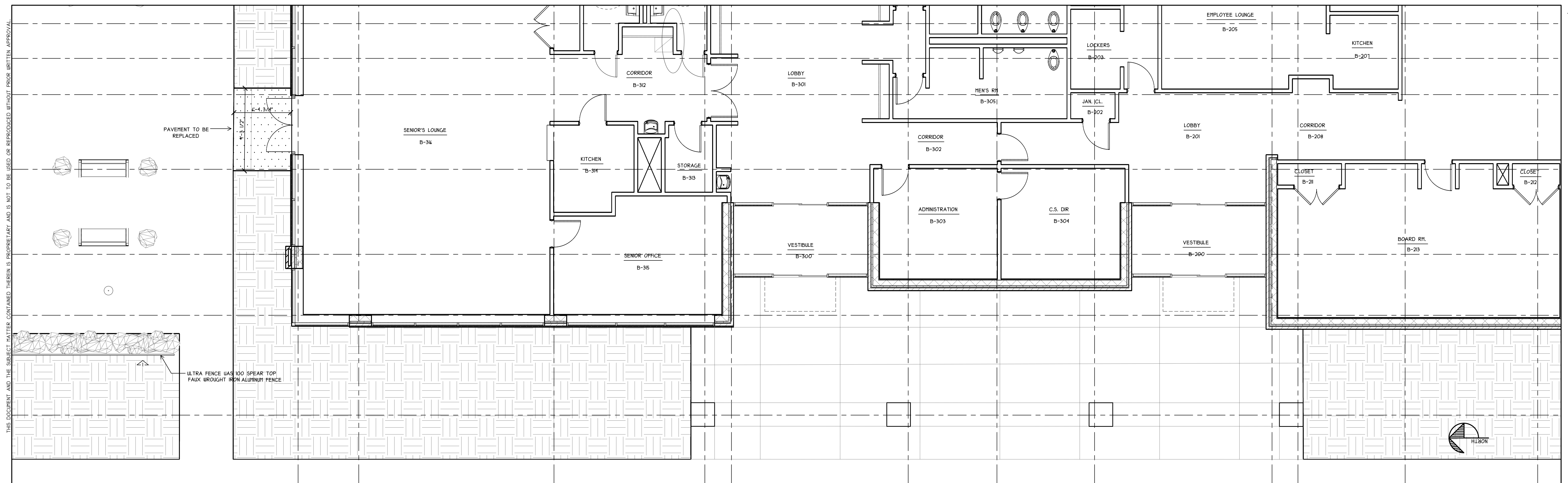
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		01-24-23	OWNER REVIEW
			ISSUED FOR

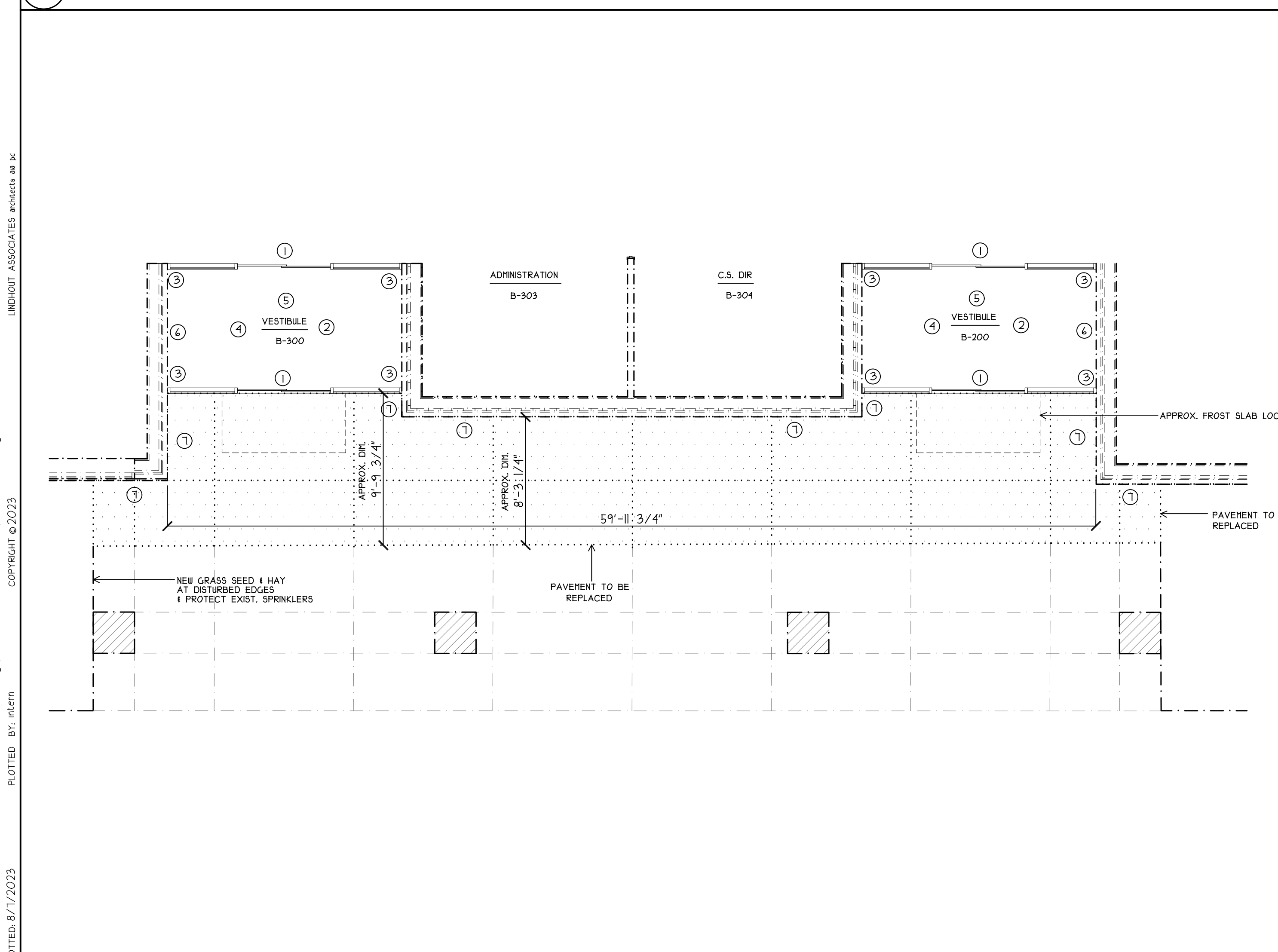
INTERIOR RENOVATION for:  
**Wixom Senior Center**  
Wixom, MI  
**SENIOR CENTER MATERIAL BOARD**

**MAT1.0**  
23016



1 A2.0 EXISTING PAVEMENT PLAN PLUS NORTH STOOP REPLACEMENT

SCALE: 3/16" = 1'-0"



2 A2.0 PAVEMENT REPLACEMENT AND VESTIBULE DEMO PLAN

1 A2.0 DEMO NOTES

- 1 REMOVE EXISTING EXTERIOR DOOR, FRAME, THRESHOLD, AND DISCARD LEAVING TEMPORARY FRAMING & 1/2" PLYWOOD 2X4 FRAMING CLOSURE.
- 2 REMOVE EXISTING CEILING PADS & LIGHTING. LEAVE EXISTING CEILING GRID IN PLACE.
- 3 REPAIR EDGES AROUND EXTERIOR DOOR FRAME.
- 4 TOUCH UP CEILING GRID WITH PAINT.
- 5 REMOVE EXISTING VESTIBULE WALK OFF CARPET & ADHESIVE.
- 6 PAINT EXISTING CABINET HEATER WITH "STOVE" PAINT.
- 7 REMOVE EXISTING CONCRETE WALK, PROTECT EXTERIOR WALLS.

ADDITIONAL NOTES:

ALL WORK TO BE DONE WHILE BUILDING IS OCCUPIED. NORMAL BUSINESS OPERATIONS OF THE REST OF THE BUILDING B (COMM. CENTER & LIBRARY) WILL BE CONTINUED DURING CONSTRUCTION. TAKE ALL MEASURES NECESSARY TO LIMIT DISRUPTION, DUST, NOISE, AND AND NUISANCE. INTERFERENCE WITH NORMAL OPERATIONS SHALL NOT OCCUR WITHOUT THE OWNER'S EXPRESSED CONSENT. ANY ACTIVITIES THAT SPECIFICALLY PRODUCE EXCESSIVE NOISE OR VIBRATIONS SHALL BE PERFORMED AFTER BUSINESS HOURS. SHALL BE PERFORMED AFTER BUSINESS HOURS.

CONTRACTOR SHALL PROVIDE TEMPORARY DUST-PROOF ENCLOSURES IF AND WHERE REQUESTED BY THE OWNER'S REPRESENTATIVE. ENCLOSURES SHALL BE FIRE RATED IF REQUIRED BY CODE. ALL TEMP. ENCLOSURE PARTITIONS SHALL BE CONSTRUCTED IN A MANNER AND OF MATERIALS OFFERING ADEQUATE PROTECTION TO OWNER'S EQUIPMENT AND PERSONNEL FROM DAMAGE AND INJURY DUE TO SELECTIVE DEMOLITION WORK.

ALL UTILITIES ARE EXISTING AND ARE TO BE KEPT OPERATIONAL AT ALL TIMES. NOTIFY OWNER PRIOR TO ANY PLANNED DISRUPTIONS OF POWER, WATER, SEWER, GAS, TELECOMMUNICATIONS, OR ANY OTHER UTILITY

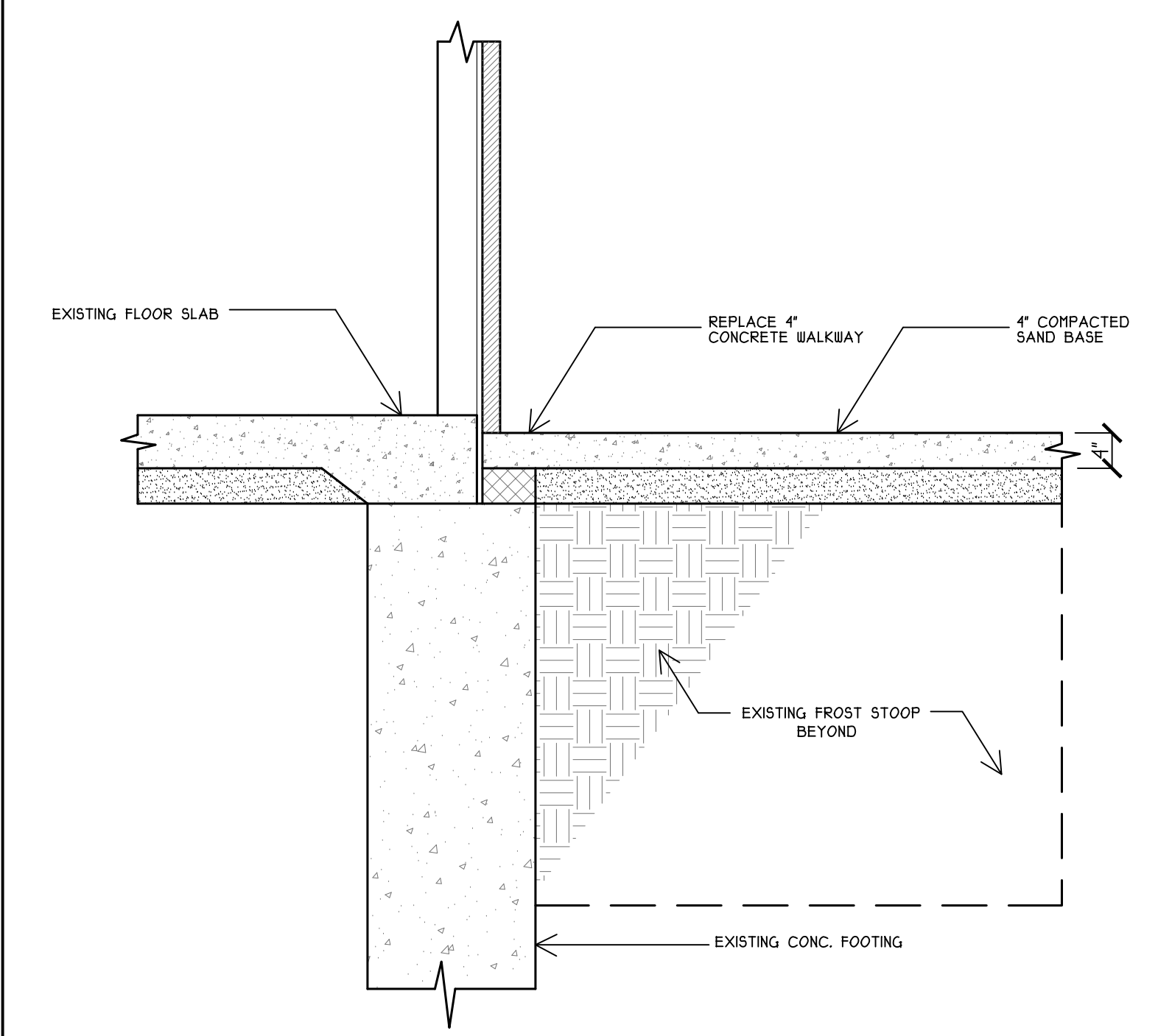
ALL DEMOLITION DEBRIS, NOT SPECIFICALLY DESIGNATED FOR SALVAGE OR RE-USE, IS TO BE DISPOSED OF PROPERLY AND IN A TIMELY MANNER.

ALL EXISTING CONSTRUCTION AND FINISHED SURFACES WHICH ARE TO REMAIN BUT ARE EXPOSED TO DEMOLITION WORK SHALL BE PROTECTED FROM DAMAGE AND/OR RESTORED AND REFINISHED TO MATCH THE EXISTING CONSTRUCTION, FINISH, AND ALIGNMENT OF THE ADJACENT CONDITIONS.

VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS IN THE FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.

SURFACES TO RECEIVE NEW FINISHES SHALL BE CLEANED AND PREPPED ACCORDING TO THE REQUIREMENTS OF THE NEW MATERIALS INSTALLATION GUIDELINES.

ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE LOCAL AND STATE CODES. REFER TO DIVISION 1 OF THE PROJECT SPECIFICATIONS.

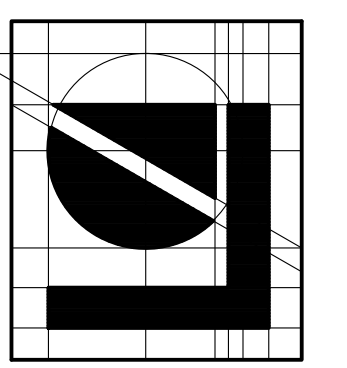


4 A2.0 PAVEMENT SECTION DETAIL

SCALE: 3/4" = 1'-0"

LINE LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
	HIDDEN WORK
	EXISTING TO BE REMOVED

FILE LOCATION: H:\2301\linox Senior Center and HVAC\_renovation\dwg\2301\ Pavement Replacement Plan.dwg  
 DATE PLOTTED: 5/17/2023  
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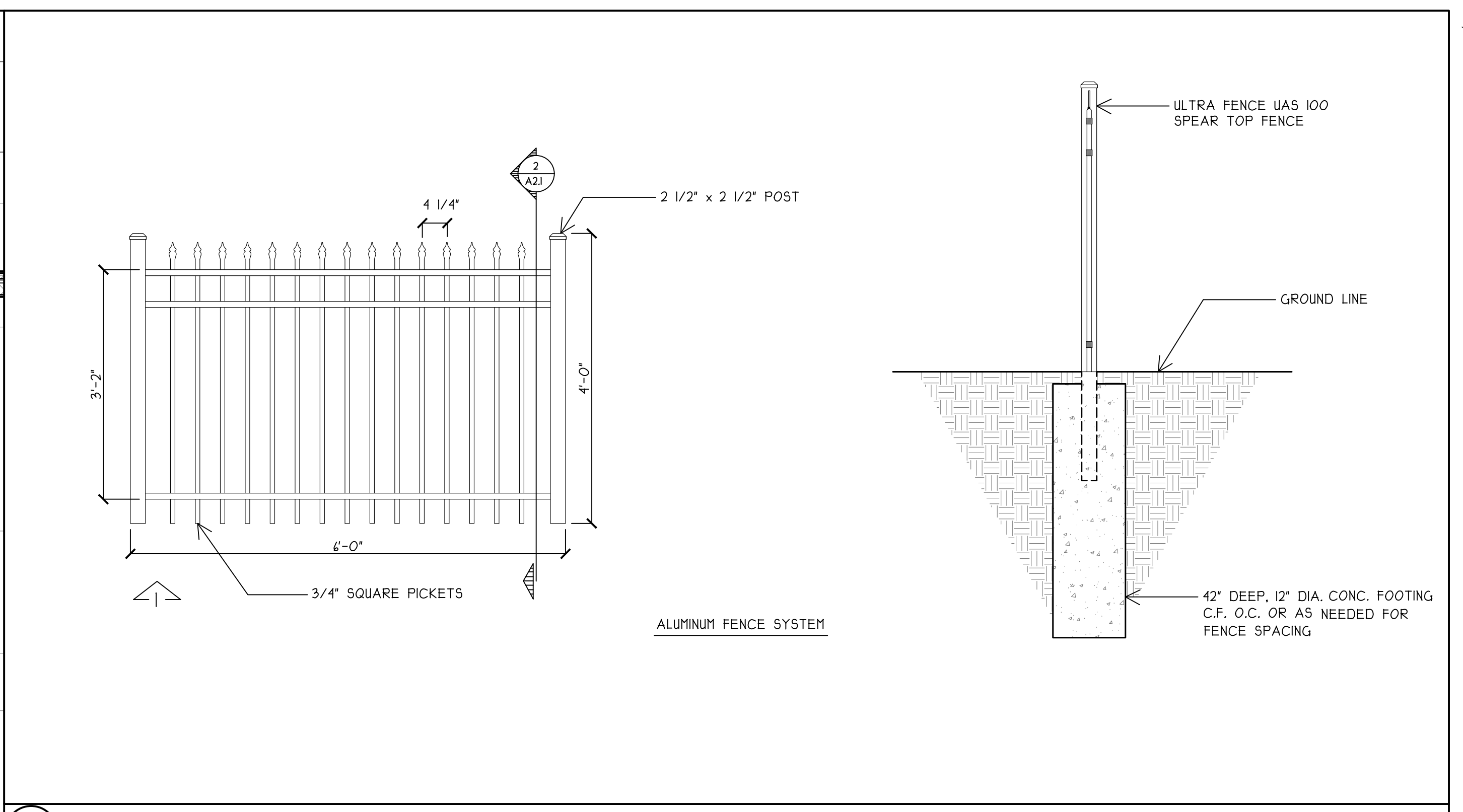
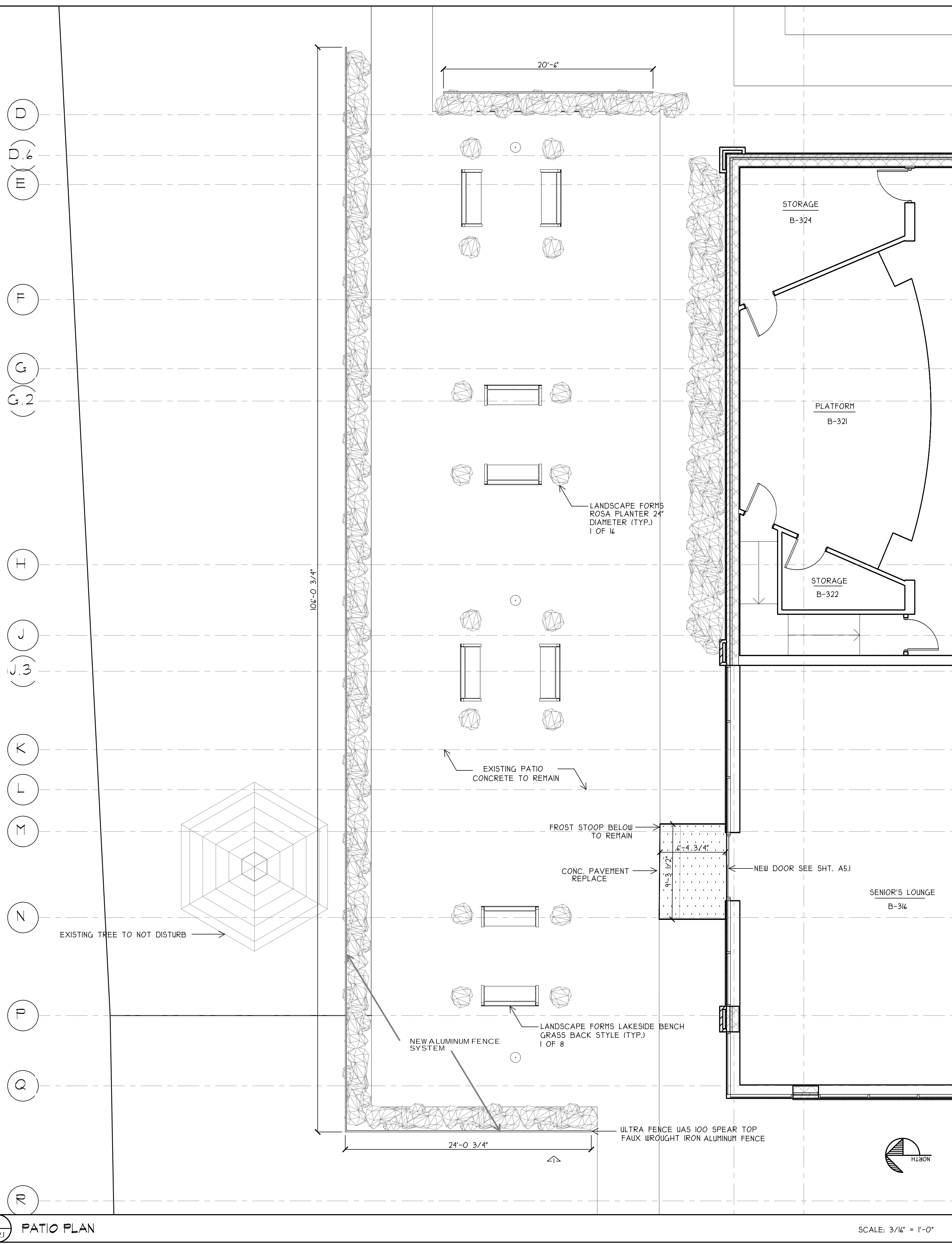
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OWNER REVIEW  
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ck d: DAR  
app d: xxx  
O2-19-24  
1-25-23  
date

INTERIOR RENOVATION for:  
CITY OF WIXOM  
WIXOM, MICHIGAN  
SECTOR PLAN-PAVING

A2.0  
23016

FILE LOCATION: H:\23016\linox Senior Center and HVAC\_reno\dwg\23016\_Patio Plan\_A21.dwg  
 DATE PLOTTED: 1/25/2023  
 PLOTTED BY: mten  
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**2 A21 FENCE ELEVATION AND SECTION DETAIL**

SCALE: 3/4" = 1'-0"



**LANDSCAPE FORMS BENCH**

STYLE: GRASS BACKED

MATERIAL: PRE-FINISHED PLASMA STEEL CUT PANELS, 1/4" DUAL THICK STEEL FRAMES AND STAINLESS STEEL HARDWARE

PROVIDE (2) 3/8" ANCHOR BOLTS TO CONCRETE PER BENCH. DRILL HOLES PER LAYOUT PLAN TO SET BENCHES.



**LANDSCAPE FORMS ROSA PLANTER**

STYLE: 24" DIAMETER

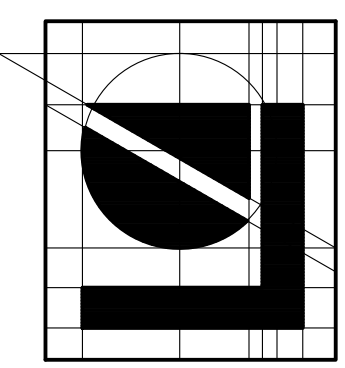
MATERIAL: POLYETHYLENE

INFO: IDEAL FOR HIGH TRAFFIC AREAS, DOES NOT CHIP, CRACK, AND RESISTANT TO UV RAYS, MOISTURE, AND TEMP CHANGES

PROVIDE 12" CMU BLOCK IN PLANTER. PROVIDE SOIL MIX FOR ANNUALS FLOWER MIX.

**LINE LEGEND**

—	NEW CONSTRUCTION
- - -	EXISTING TO REMAIN
---	HIDDEN WORK
.....	EXISTING TO BE REMOVED



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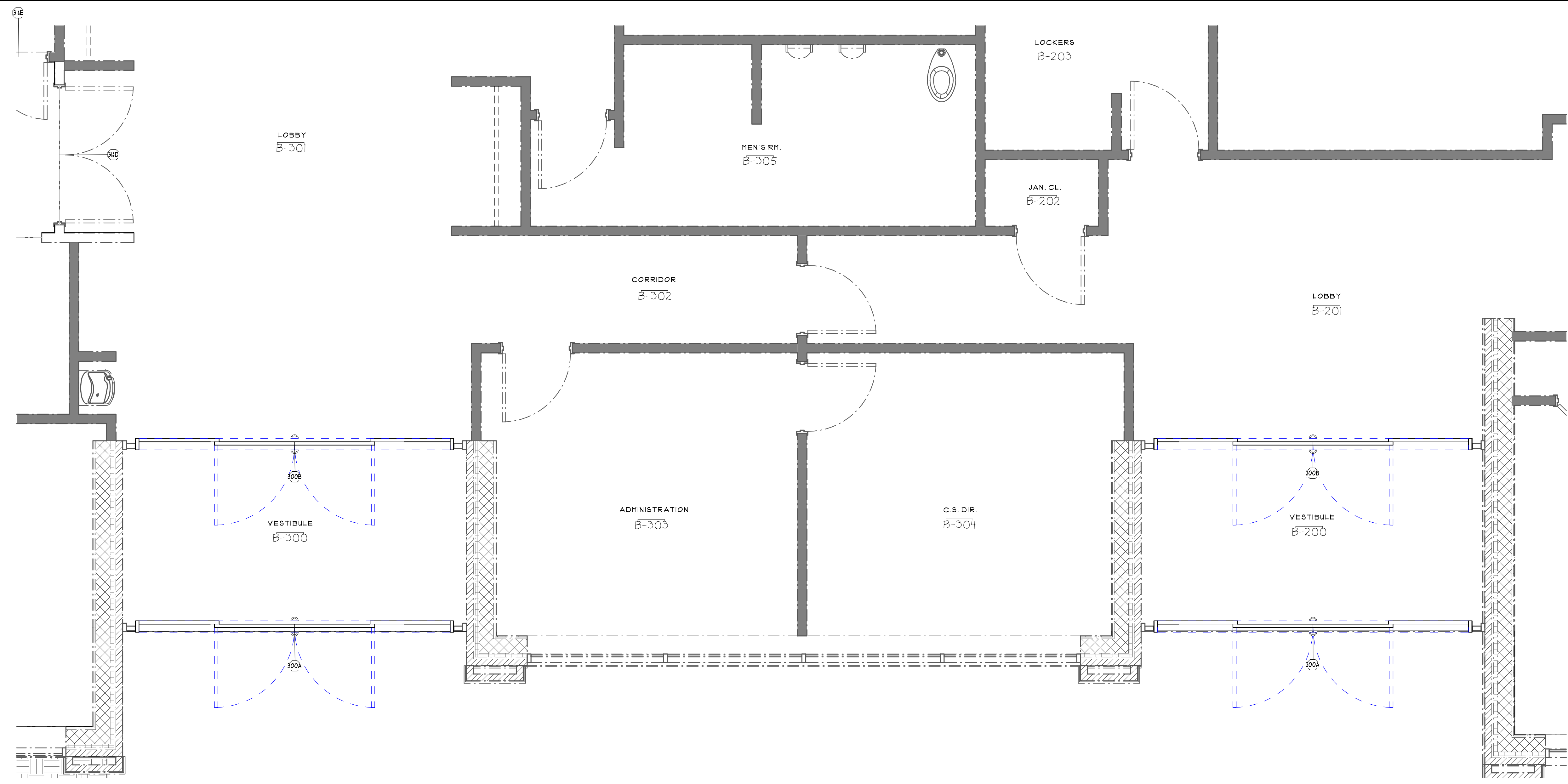
BIDS AND PERMITS  
OWNER REVIEW  
ISSUED FOR

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ck d: DAR  
app d: xxx  
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1-25-23  
date

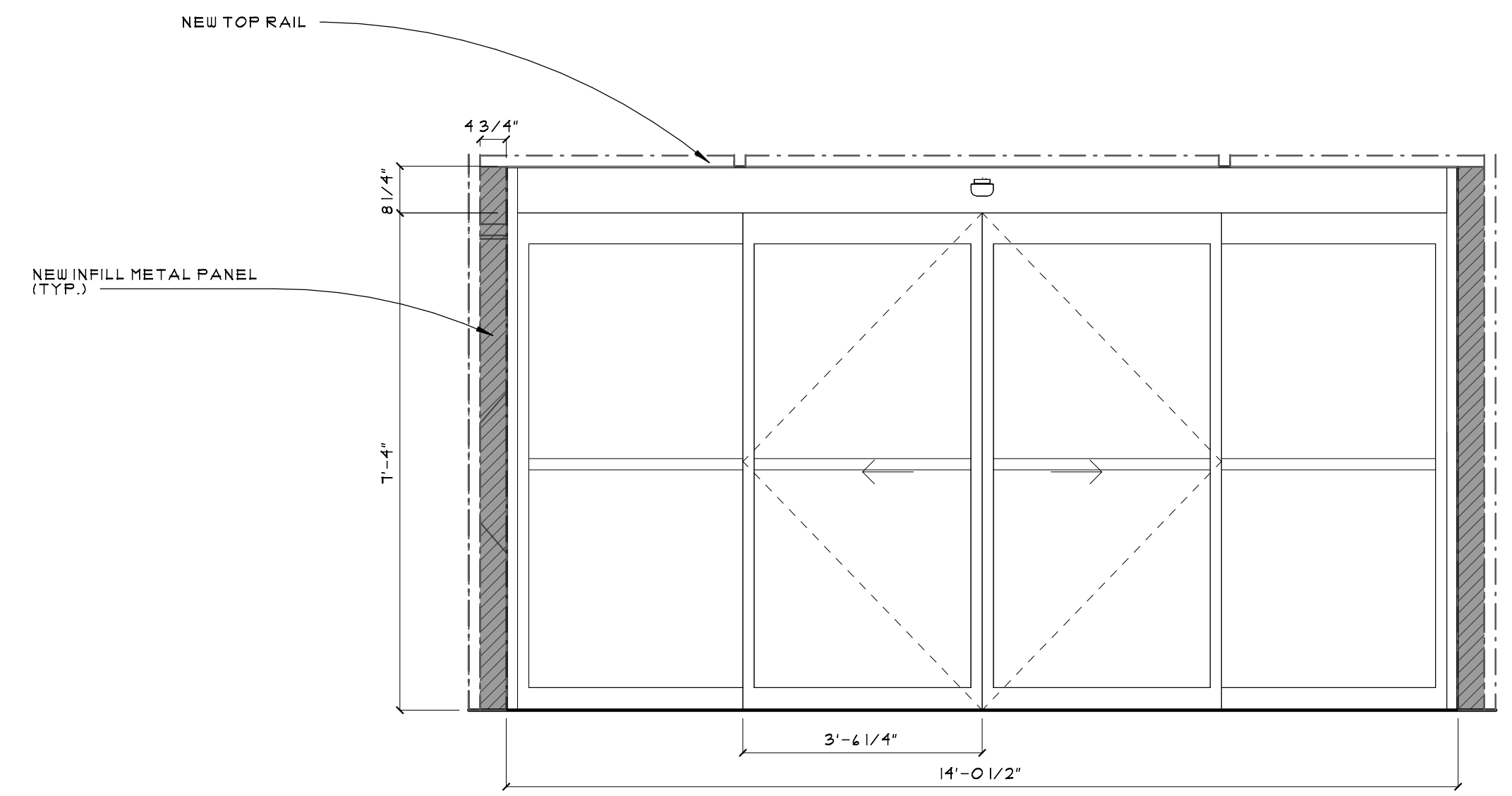
RENOVATION FOR:  
**CITY OF WIXOM**  
WIXOM, MICHIGAN  
PATIO PLAN AND DETAILS

**A2.1**  
23016

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1 ENTRY VESTIBULE PLAN  
A2.2 3/8" = 1'-0"



STANLEY DURA-STORM-2.05 NON-IMPACT BI-PART 2000 OR BESAME EQUIVALENT

PERFORMANCE: INCREASED STRUCTURAL RESILIENCE TO PROVIDE PROTECTION AGAINST HURRICANE-FORCE WINDS. FAIL SAFE LOCKING SYSTEM.

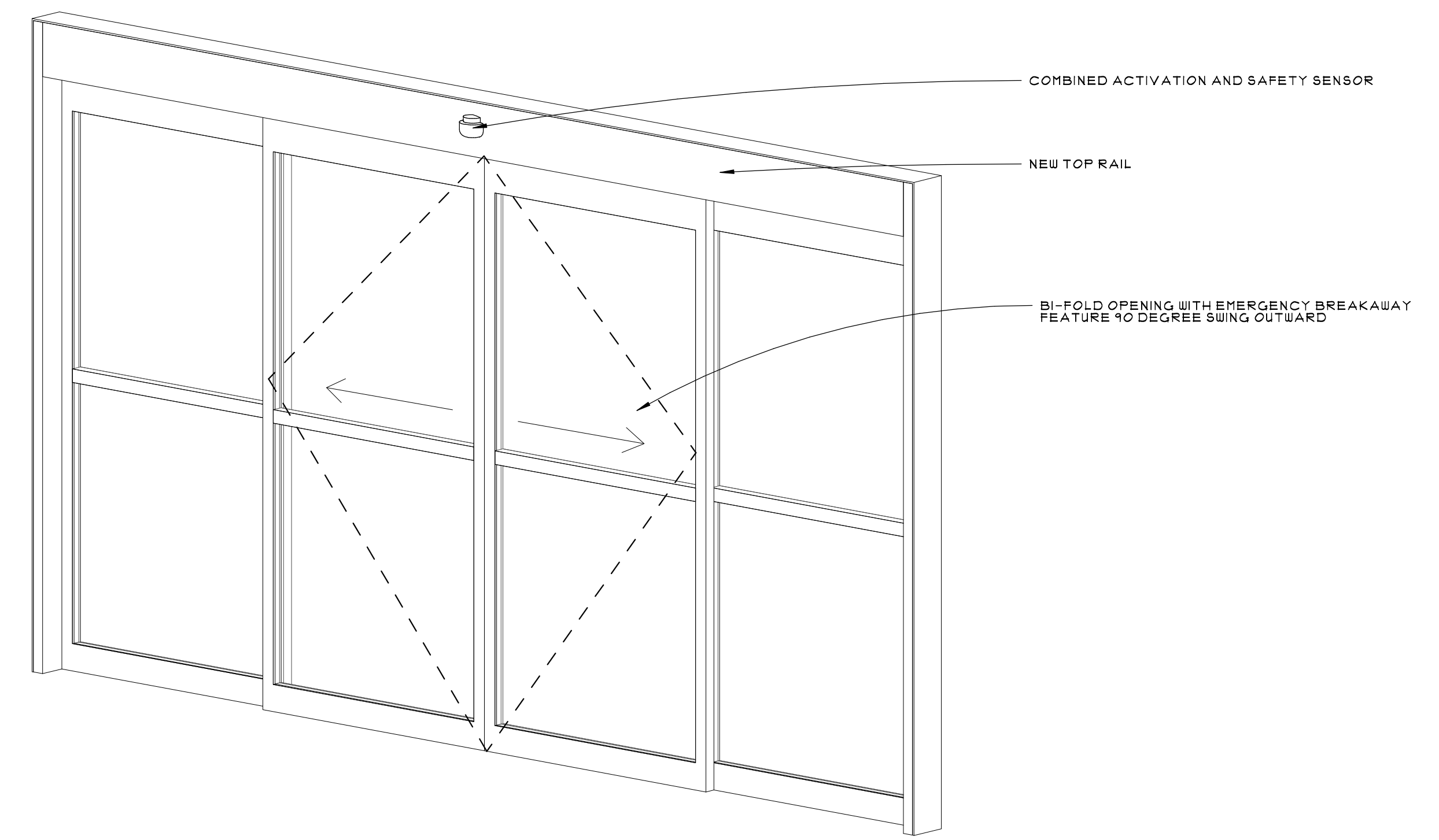
MATERIAL: 6063 T5 ALLOY  
FINISH: CLEAR ANODIZED ALUMINUM

HARDWARE:  
- COMBINED ACTIVATION AND SAFETY SENSORS  
- PROGRAMMABLE CONTROLLER  
- EMERGENCY BREAKAWAY FEATURE  
- LOCKING: 5-POINT, ELECTRIC SOLENOID LOCK, SURFACE OR RECESSED PANIC HARDWARE, LOCK GUARD, AND ARMORED STRIKE  
- ACCESS CONTROL PANEL. COORDINATE WITH OWNER.

LOCATION: DOORS 200A, 200B, 300A, 300B  
ELECTRICAL CONNECTION BY LICENSED ELECTRICIAN.

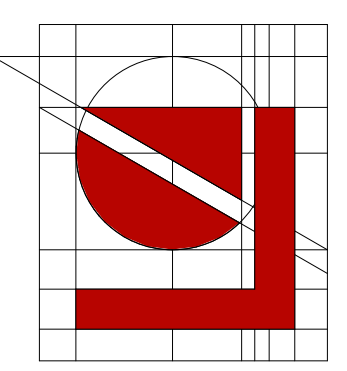
LICENSED ELECTRICIAN ONLY WITH 3 COMMERCIAL REFERENCES FROM '23 AND '24.

NATIONAL ELECTRIC CODE 2017 WITH AMENDMENTS AND MICHIGAN ELECTRIC CODE 2017 APPLY.



3 AUTOMATIC DOOR ELEVATION  
A2.2 1/2" = 1'-0"

2 AUTOMATIC DOOR 3D VIEW  
A2.2



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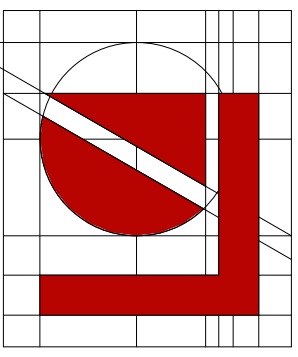
CONSULTANT

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INTERIOR RENOVATION FOR:  
**Wixom Senior Center**  
Wixom, MI  
**AUTOMATIC DOOR INFO**

A2.2  
23016

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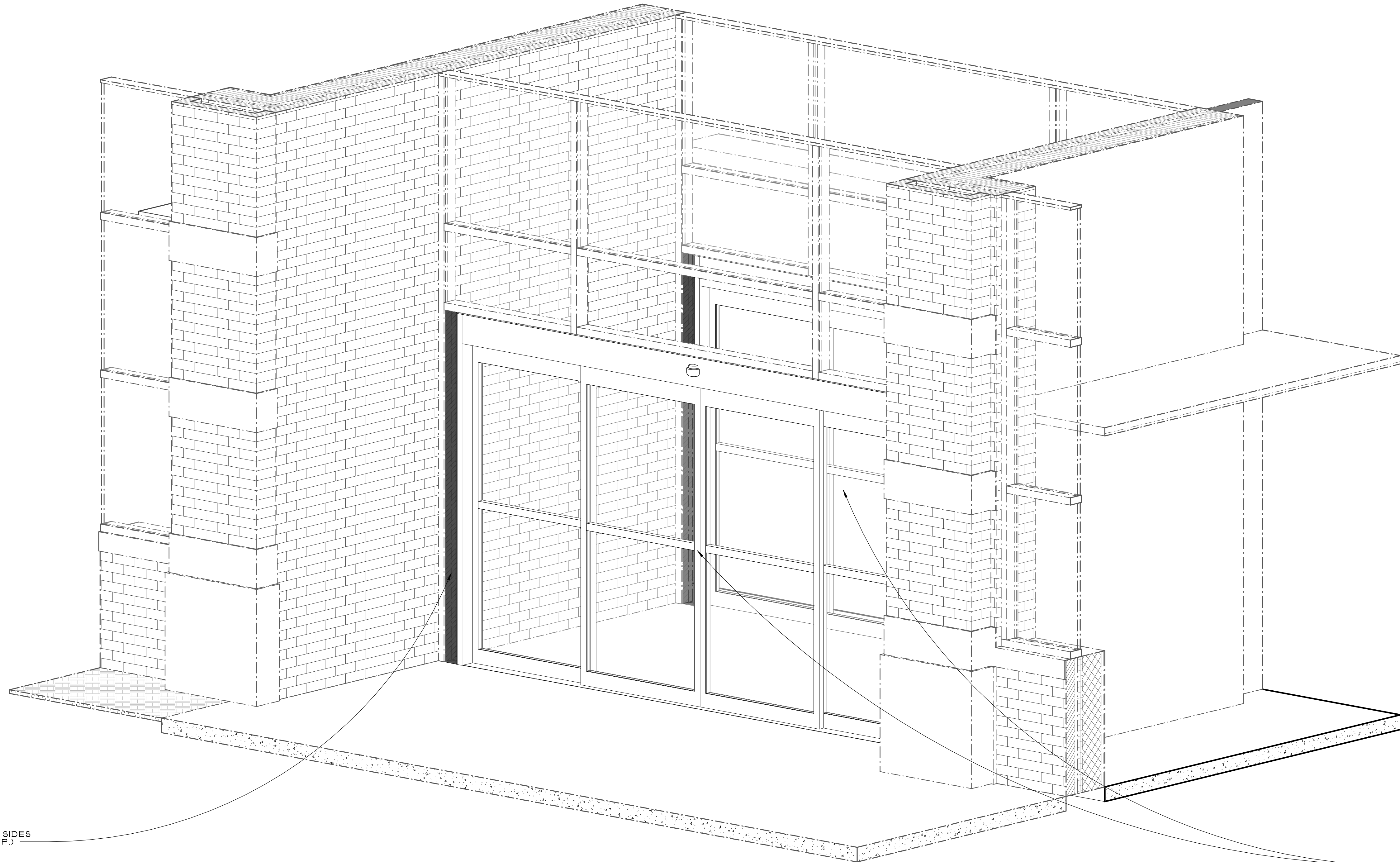
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CONSULTANT

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INTERIOR RENOVATION for:  
**Wixom Senior Center**  
Wixom, MI  
**AUTOMATIC DOOR AXON**

**A2.3**  
**23016**



INFILL METAL PANEL ON BOTH SIDES OF THE AUTOMATIC DOOR (TYP.)

STANLEY DURA-STORM-2.05 NON-IMPACT BI-PART 2000 AUTOMATIC DOORS

1  
A2.3

**AUTOMATIC DOOR AXON**



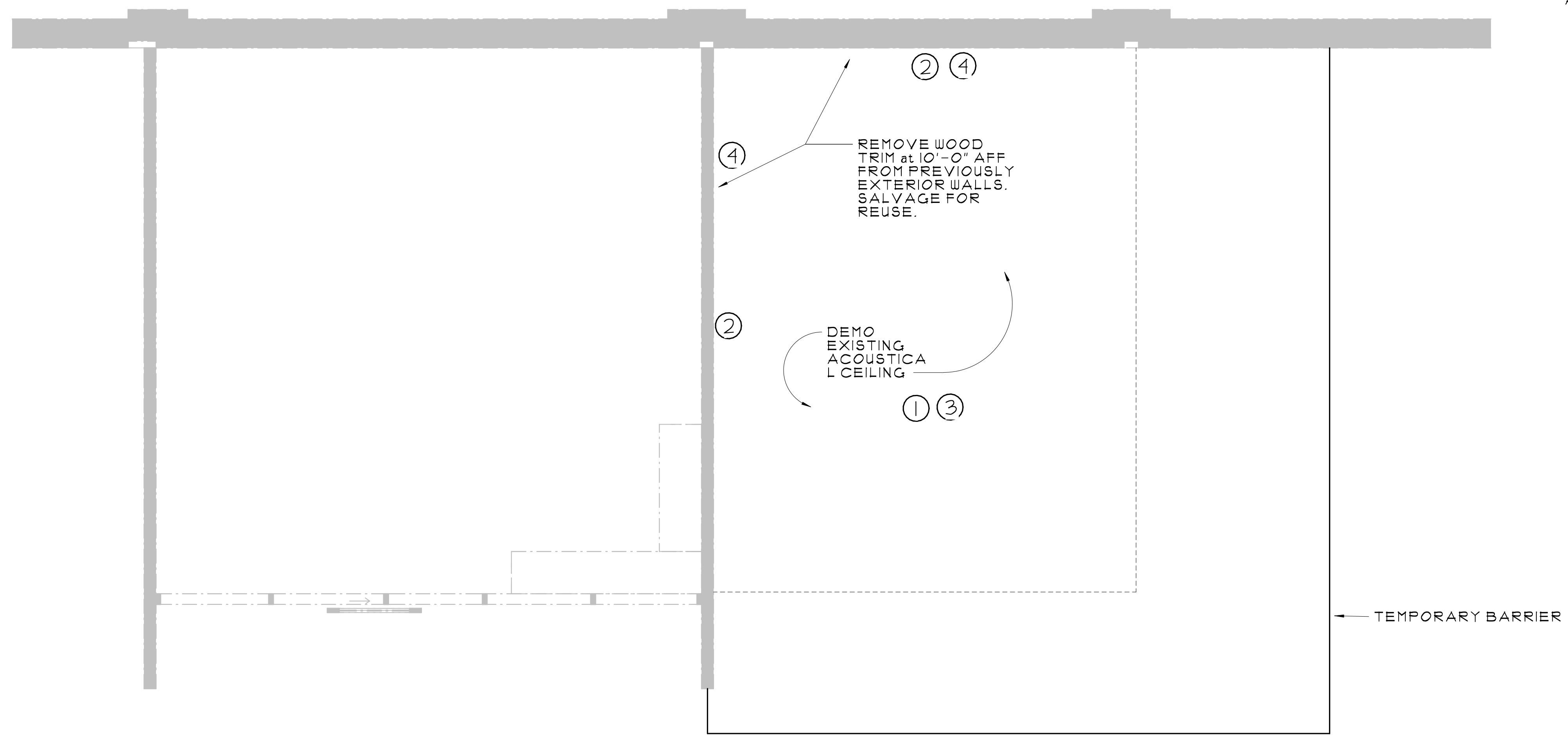


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1  
D2.0

## DEMO FLOOR PLAN

3/8" = 1'-0"



1  
D2.0

## DEMO NOTES

- ① REMOVE EXISTING CEILING PADS & GRID.
- ② REMOVE WALL COVERING.
- ③ REMOVE EXISTING FLOOR FINISH & ADHESIVE.
- ④ REMOVE EXISTING WOOD TRIM AT EXTERIOR WALLS.

ADDITIONAL NOTES:

ALL WORK TO BE DONE WHILE BUILDING IS OCCUPIED. NORMAL BUSINESS OPERATIONS OF THE BUILDING WILL BE CONTINUED DURING CONSTRUCTION. TAKE ALL MEASURES NECESSARY TO LIMIT DISRUPTION, DUST, NOISE, AND NUISANCE. INTERFERENCE WITH NORMAL OPERATIONS SHALL NOT OCCUR WITHOUT THE OWNER'S EXPRESSED CONSENT. ANY ACTIVITIES THAT SPECIFICALLY PRODUCE EXCESSIVE NOISE OR VIBRATIONS SHALL BE PERFORMED AFTER BUSINESS HOURS.

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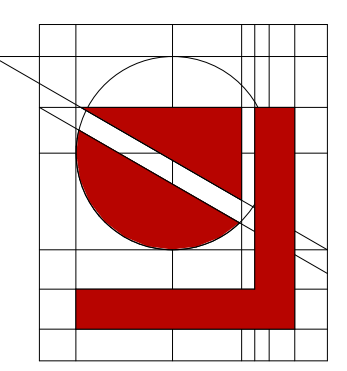
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ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE LOCAL AND STATE CODES. REFER TO DIVISION I OF THE PROJECT SPECIFICATIONS.



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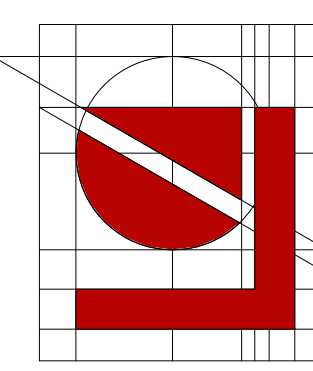
CONSULTANT

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			02-19-24 08-01-23	

INTERIOR RENOVATION for:  
**City of Wixom Library**  
 WIXOM, MI  
**DEMO PLAN**

**D2.0**  
**23016**

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INTERIOR RENOVATION for:  
**City of Wixom Library**  
 WIXOM, MI  
**3D VIEWS**

**A3.1**  
**23016**



1  
A3.1 STUDY ROOM PERSPECTIVE VIEW



2  
A3.1 TUTOR ROOM PERSPECTIVE VIEW

ROOM LEGEND	
IO1	MAIN LOBBY
IO2	BLDG. DEPT. VETSIBULE
IO3	BLDG. DEPT. AISLE
IO4	WORK COUNTER

LINE LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
	HIDDEN WORK
	EXISTING TO BE REMOVED

**ESTIMATE INFO**

PROVIDE NEW 4" VINYL WALL BASE, NEW CARPET TILE FLOORING, AND NEW PAINT FINISH WITHIN THE AREA OF WORK/BOUNDRIES - TYP.

LAY NEW CARPET FROM CITY'S ATTIC STOCK, 2X2 CPT TILES

WALL BASE: MANNINGTON, 4" BURKEBASE TYPE TV

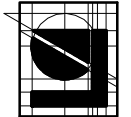
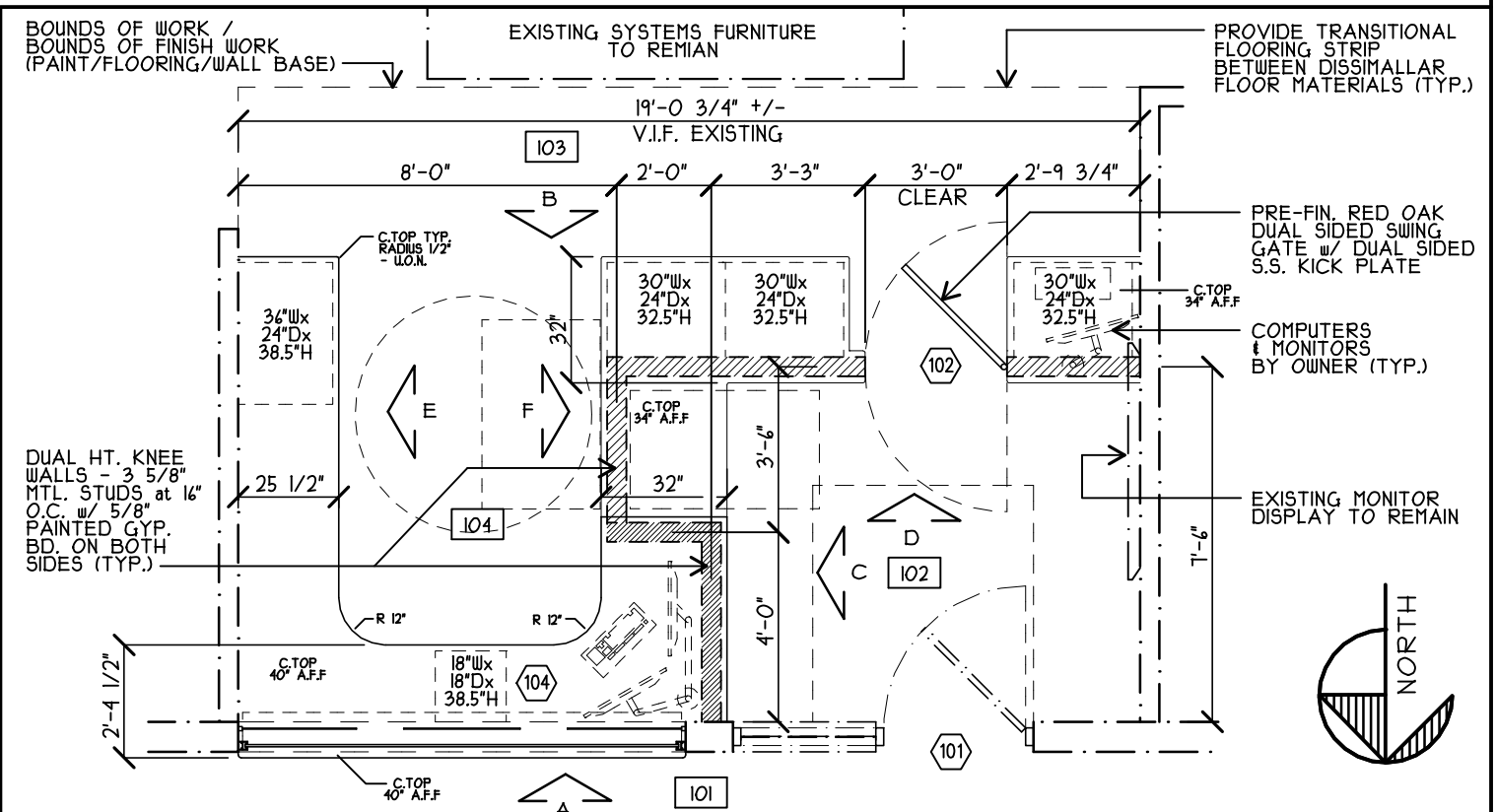
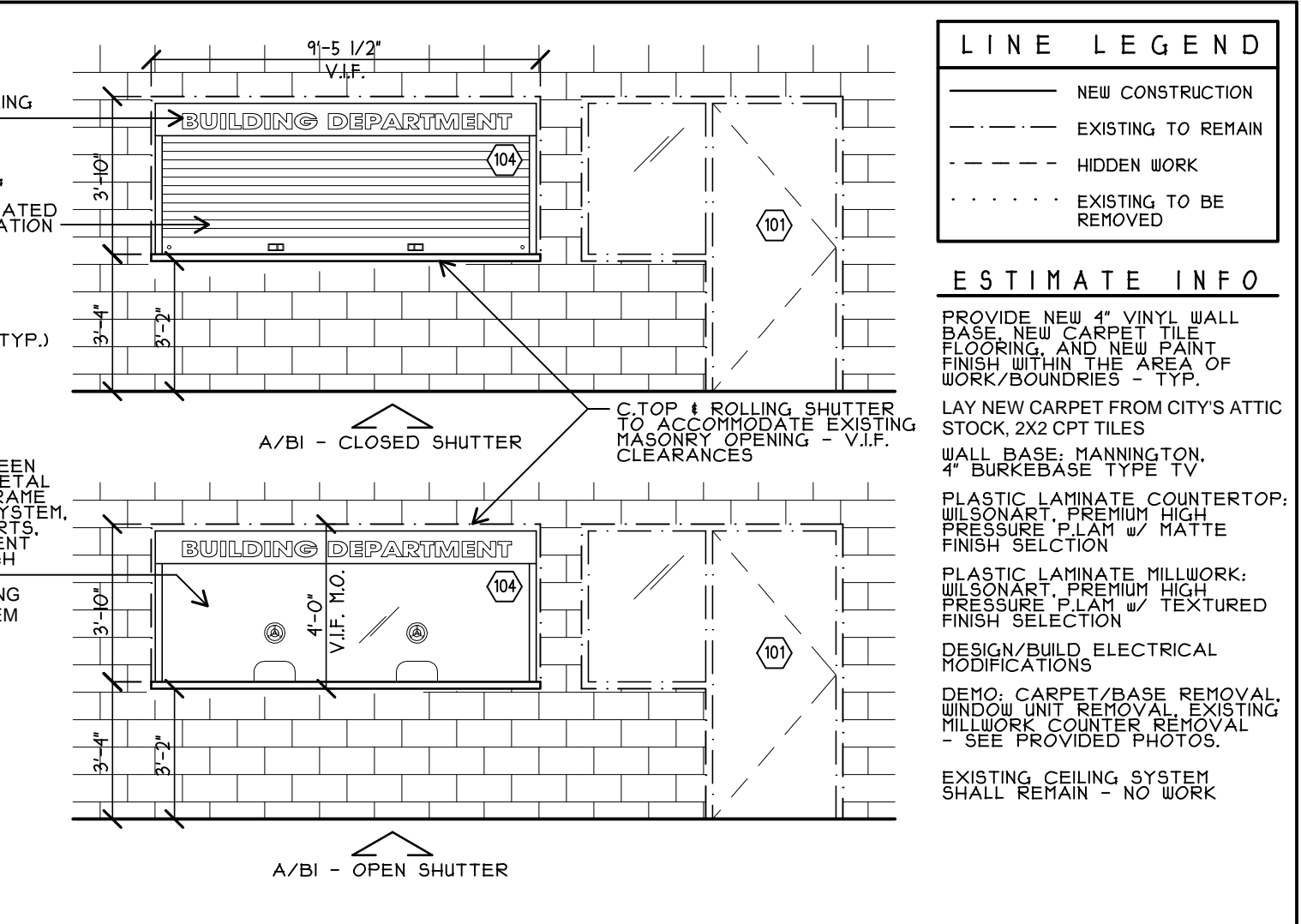
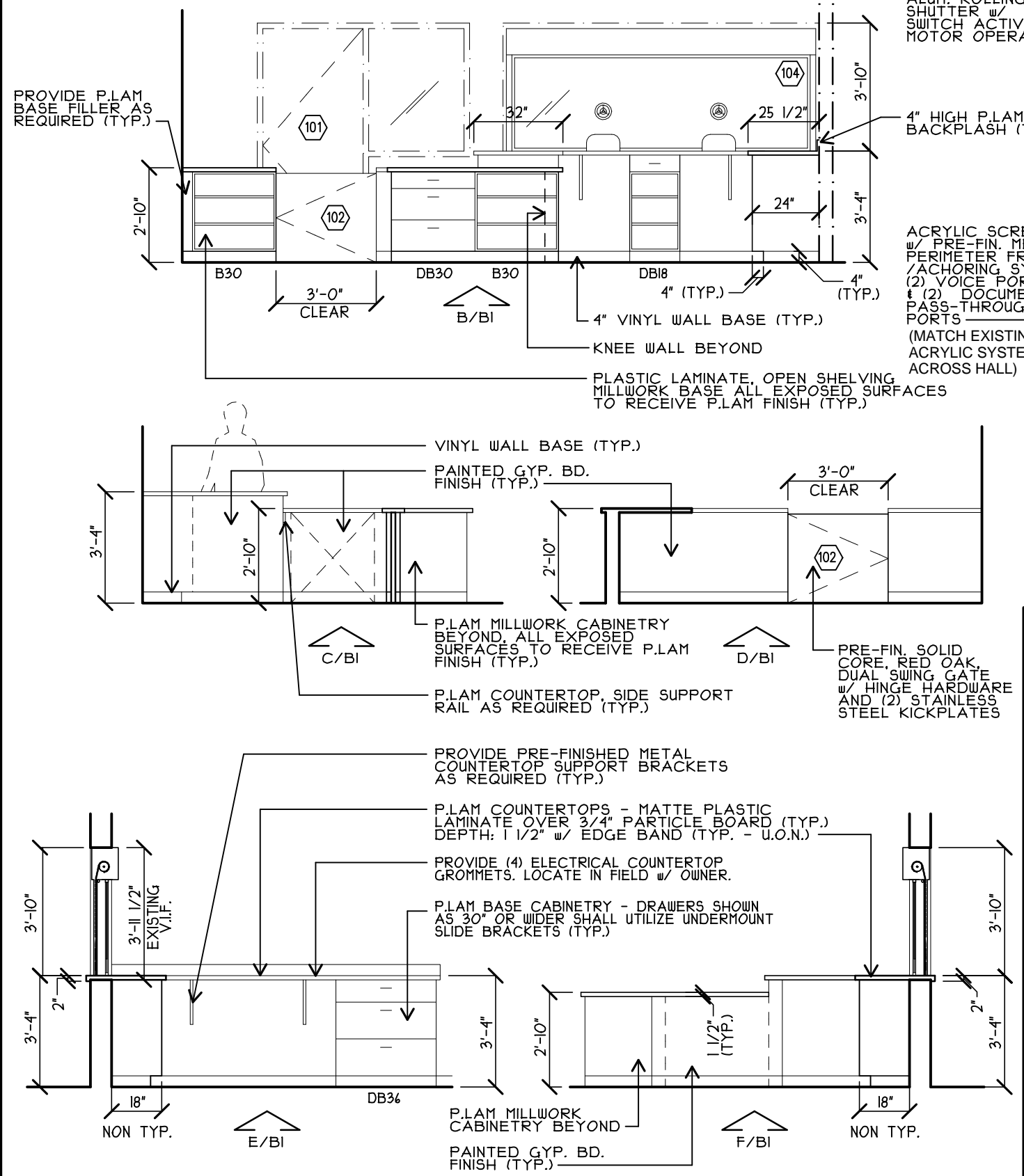
PLASTIC LAMINATE COUNTERTOP: WILSONART, PREMIUM HIGH PRESSURE P.LAM w/ MATTE FINISH SELECTION

PLASTIC LAMINATE MILLWORK: WILSONART, PREMIUM HIGH PRESSURE P.LAM w/ TEXTURED FINISH SELECTION

DESIGN/BUILD ELECTRICAL MODIFICATIONS

DEMO: CARPET/BASE REMOVAL, WINDOW UNIT REMOVAL, EXISTING MILLWORK COUNTER REMOVAL - SEE PROVIDED PHOTOS.

EXISTING CEILING SYSTEM SHALL REMAIN - NO WORK

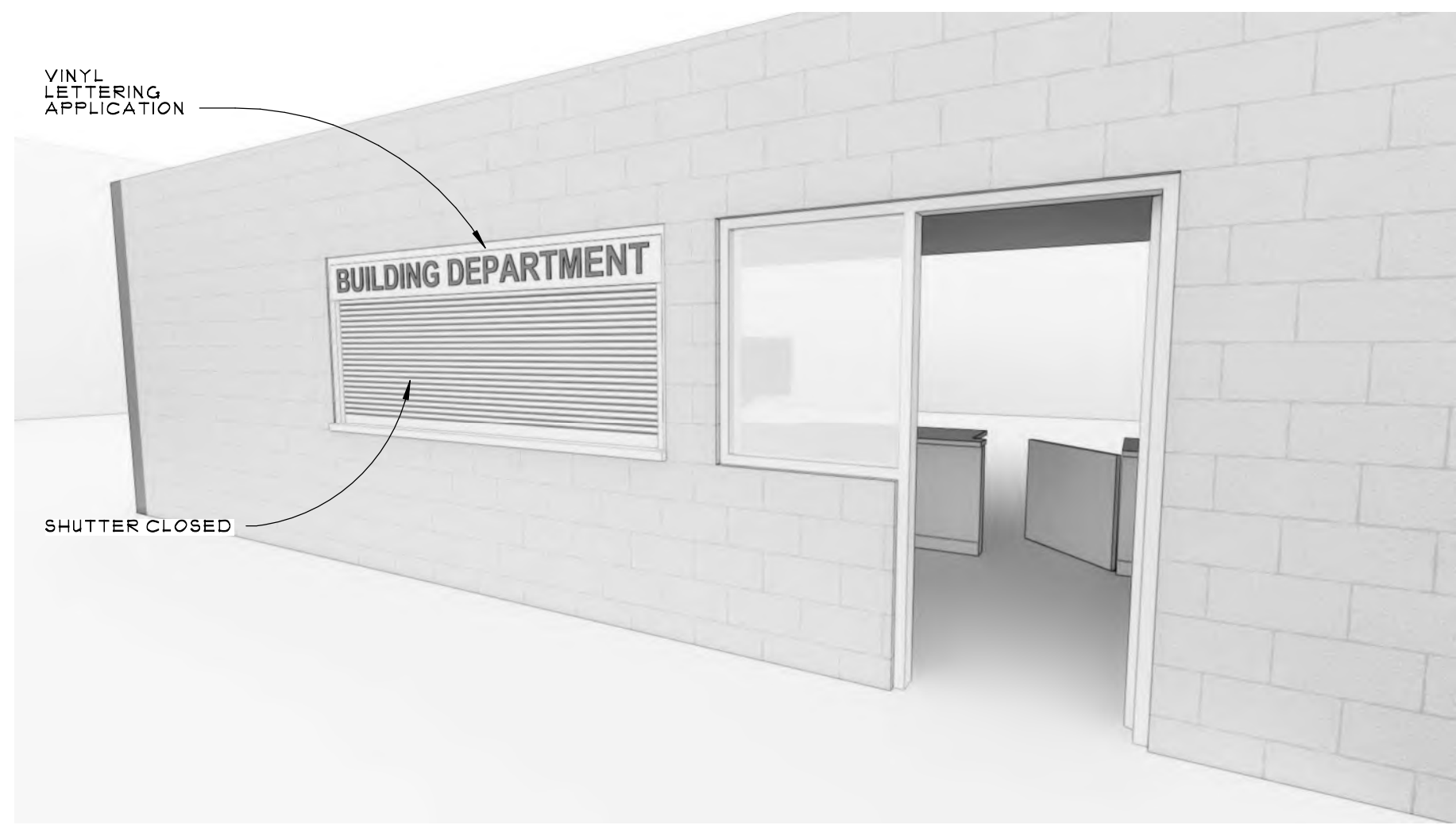


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BIDS AND PERMITS	
10-25-22	dr: hld
10-21-22	app: d' pul
9-12-22	
8-25-22	

PROPOSED INT. RENOVATION FOR:  
 CITY OF WIXOM - BLDG. DEPT.  
 49045 PONTIAC TRAIL, WIXOM, MI 48393

H:\2016 Wixom Senior Center and HVAC rendering\pds\2016\_Wixom library rev.rvt  
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VIEW FROM HALLWAY



VIEW FROM HALLWAY

EXISTING DOOR AND WINDOW LOCATION

PRE-FIN SOLID CORE, RED OAK, DUAL SWING GATE W/ HINGE HARDWARE AND (2) STAINLESS STEEL KICKPLATES

PLASTIC LAMINATE, OPEN SHELVING MILLWORK BASE ALL EXPOSED SURFACES TO RECEIVE P.LAM FINISH (TYP.)

VINYL WALL BASE (TYP.)

OVERALL ROOM VIEW

NEW PRE-FINISHED ALUM. ROLLING SHUTTER W/ SWITCH ACTIVATED MOTOR OPERATION

P.LAM COUNTERTOPS - MATTE PLASTIC LAMINATE OVER 3/4" PARTICLE BOARD (TYP.)

P.LAM BASE CABINETS - DRAWERS SHOWN AS 30" OR WIDER SHALL UTILIZE UNDERMOUNT SLIDE BRACKETS (TYP.)

PROVIDE TRANSITIONAL FLOORING STRIP BETWEEN DISSIMILAR FLOOR MATERIALS (TYP.)

COMPUTERS & MONITORS BY OWNER (TYP.)

PROVIDE PRE-FINISHED METAL COUNTERTOP SUPPORT BRACKETS AS REQUIRED (TYP.)

DUAL HT. KNEE WALLS - 3 5/8" HT. STUDS AT 1' O.C. WITH 1/2" PAINTED GYP. BD. ON BOTH SIDES (TYP.)



VIEW FROM VESTIBULE ENTRANCE

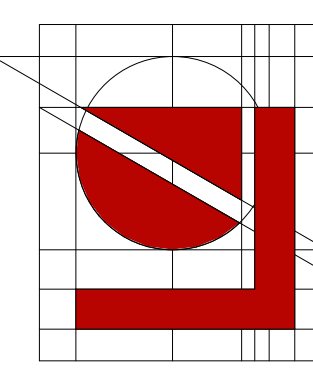
EXISTING MONITOR DISPLAY TO REMAIN

2'-10" COUNTERTOP HGT. ADA COMPLIANT

PAINTED GYP. BD. FINISH (TYP.)



VIEW FROM BEHIND WORK COUNTER



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DESIGN:	ARP
CHECKED:	DAR
APP'D:	
DATE:	02-19-24
ISSUED FOR:	BIDS AND PERMITS
OWNER REVIEW:	08-01-23

INTERIOR RENOVATION for:  
**Wixom Bldg. Dept.**  
 WIXOM, MI  
**PERSPECTIVE VIEWS**

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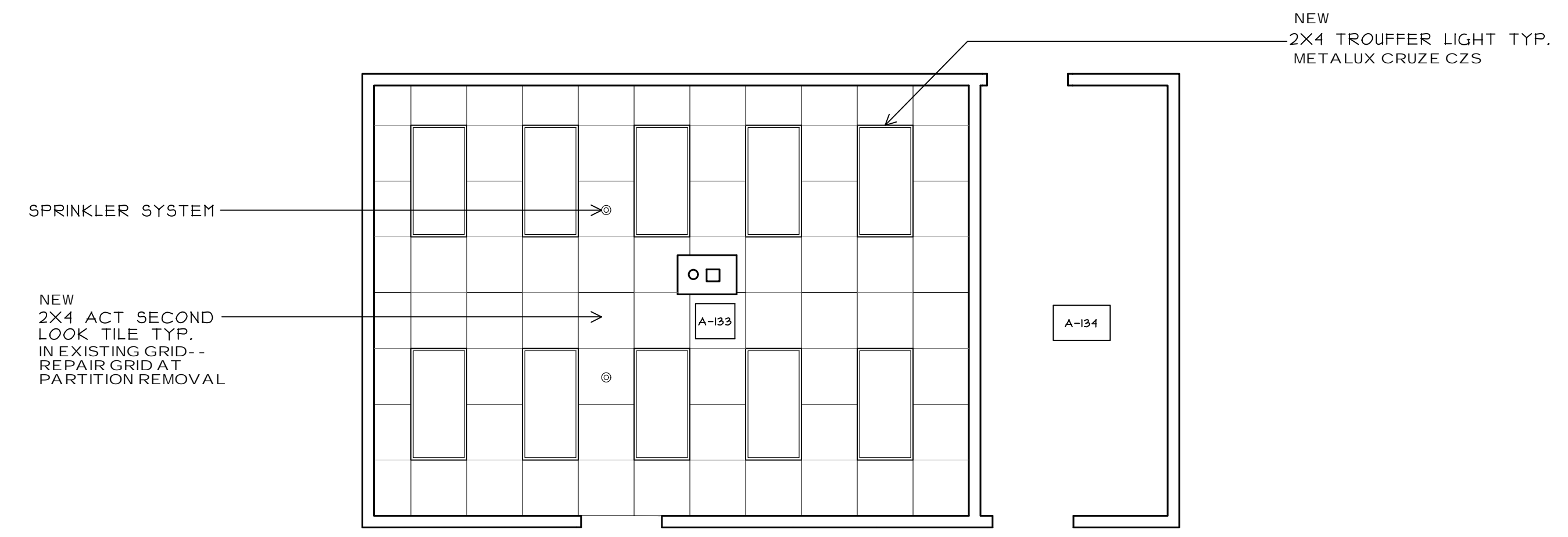
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03  
A5.0

CEILING PLAN

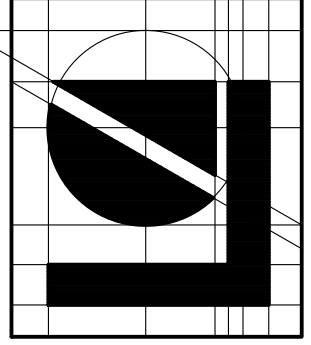
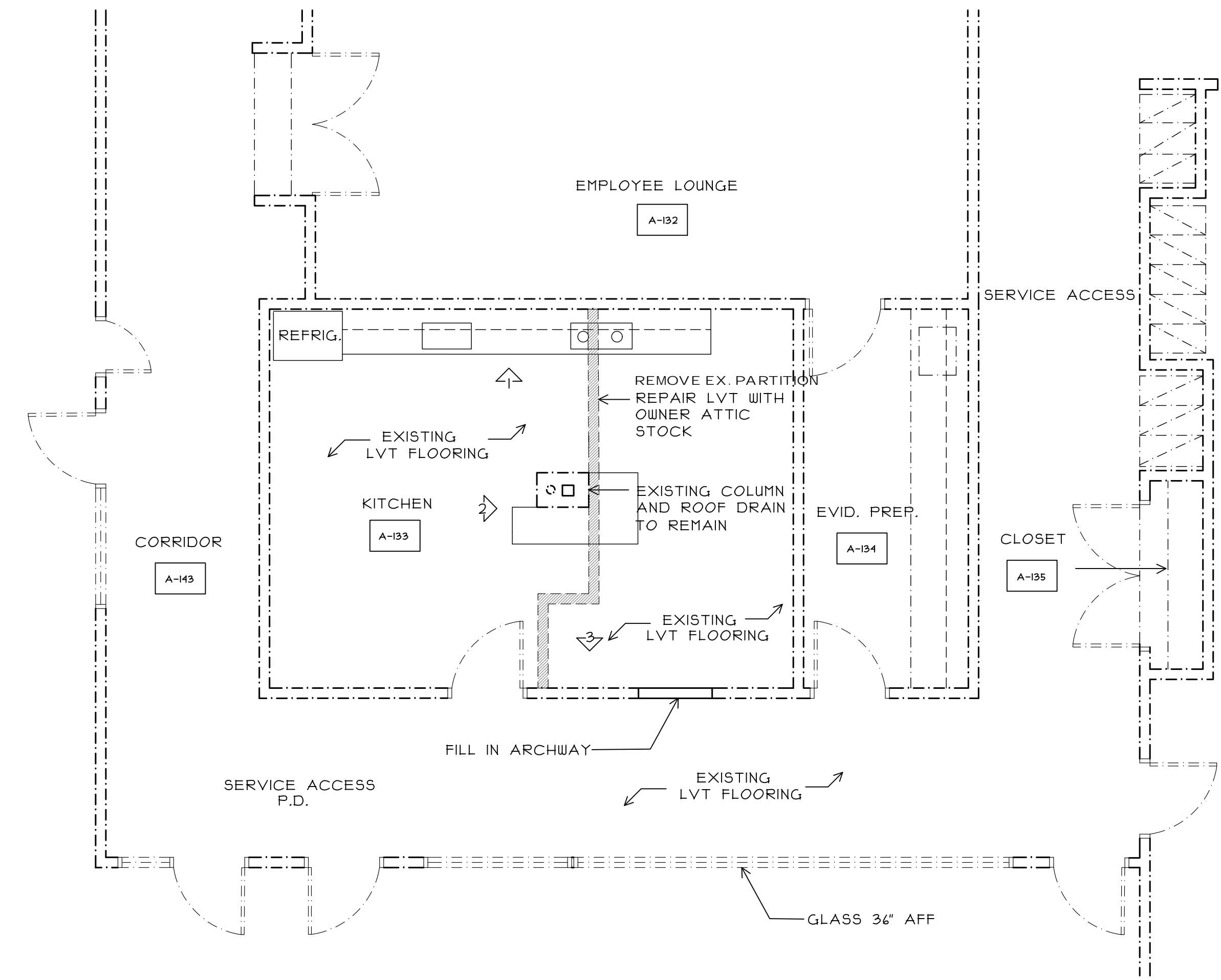
SCALE: 1/4" = 1'-0"



01  
A5.0

FLOOR PLAN

SCALE: 1/4" = 1'-0"



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BIDS AND PERMITS  
PLOTTING  
ISSUED FOR

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ck d: DAR  
app d: xxx  
02-19-24  
8-23-23  
date

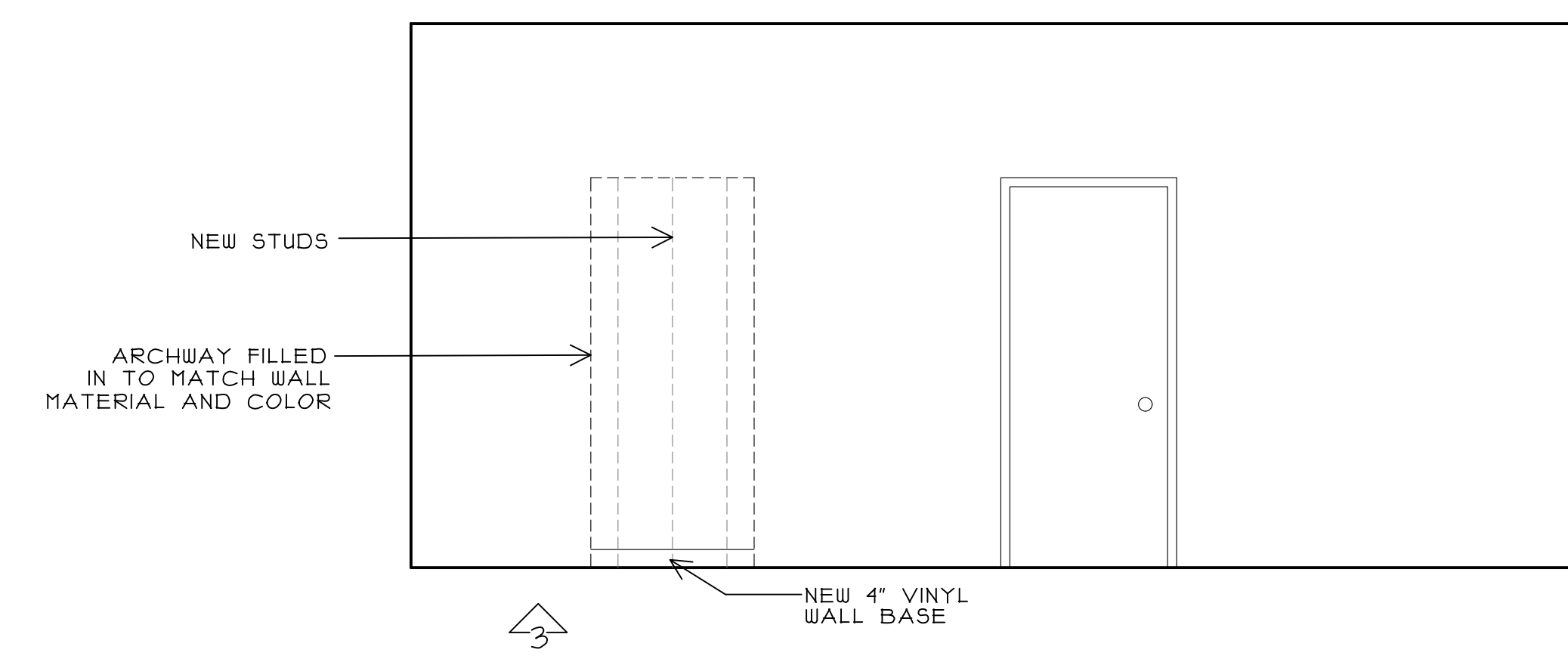
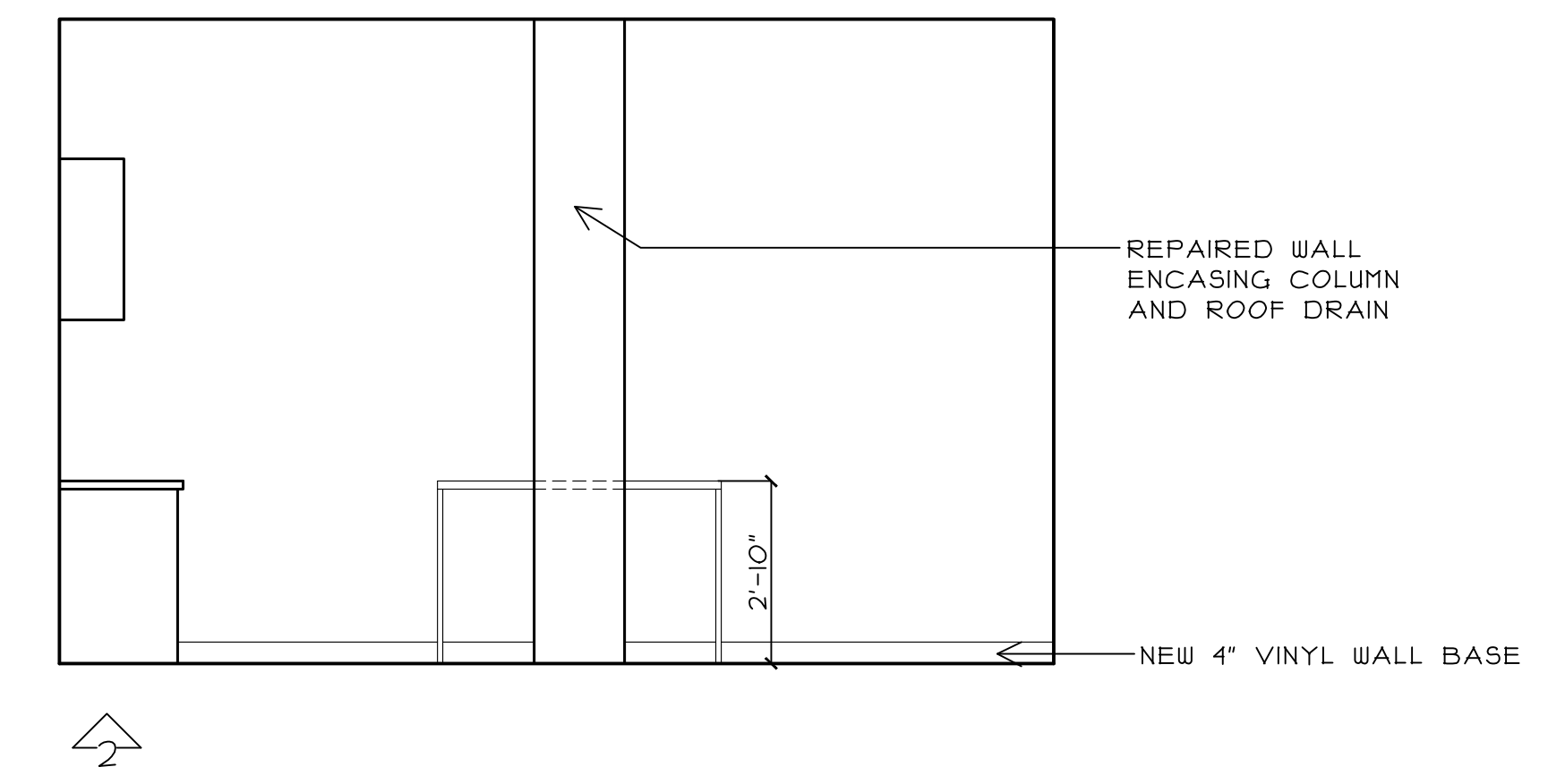
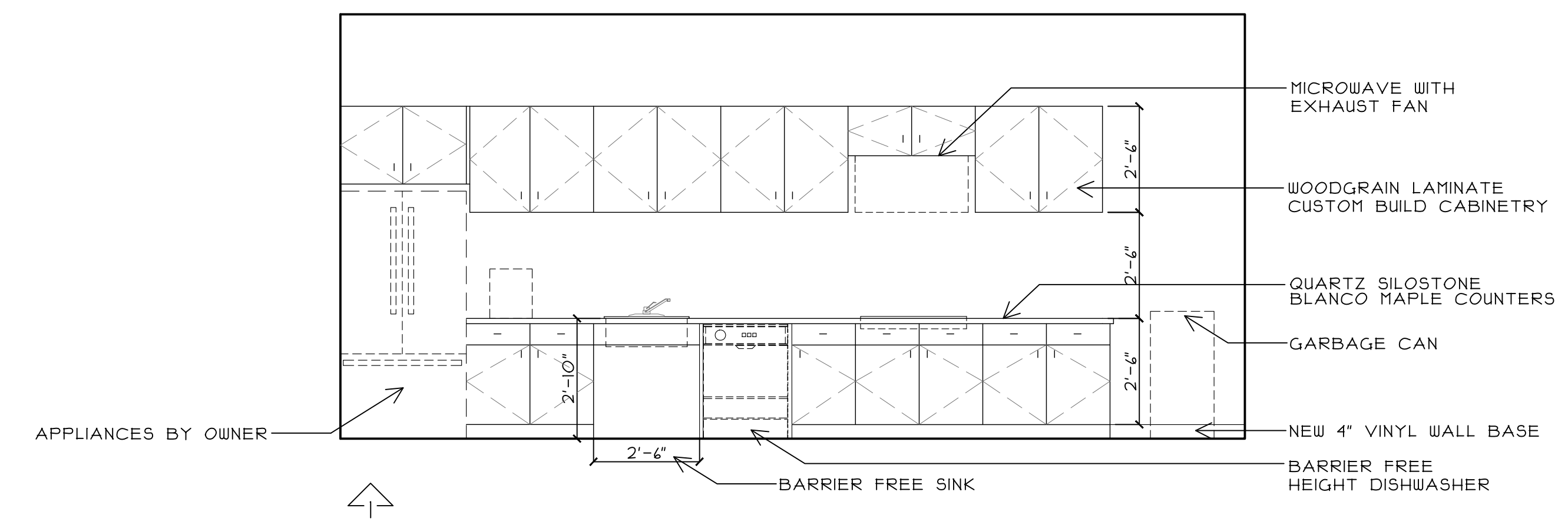
INTERIOR RENOVATION for:  
CITY OF WIXOM P.D. BREAK RM,  
WIXOM, MICHIGAN  
PLANS & ELEVATIONS

A5.0  
2016

02  
A5.0

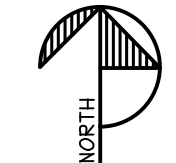
INTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



LINE LEGEND

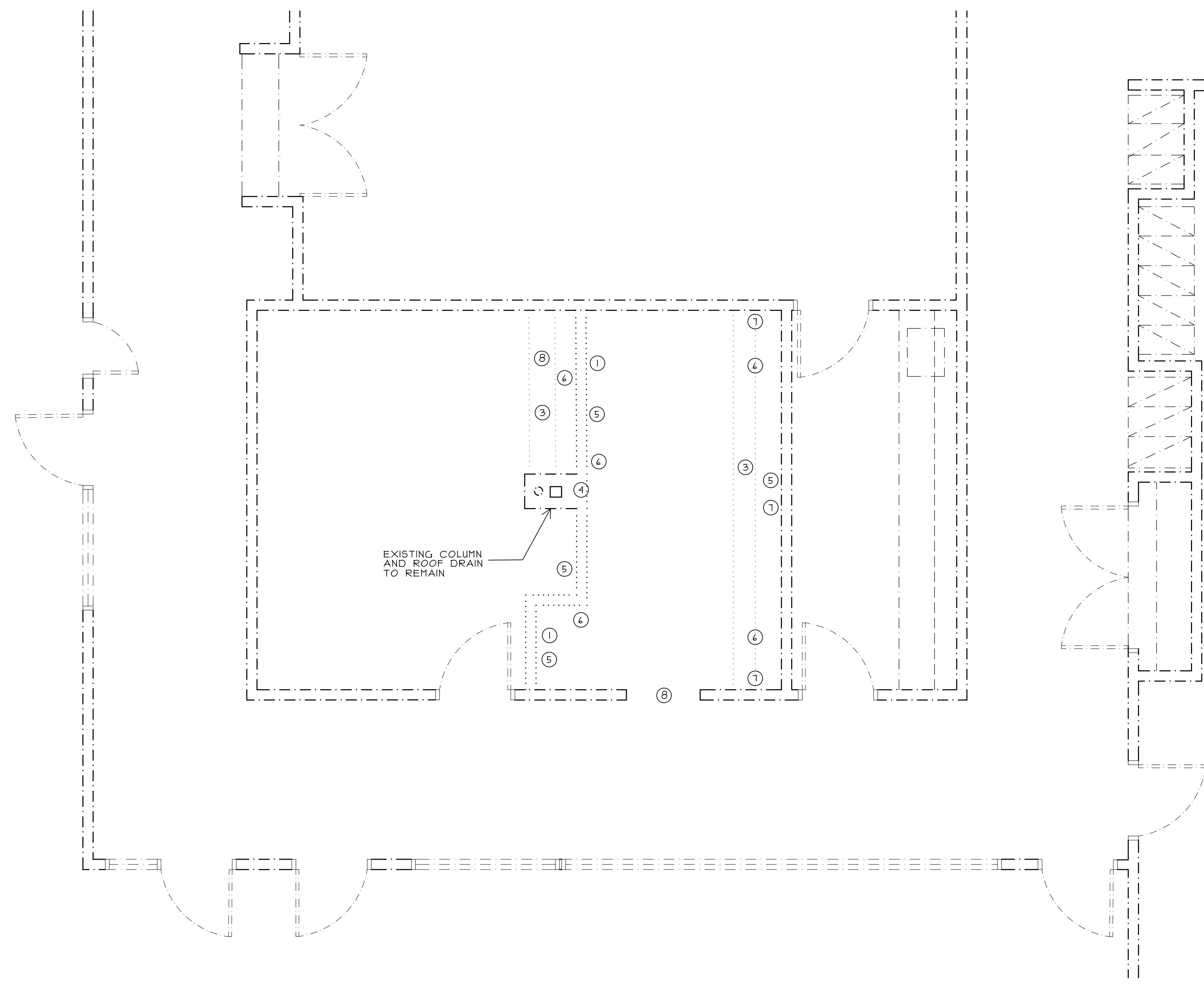
---	NEW CONSTRUCTION
- - - -	EXISTING TO REMAIN
.....	HIDDEN WORK
.....	EXISTING TO BE REMOVED



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FILE LOCATION: HA23002 Building Department C:\Building A Renovation Demolition Planning  
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### D3.0 DEMO NOTES

- ① REMOVE EXISTING WALLS AS INDICATED AND DISCARD. WHERE WALLS ARE DESIGNATED TO REMAIN PROVIDE CLEAN JOINTS AT ENDS OF DEMOLITION WORK TO RECEIVE FUTURE ABUTTING CONSTRUCTION
- ② REMOVE EXISTING PLUMBING FIXTURES. PRESERVE & CAP PLUMBING LINES IN SUITABLE CONDITION TO BE ROUTED TO FUTURE PLUMBING FIXTURES.
- ③ REMOVE AND DISCARD EXISTING MILLWORK, AND SOFFIT
- ④ REPAIR GYP. BD. AND FRAMING ENCLOSURE AROUND COLUMN WHERE CONNECTED EXISTING WALL WAS REMOVED
- ⑤ REPAIR CEILING WHERE EXISTING WALLS ARE REMOVED AS INDICATED
- ⑥ REPAIR LVT FLOORING WHERE EXISTING WALLS ARE REMOVED AS INDICATED
- ⑦ REPAIR GYP. BD. AND WALL FRAMING WHERE EXISTING MILLWORK IS REMOVED AS INDICATED
- ⑧ PATCH CONCRETE SLAB.

#### ADDITIONAL NOTES:

ALL WORK TO BE DONE WHILE BUILDING IS OCCUPIED. NORMAL BUSINESS OPERATIONS OF THE BUILDING (CITY HALL & POLICE DEPARTMENT) WILL BE CONTINUED DURING CONSTRUCTION. TAKE ALL MEASURES NECESSARY TO LIMIT DISRUPTION, DUST, NOISE, AND NUISANCE. INTERFERENCE WITH NORMAL OPERATIONS SHALL NOT OCCUR WITHOUT THE OWNER'S EXPRESSED CONSENT. ANY ACTIVITIES THAT SPECIFICALLY PRODUCE EXCESSIVE NOISE OR VIBRATIONS SHALL BE PERFORMED AFTER BUSINESS HOURS.

CONTRACTOR SHALL PROVIDE TEMPORARY DUST-PROOF ENCLOSURES IF AND WHERE REQUESTED BY THE OWNER'S REPRESENTATIVE. ENCLOSURES SHALL BE FIRE RATED IF REQUIRED BY CODE. ALL TEMP. ENCLOSURE PARTITIONS SHALL BE CONSTRUCTED IN A MANNER AND OF MATERIALS OFFERING ADEQUATE PROTECTION TO OWNER'S EQUIPMENT AND PERSONNEL FROM DAMAGE AND INJURY DUE TO SELECTIVE DEMOLITION WORK. TEMPORARY SIGNAGE REQD.

ALL UTILITIES ARE EXISTING AND ARE TO BE KEPT OPERATIONAL AT ALL TIMES. NOTIFY OWNER PRIOR TO ANY PLANNED DISTURBANCES OF POWER, WATER, SEWER, GAS, TELECOMMUNICATIONS, OR ANY OTHER UTILITY

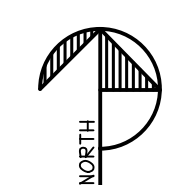
ALL DEMOLITION DEBRIS, NOT SPECIFICALLY DESIGNATED FOR SALVAGE OR RE-USE, IS TO BE DISPOSED OF PROPERLY AND IN A TIMELY MANNER.

ALL EXISTING CONSTRUCTION AND FINISHED SURFACES WHICH ARE TO REMAIN BUT ARE EXPOSED TO DEMOLITION WORK SHALL BE PROTECTED FROM DAMAGE AND/OR RESTORED AND REFINISHED TO MATCH THE EXISTING CONSTRUCTION, FINISH, AND ALIGNMENT OF THE ADJACENT CONDITIONS.

VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS IN THE FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.

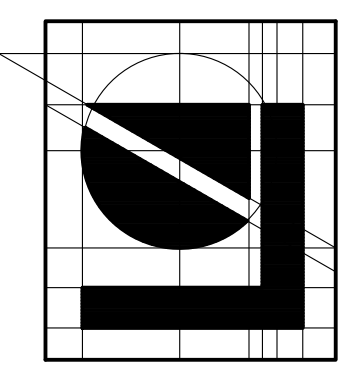
SURFACES TO RECEIVE NEW FINISHES SHALL BE CLEANED AND PREPPED ACCORDING TO THE REQUIREMENTS OF THE NEW MATERIALS INSTALLATION GUIDELINES.

ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE LOCAL AND STATE CODES. REFER TO DIVISION I OF THE PROJECT SPECIFICATIONS.



LINE LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
	HIDDEN WORK
	EXISTING TO BE REMOVED

SCALE: 3/8" = 1'-0"



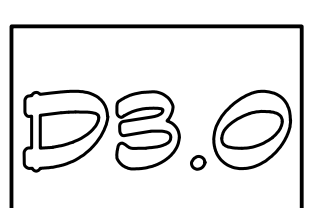
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BIDS AND PERMITS  
OWNER REVIEW  
ISSUED FOR

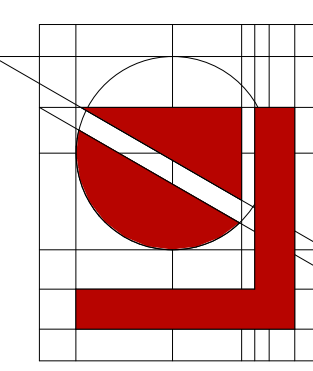
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8-1-23  
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INTERIOR RENOVATION FOR:  
**WIXOM P.D. BREAKROOM**  
WIXOM, MICHIGAN  
DEMO PLAN



23016

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			02-19-24	

INTERIOR RENOVATION for:  
**Wixom P.D. Break Room**  
 Wixom, MI  
**PERSPECTIVE VIEWS**

**A5.1**  
**23016**



NEW SPRINKLER SYSTEM  
 ACCENT WALL PAINT: BEHR PEACOCK TAILS-H-520  
 REPAIRED WALL ENCASING COLUMN AND ROOF DRAIN  
 2'-10" HEIGHT BUILT IN TABLE AROUND EXISTING POST

WILSONART WOODGRAIN LAMINATE CUSTOM BUILD CABINETS - COLOR ABISKO OAK 8246  
 APPLIANCES BY OWNER (TYP.) MICROWAVE WITH EXHAUST FAN  
 RICHELIEU- FUNCTIONAL ALUMINUM FULL BRUSHED CHROME HARDWARE  
 DAL TILE CLASSIC COLOR WHEEL COLLECTION WALL TILE- COLOR MATTE ARCTIC WHITE  
 QUARTZ SILOSTONE BLANCO MAPLE COUNTERTOP



NEW 2X4 ACT SECOND LOOK TILES (TYP.)  
 NEW 2X4 TROFFER LIGHT (TYP.)  
 BARRIER FREE HEIGHT DISHWASHER  
 BARRIER FREE SINK

TYPICAL WALL PAINT: POLAR BEAR 15 BEHR  
 ARCHWAY FILLED IN TO MATCH EXISTING WALL MATERIAL AND COLOR  
 EXISTING LVT FLOORING TO REMAIN - REPAIR LVT WITH OWNER ATTIC STOCK WHERE WALL IS REMOVED

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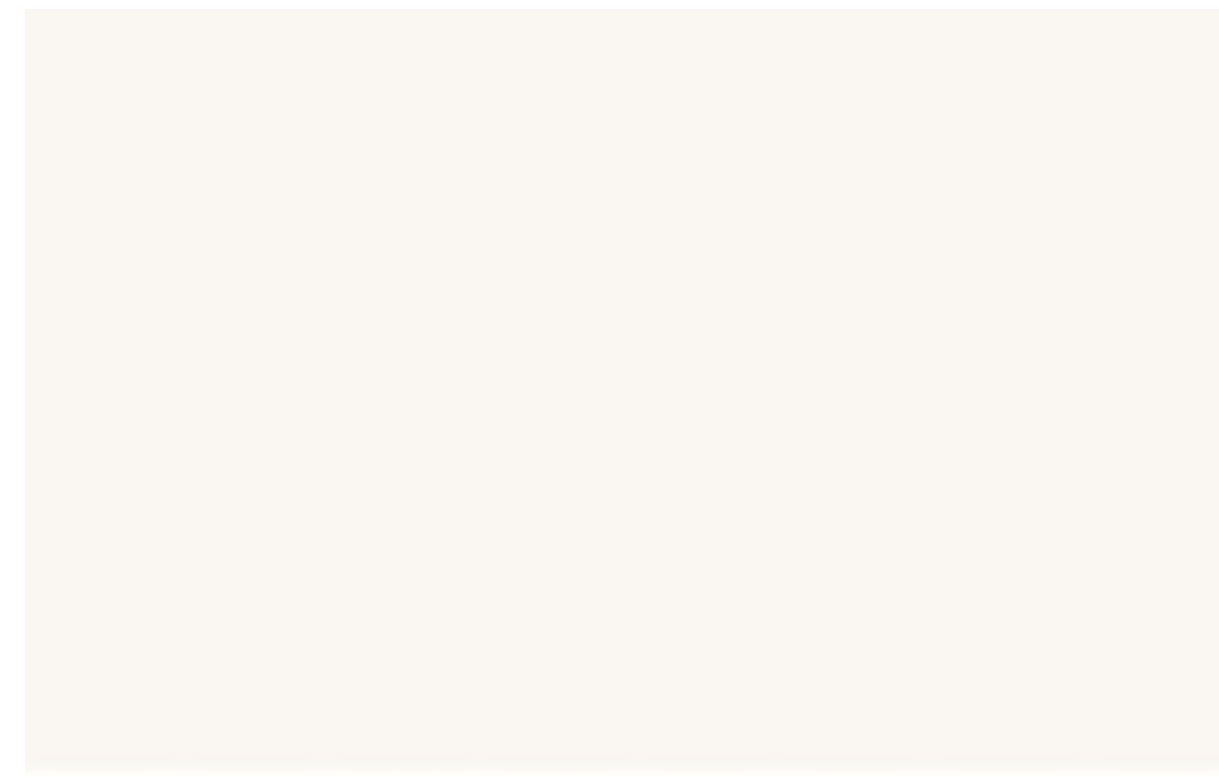
### ACCENT WALL PAINT



COLOR- PEACOCK TAIL  
S-H-520  
LR10 RI G99 B109

### TYPICAL WALL PAINT

2 COATS, EGGSHELL FINISH. COMMERCIAL PAINTER ONLY, PROVIDE 3 COMMERCIAL REFERENCES.

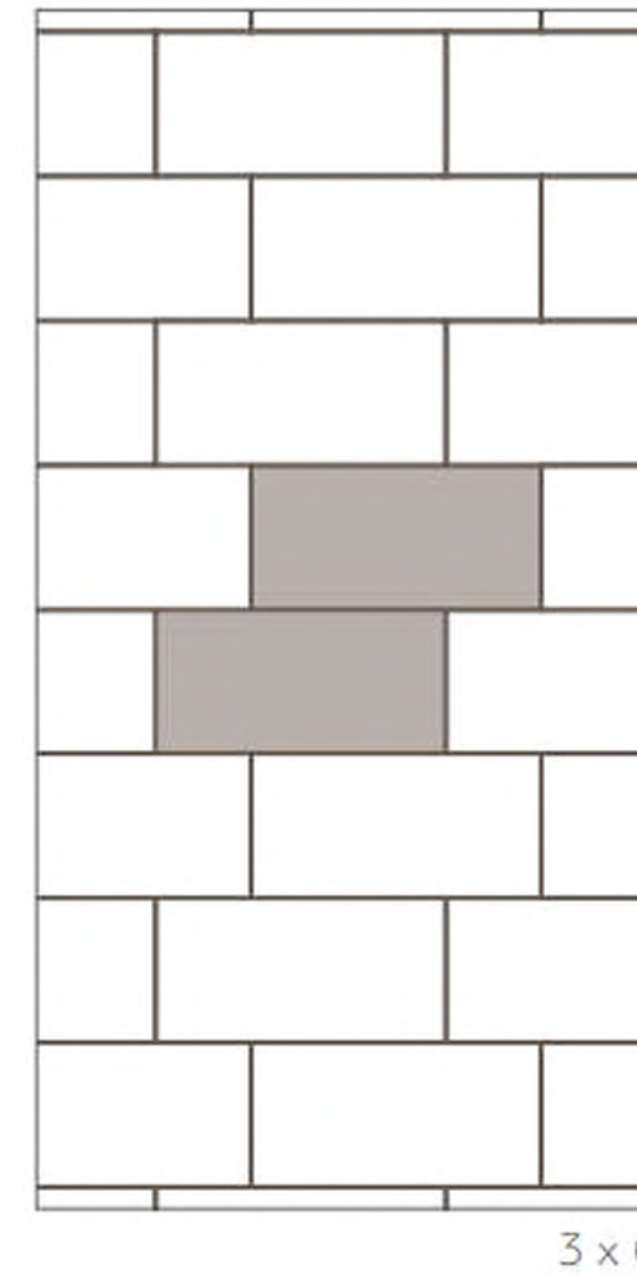


**POLAR BEAR**  
**75**

**COLOR FADE PROTECTION**

LRV 90    R 245    G 244    B 236

### DALTILE- CLASSIC COLOR WHEEL COLLECTION WALL TILE

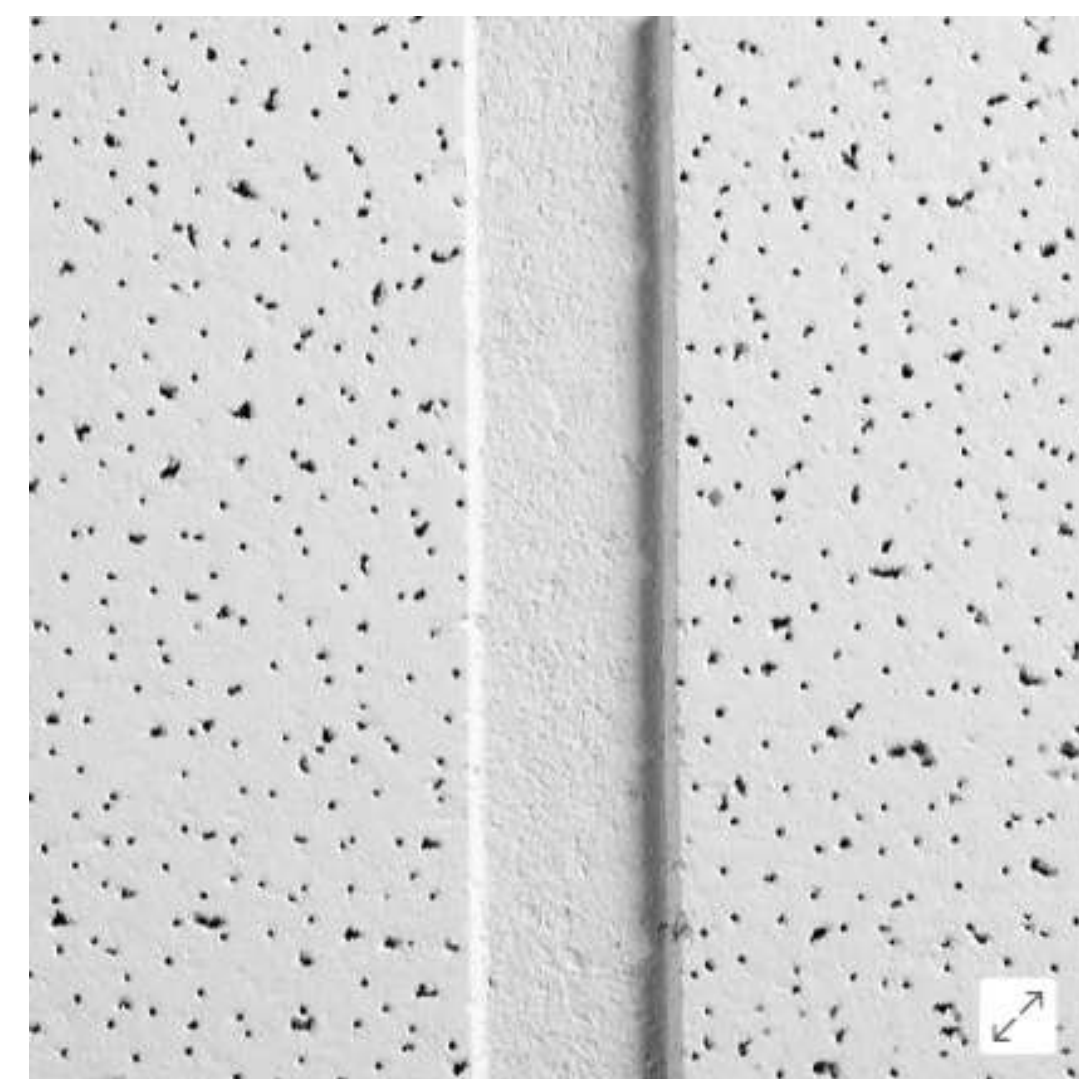


LAYOUT PATTERN  
1/8" GROUT



Arctic White 0190  
Matte Arctic White  
0790

### USG- FINE FISSURED SECOND LOOK CEILING PANELS



COLOR- WHITE

### CONSENTINO- SILESTONE COUNTER MATERIAL



STYLE-BLANCO MAPLE

NOTE:  
CUSTOM CABINETS BY COMMERCIAL MILLWORKERS  
MODERN MILLWORK WIXOM, ARIA ROCHESTER OR  
DOORS AND DRAWERS, DEXTER

### WILSONART- LUJO COLLECTION LAMINATE CABINETS MATERIAL



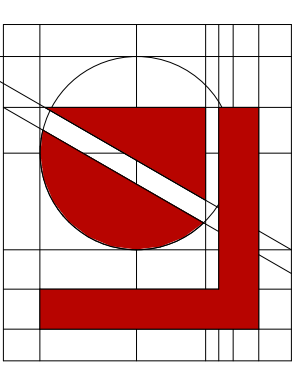
COLOR- ABISKO OAK 8246



GRASS- TEC SELF-CLOSE HINGE SYSTEM



RICHELIEU- FUNCTIONAL ALUMINUM PULL- 4" L  
FINISH- BRUSHED CHROME



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			DATE:		

INTERIOR RENOVATION for:  
**Wixom P.D. Break Room**  
Wixom, MI  
**MATERIAL BOARD**

**MAT2.0**

23016