

LAKE SHORE PUBLIC SCHOOLS - 2016 BOND ISSUE BID PACKAGE NO. 5 - MEDIA CENTER RENOVATIONS TO VARIOUS SCHOOLS

ISSUED FOR: BIDS
 DATE: MARCH 4, 2019
 PROJECT NO.: 181800

ARCHITECT:

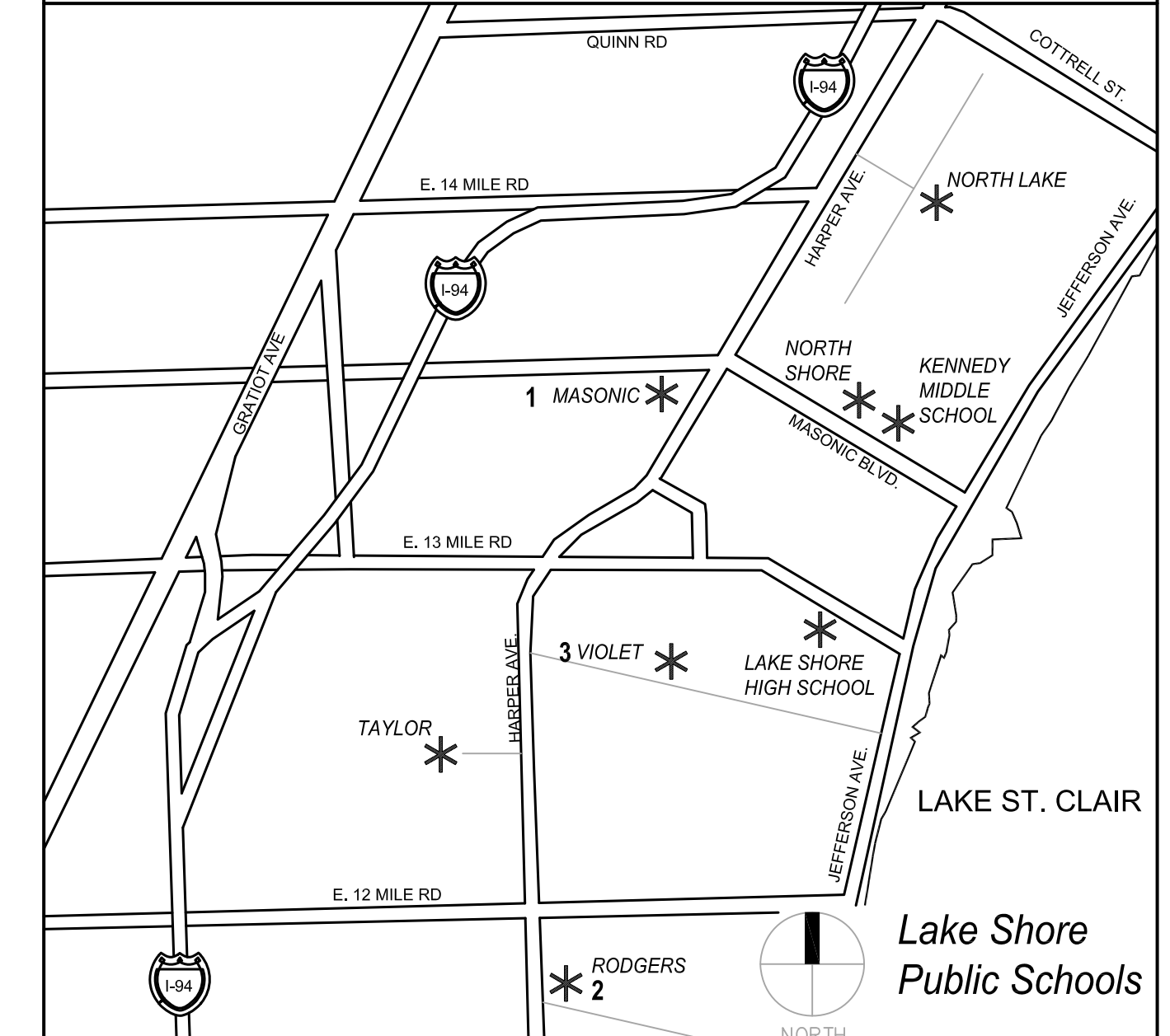
 **WAKELY ASSOCIATES, INC. / ARCHITECTS**
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STRUCTURAL ENGINEER:

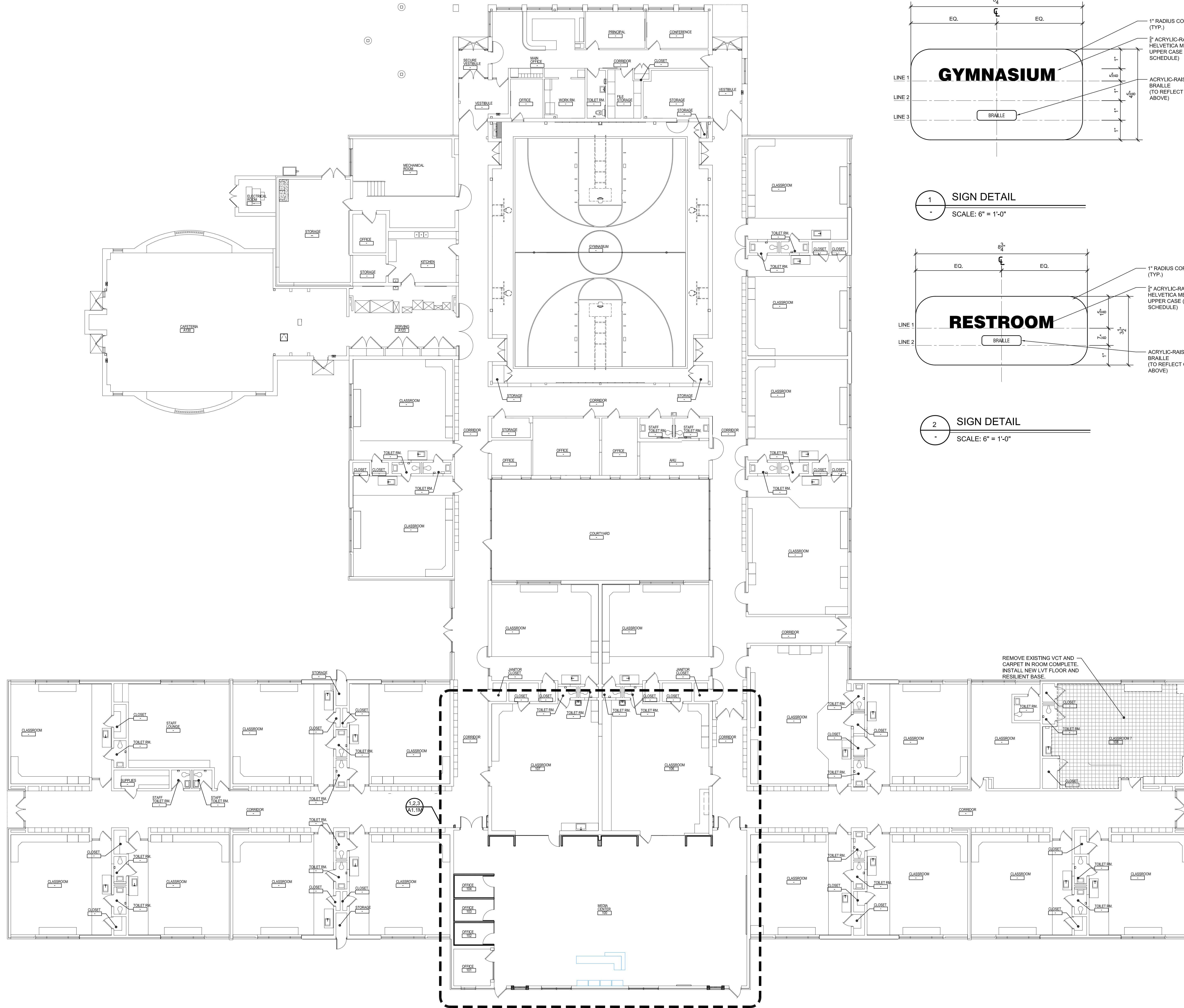
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MECHANICAL / ELECTRICAL ENGINEER:

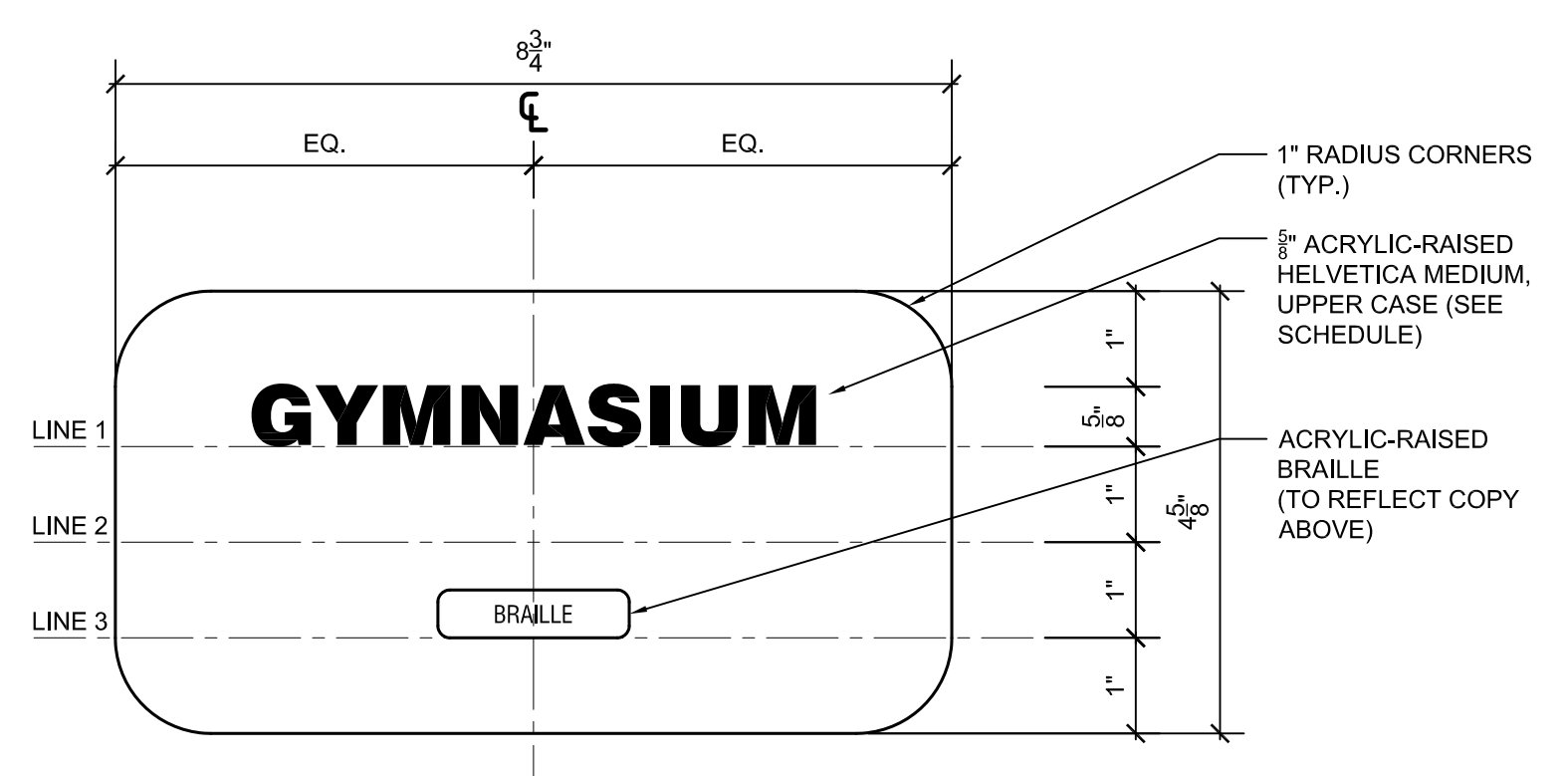
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181800 - Lake Shore Public Schools 2016 BOND ISSUE - BID PACKAGE #5	
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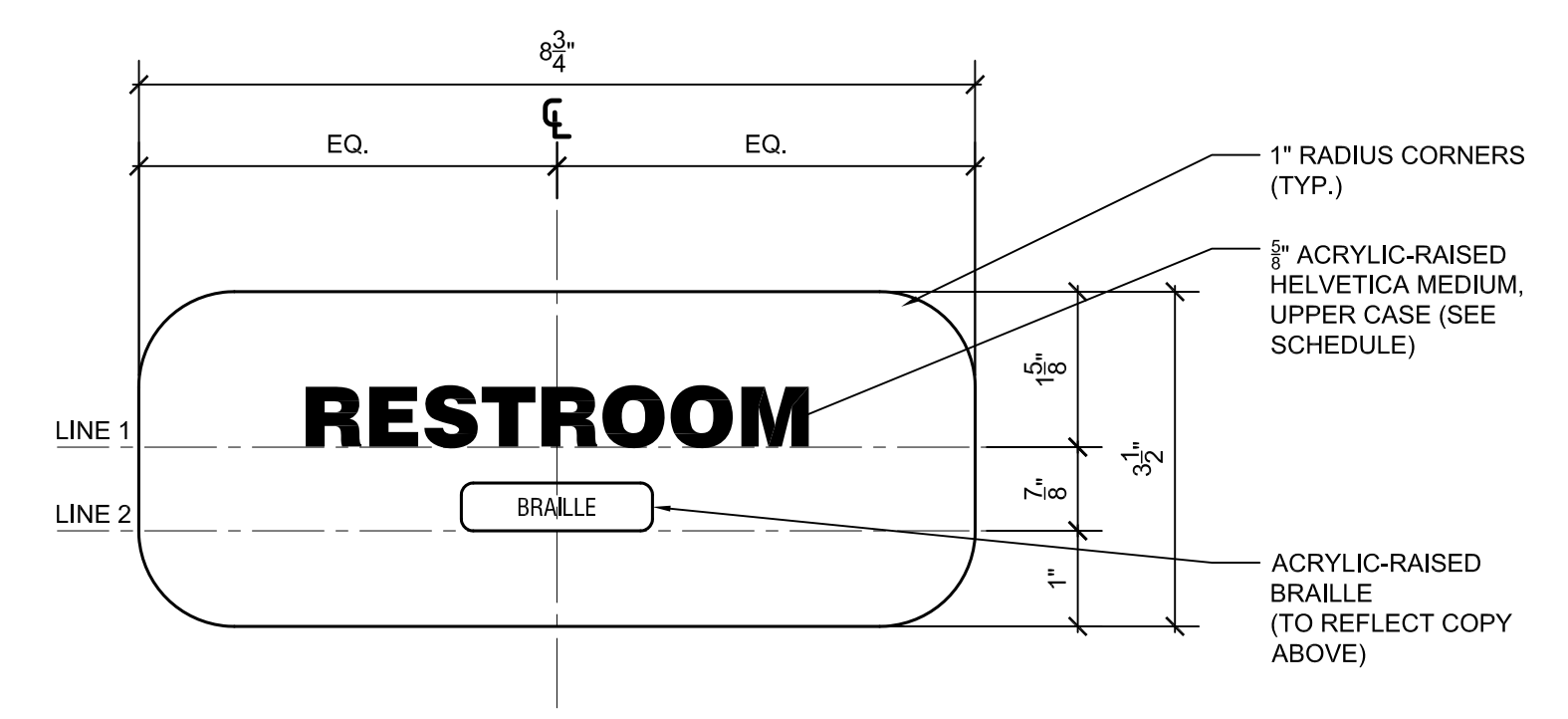
LAKE SHORE PUBLIC SCHOOLS - 2016 BOND ISSUE - BID PACKAGE NO. 5 -
 181800: MEDIA CENTER RENOVATIONS TO VARIOUS SCHOOLS
 issued for: BIDS; Date: 03-04-2019



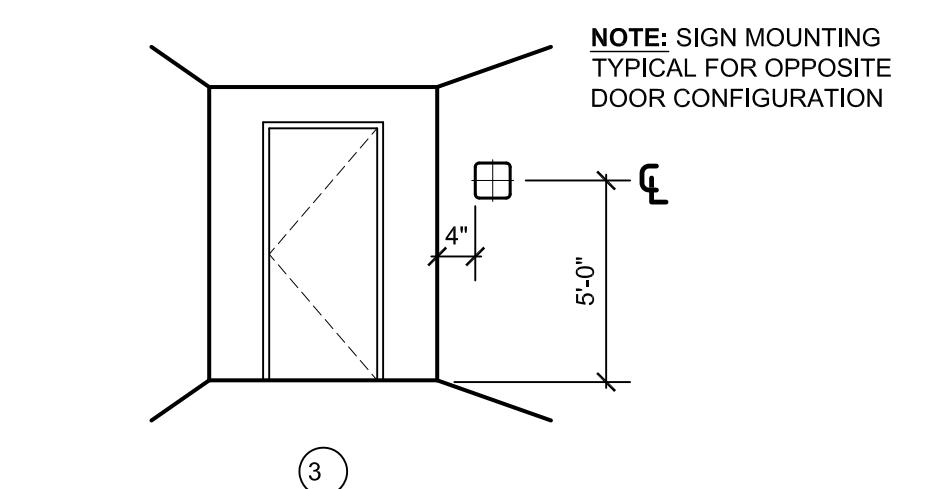
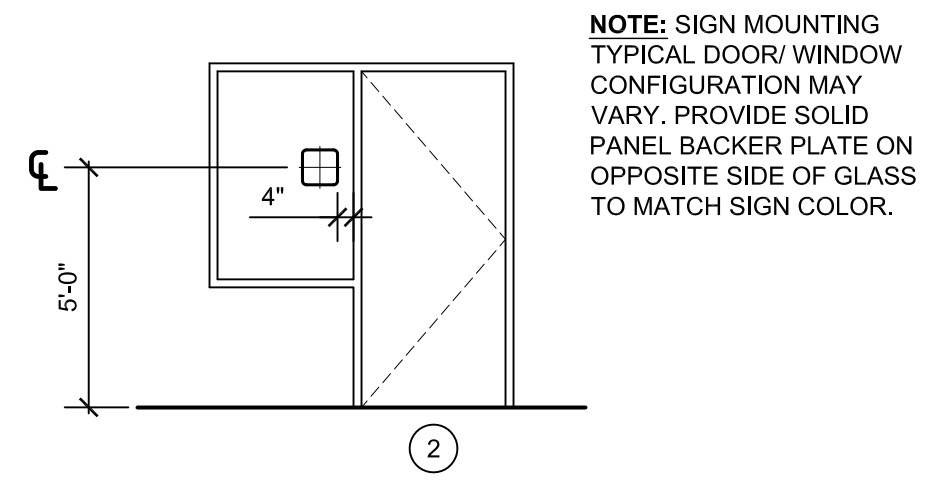
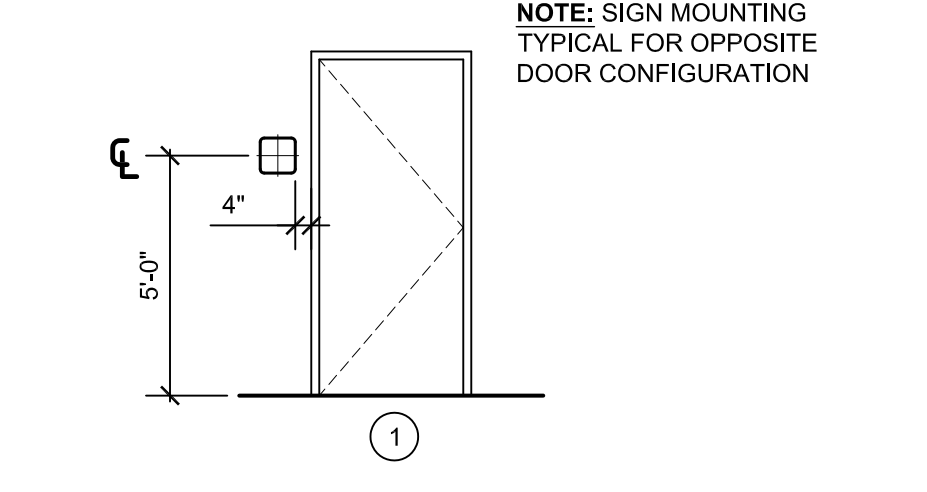
1 COMPOSITE FLOOR PLAN
SCALE: 3/32" = 1'-0"



1 SIGN DETAIL
SCALE: 6" = 1'-0"



2 SIGN DETAIL
SCALE: 6" = 1'-0"



MOUNTING DETAILS

SIGNAGE SCHEDULE				
QTY	PLAN NO.	TYPE	MOUNTING	TEXT
2	100	1	1	LINE 1: MEDIA LINE 2: CENTER
1	101	2	2	LINE 1: OFFICE
1	102	1	2	LINE 1: SMALL LINE 2: GROUP
1	103	1	2	LINE 1: SMALL LINE 2: GROUP
1	104	1	2	LINE 1: SMALL LINE 2: GROUP
1	106	1	2	LINE 1: S.T.E.A.M. LINE 2: CLASSROOM
1	107	1	2	LINE 1: LEARNING LINE 2: CENTER

REMOVE EXISTING VCT AND CARPET IN ROOM COMPLETE. INSTALL NEW LVT FLOOR AND RESILIENT BASE.

ROOM FINISH SCHEDULE							
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING		REMARKS
					MATERIAL	HEIGHT	
FIRST FLOOR							
100	MEDIA CENTER	CPT	RB	ETR/GB/PT	ACT	VARIES	1,2,5,6
101	OFFICE	CPT	RB	ETR/PT	ETR	-	-
102	SMALL GROUP	CPT	RB	GB/PT	ACT	-	2,6
103	SMALL GROUP	CPT	RB	GB/PT	ACT	-	2,6
104	SMALL GROUP	CPT	RB	GB/PT	ACT	-	2,6
105	CORRIDOR	ETRLVT	ETR/RB	ETR/GB/PT	ETR	-	4
106	STEAM CLASSROOM	LVT	RB	PT	ACT	-	2,3
107	LEARNING CENTER	ETR	ETR	ETR/PT	ETR	-	2
108	CORRIDOR	ETRLVT	ETR/RB	ETR/GB/PT	ETR	-	4

ROOM FINISH SCHEDULE REMARKS:

- DO NOT PAINT BRICK WALLS
- NEW LAY-IN CEILING TILES IN GRID (CLEAN AND PAINT GRID AND AIR DIFFUSERS)
- ALTERNATE A-1: PROVIDE EPOXY FLOOR INSTEAD OF LVT IN THIS ROOM
- MODIFY EXISTING CEILING AND GRID AT NEW ENTRY SOFFIT AS REQ'D
- MULTIPLE CARPET COLORS TO BE USED IN THIS ROOM - REFER TO PLANS
- MULTIPLE PAINT COLORS TO BE USED IN THIS ROOM - REFER TO PLANS

ROOM FINISH SCHEDULE GENERAL NOTES (APPLIES TO ALL ROOMS):

- PAINT ALL EXPOSED ITEMS IN ROOMS: DOOR FRAMES, DOORS, PIPES, CONDUITS, ETC.
- SEE ELEVATIONS & DETAILS FOR GYP BD SOFFIT HEIGHTS & SIZES.
- SEE ELEVATIONS & DETAILS FOR WALL TILE HEIGHTS & LOCATIONS
- SEE PLANS FOR FLOOR PATTERNS AND LOCATIONS
- PROVIDE VINYL TRANSITION STRIPS AT DISSIMILAR FLOOR FINISHES - CARPET / TILE, CARPET / CONCRETE, ETC.
- PAINT NEW WALL CONSTRUCTION TO MATCH EXISTING IN ROOM (VIF)
- MODIFY EXISTING LAY-IN CEILINGS AS REQUIRED TO ACCOMMODATE NEW WALL PLACEMENT
- REMOVE / REINSTALL EXISTING LAY-IN CEILING SYSTEMS AS REQUIRED FOR OVERHEAD PIPING, DUCT WORK, ETC (VIF)

ROOM FINISH SCHEDULE ABBREVIATIONS:

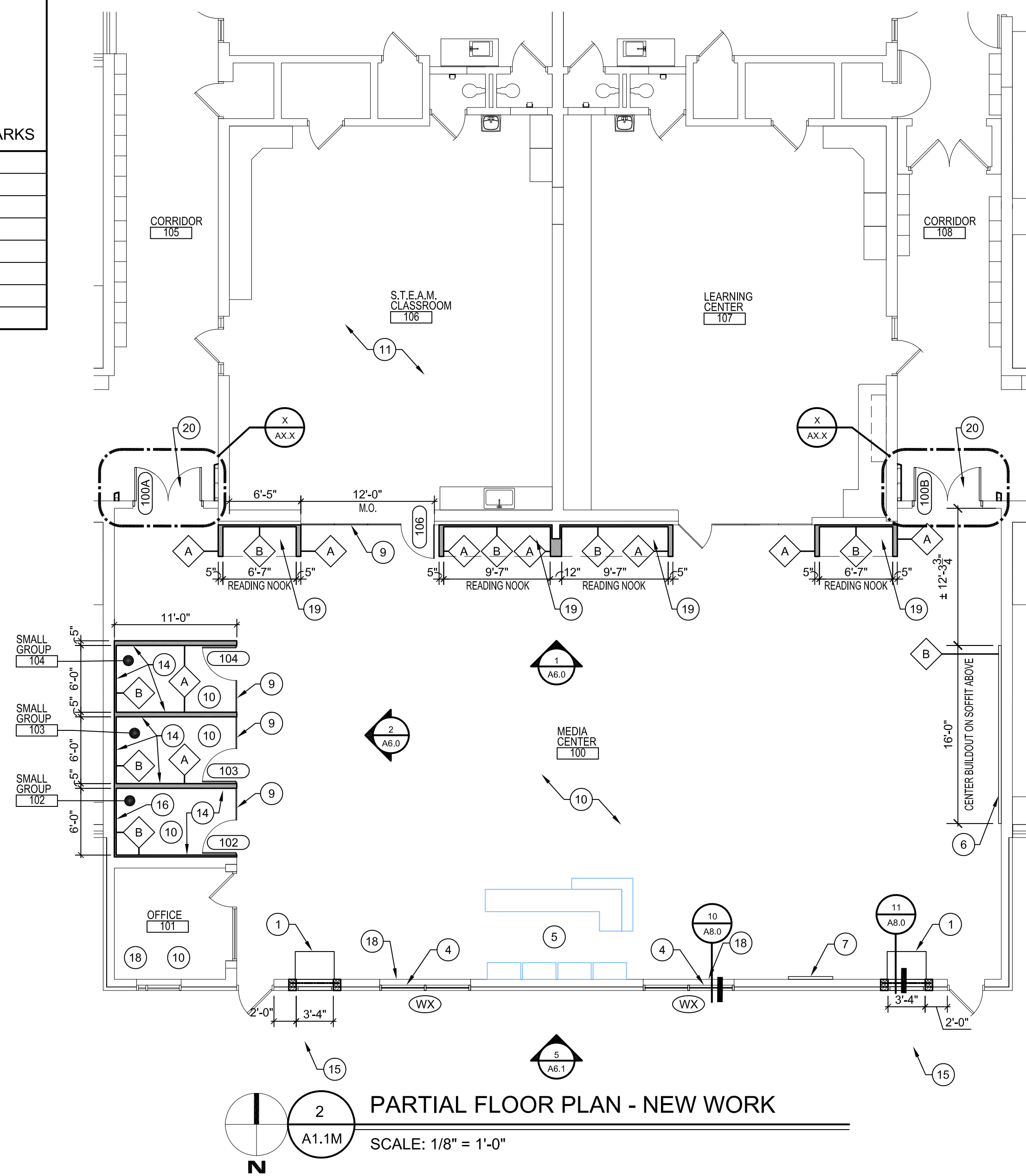
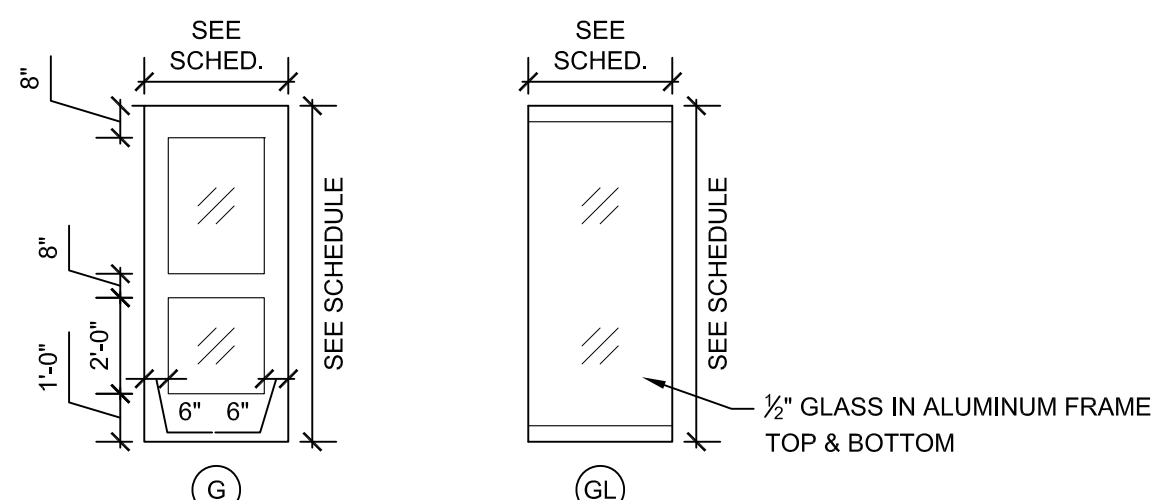
ACT	ACOUSTICAL CEILING TILE IN METAL GRID	ETR	EXISTING TO REMAIN
CMU	CONCRETE MASONRY UNIT	EVCT	EXISTING VINYL COMPOSITE TILE
CPT(1,2,3)	CARPET - SEE SPECIFICATIONS	EXP	EXPOSED CONSTRUCTION
EBR	EXISTING BRICK	GB	GYPSUM BOARD
ECMU	EXISTING CONCRETE MASONRY UNIT	LVT	LUXURY VINYL TILE
ECPT	EXISTING CARPET	PT	PAINT
EFC	EPOXY FLOOR COATING	RB	4" RESILIENT COVE BASE
EGB	EXISTING GYPSUM BOARD	TF	TILE FLOOR
EPT	EPOXY PAINT		

DOOR SCHEDULE														
NO.	WIDTH	HEIGHT	DOOR			FRAME			DETAILS			REMARKS		
			TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL		THRESHOLD	U.L. LABEL
100A	(2)3'-0"	7'-0"	G	WD	STN	ETR	HM	PT	-	-	-	20MIN	3	1,3
100B	(2)3'-0"	7'-0"	G	WD	STN	ETR	HM	PT	-	-	-	20MIN	3	1,3
102	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	2	2
103	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	2	2
104	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	2	2
106	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	2	2

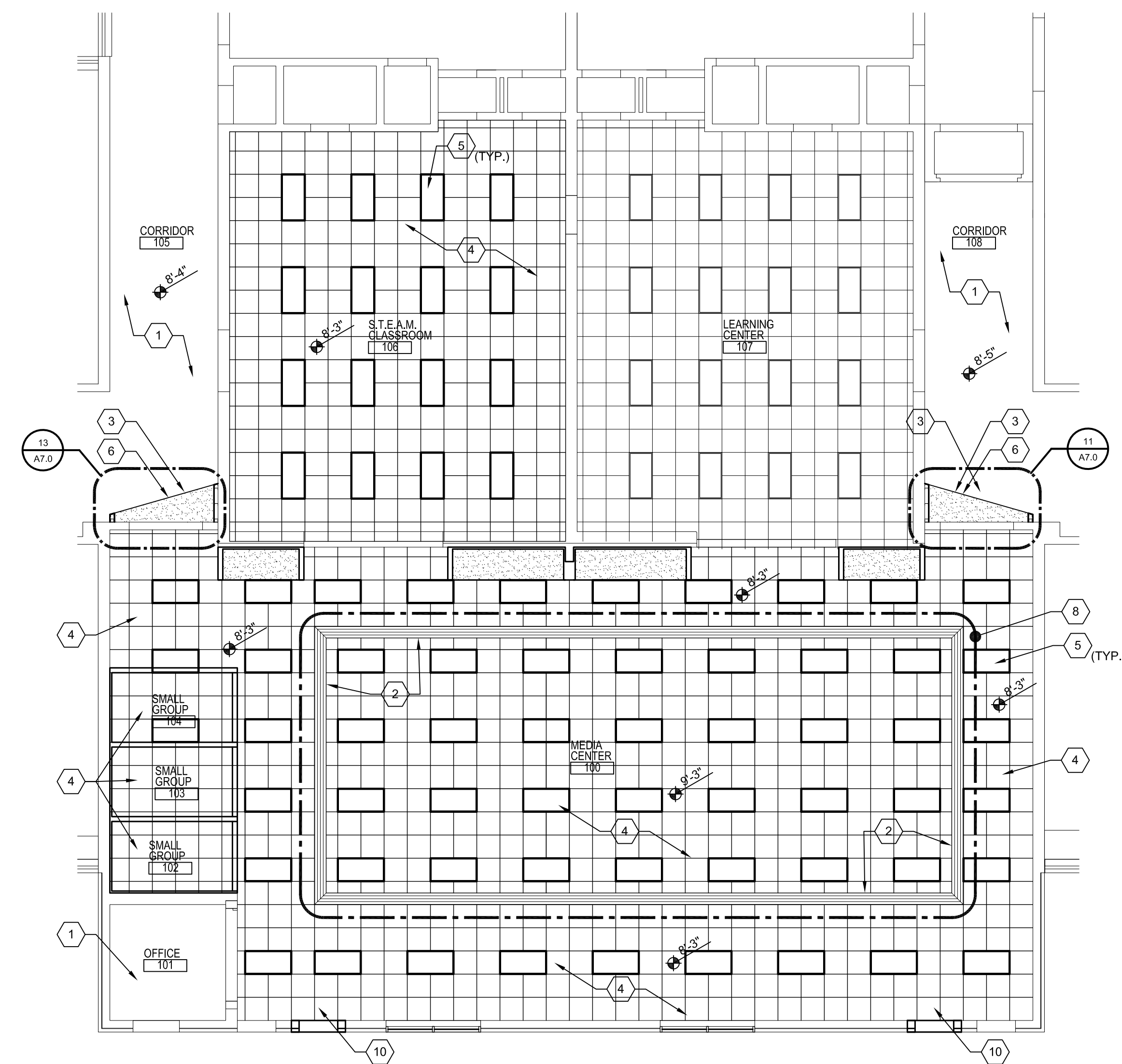
DOOR SCHEDULE REMARKS:

- NEW DOOR IN EXISTING FRAME. VERIFY DOOR OPENING IN FIELD PRIOR TO FABRICATION.
- NEW 1/2" TEMPERED GLASS DOORS
- PROVIDE FIRE RATED GLASS IN DOOR OPENINGS

DOOR ELEVATIONS:



PARTIAL FLOOR PLAN - NEW WORK
SCALE: 1/8" = 1'-0"



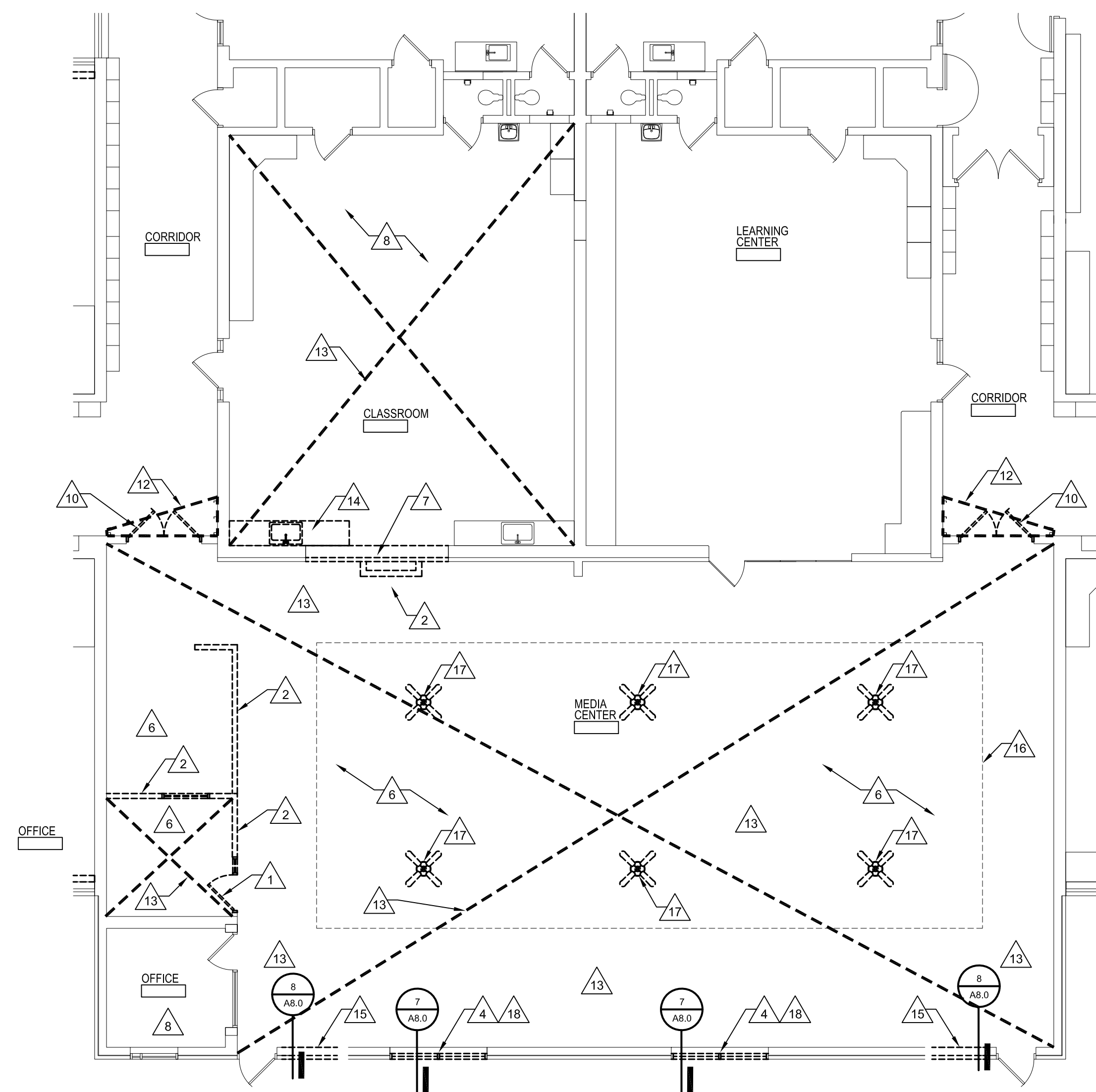
PARTIAL REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES:

- ACOUSTICAL CEILING TILES SHALL BE CENTERED WITHIN THE ROOM

REFLECTED CEILING PLAN KEYNOTES:

- (NOT ALL NOTES MAY BE USED)
- EXISTING LAY-IN ACOUSTICAL CEILING AND METAL GRID SYSTEM TO REMAIN.
 - EXISTING SOFFIT TO BE PAINTED MULTIPLE COLORS (TBD)
 - NEW GYP. BD. SOFFIT (PAINT)
 - NEW ACOUSTICAL LAY-IN CEILING TILES IN EXIST. METAL GRID SYSTEM (CLEAN AND PAINT GRID).
 - NEW LIGHT FIXTURE - COORDINATE WITH ELECTRICAL.
 - REWORK EXIST. ACOUSTICAL CEILING TILES AND METAL GRID SYSTEM AT NEW SOFFIT.
 - RECESSED PROJECTION SCREEN IN EXISTING CEILING SYSTEM - MODIFY AS REQUIRED
 - LOCATION OF ALT E-1. PROVIDE ALTERNATE CEILING PAD LAYOUT FOR ALTERNATE LIGHTING LAYOUT - REFER TO SHEET E3.1M
 - EXISTING LIGHTS IN THE ROOM TO REMAIN.
 - NEW VERTICAL VERTICAL VENTILATOR - SEE MECHANICAL



PARTIAL FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

NEW WORK GENERAL NOTES:

- REFER TO SHEET G4.1 FOR TYPICAL NOTES, SYMBOLS, GENERAL INFORMATION, AND ABBREVIATIONS.
- REFER TO DRAWINGS A.X.X FOR ROOM FINISH SCHEDULE

NEW WORK PLAN KEYNOTES:

- (NOT ALL NOTES MAY BE USED)
- PROVIDE AND INSTALL NEW VERTICAL UNIT VENTILATOR - REFER TO MECHANICAL.
 - INFL OPENING WITH BRICK AND C.M.U. TO MATCH EXIST. - WHERE UNIT VENTILATOR LOUVER WAS REMOVED.
 - INFL EXIST. OPENING WITH C.M.U. (TOOTH-IN TO MATCH EXIST.) WHERE DOOR AND FRAME WAS REMOVED.
 - NEW ALUMINUM STOREFRONT FRAMED WINDOW SYSTEM.
 - NEW CIRCULATION DESK. (BY OTHERS)
 - NEW 16'-0"W. x 9'-0"H. PRESENTATION WALL - 3/8" HIGH IMPACT GYP. BD. ON 1 1/2" METAL FURRING @ 16" O.C. MAX. - PROVIDE MARKER BOARD PAINT FULL HEIGHT AND WIDTH.
 - NEW WALL MOUNTED T.V. MONITOR. (BY OTHERS)
 - LINE OF RECESSED MOTORIZED SCREEN IN CEILING
 - NEW 1/2" BUTT TEMP. GLAZED GLASS WALL.
 - NEW CARPET AND 4TH. RESILIENT BASE IN ENTIRE ROOM - REFER TO ROOM FINISH SCHEDULE.
 - NEW LVT FLOOR AND 4TH RESILIENT BASE IN ENTIRE ROOM - REFER TO ROOM FINISH SCHEDULE. ALTERNATE A-1 TO PROVIDE EPOXY FLOOR INSTEAD OF LVT.
 - NOT USED
 - NEW CASEWORK/MILLWORK - REFER TO INTERIOR ELEVATIONS
 - PROVIDE AND INSTALL MARKER BD. PAINT ON FULL WIDTH AND HEIGHT OF WALL
 - NEW O.A. LOUVER W/ BIRD SCREEN
 - EXISTING 'GREEN SCREEN' PAINT FULL HEIGHT AND WIDTH OF WALL
 - PROVIDE COLUMN TO REMAIN - PAINT
 - NEW WINDOW TREATMENT
 - MULTIPLE PAINT COLORS INSIDE READING NOOK-SIDE ELEVATIONS
 - PAINT EXISTING WALLS COLOR TBD
 - PROVIDE NEW PLAM. WINDOW SILL AFTER NEW UNIT VENT IS INSTALLED

WALL TYPE DESCRIPTION:

- A 3/8" HIGH IMPACT GYP. BD. ON BOTH SIDES OF 3 1/2" GA. METAL STUDS @ 16" O.C. MAX. - WALL TO STOP AT LAY-IN CEILING HEIGHT. FILL ALL VOIDS WITH SOUND ATTENUATED BLANKETS.
- B 3/8" HIGH IMPACT GYP. BD. ON 1 1/2" METAL FURRING @ 16" O.C. MAX. ON EXISTING WALL CONSTRUCTION.

DEMOLITION PLAN LEGEND:

- EXISTING CEILING TO BE REMOVED - REFER TO DEMOLITION KEYNOTES
- EXISTING FLOORING TO BE REMOVED
- EXISTING TO BE REMOVED

DEMOLITION GENERAL NOTES:

- REFER TO SHEET G4.1 FOR TYPICAL NOTES, SYMBOLS, GENERAL INFORMATION, AND ABBREVIATIONS.
- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.

DEMOLITION PLAN KEYNOTES:

- (NOT ALL NOTES MAY BE USED)
- REMOVE EXISTING DOOR AND FRAME AND PREP AREA TO ACCEPT NEW FINISHES - COORDINATE WITH NEW WORK.
 - REMOVE EXIST. GYP. BD. PARTITION WALL (FULL HEIGHT).
 - REMOVE EXIST. FOLDING PARTITION, TRACK AND ALL ASSOCIATED ITEMS COMPLETE.
 - REMOVE EXIST. EXTERIOR ALUMINUM STOREFRONT FRAMING WINDOW UNIT AND ALL ASSOCIATED ITEMS COMPLETE - PREP AREA FOR NEW FINISHES AND COORDINATE WITH NEW WORK.
 - REMOVE EXISTING HORIZONTAL CABINET UNIT VENTILATOR. EXTERIOR WALL LOUVER AND ALL ASSOCIATED ITEMS COMPLETE AND PREP AREA TO ACCEPT NEW FINISHES - COORDINATE WITH MECHANICAL.
 - REMOVE EXIST. CARPET AND RESILIENT BASE IN ENTIRE ROOM - SCRAPE MASTIC FROM CONCRETE SUBFLOOR AND PATCH AND REPAIR AS REQ'D FOR LEVEL SUBFLOOR FOR NEW FINISH FLOORING. REMOVE ADHESIVE RESIDUE ALONG ALL WALLS OF REMOVED RESILIENT BASE AND PREP WALL TO ACCEPT NEW WALL BASE - COORD. W/ NEW WORK.
 - REMOVE PORTION OF EXIST. BRICK AND C.M.U. WALL FOR NEW DOOR, FRAME AND LINTEL - SHORE EXIST. MASONRY AS REQ'D AND PREP OPENING TO ACCEPT NEW FINISHES - COORDINATE WITH NEW WORK
 - REMOVE EXIST. V.C.T. FLOORING AND BASE IN ENTIRE ROOM OR AREA SHOWN - SCRAPE MASTIC FROM CONCRETE SUBFLOOR AND PATCH AND REPAIR FOR LEVEL SUBFLOOR FOR NEW FINISH FLOORING - COORDINATE WITH NEW WORK.
 - REMOVE PORTION OF EXIST. PLAM COUNTERTOP - PREP TO ACCEPT NEW FINISHES AND COORDINATE WITH NEW WORK.
 - REMOVE EXIST. WOOD DOORS AND HARDWARE - H.M. FRAMES TO REMAIN AND PREP FRAMES TO ACCEPT NEW DOORS AND HARDWARE.
 - REMOVE EXIST. METAL LOCKERS AND LOCKER BASE AND SALVAGE LOCKERS FOR RELOCATION - COORDINATE WITH NEW WORK.
 - REMOVE PORTION OF EXIST. ACOUSTICAL LAY-IN CEILING AND METAL GRID SYSTEM TO ACCOMMODATE NEW GYP. BD. SOFFIT - COORDINATE WITH NEW WORK
 - REMOVE EXIST. ACOUSTICAL LAY-IN CEILING TILES - EXIST. METAL GRID SYSTEM TO REMAIN
 - REMOVE EXIST. PLAM. BASE CABINETS, COUNTERTOP AND ALL ASSOCIATED ITEM COMPLETE
 - REMOVE PORTION OF EXIST. C.M.U. WALL FOR NEW LOUVER AND LINTEL - SHORE EXIST. MASONRY AS REQ'D AND PREP OPENING TO ACCEPT NEW FINISHES - COORDINATE WITH NEW WORK
 - LINE OF EXISTING SOFFIT TO REMAIN
 - REMOVE EXISTING CEILING FANS COMPLETE
 - REMOVE EXISTING WINDOW TREATMENT SYSTEM COMPLETE
 - EXISTING CABINETS TO REMAIN.
 - REMOVE EXISTING DOOR AND HW. FRAME TO REMAIN. COORDINATING WITH NEW WORK
 - EXISTING COLUMN TO REMAIN
 - REMAIN PLAM. WINDOW SILL FULL LENGTH

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LAKE SHORE PUBLIC SCHOOLS - 2016 BOND ISSUE
BID PACKAGE NO.5 - MEDIA CENTER
RENOVATIONS TO VARIOUS SCHOOLS

MASONIC ELEMENTARY
FLOOR PLANS - DEMOLITION,
NEW WORK, REFLECTED
CEILING

PRELIMINARY
DESIGN DEVELOPMENT
CONSTRUCTION
FINAL RECORD

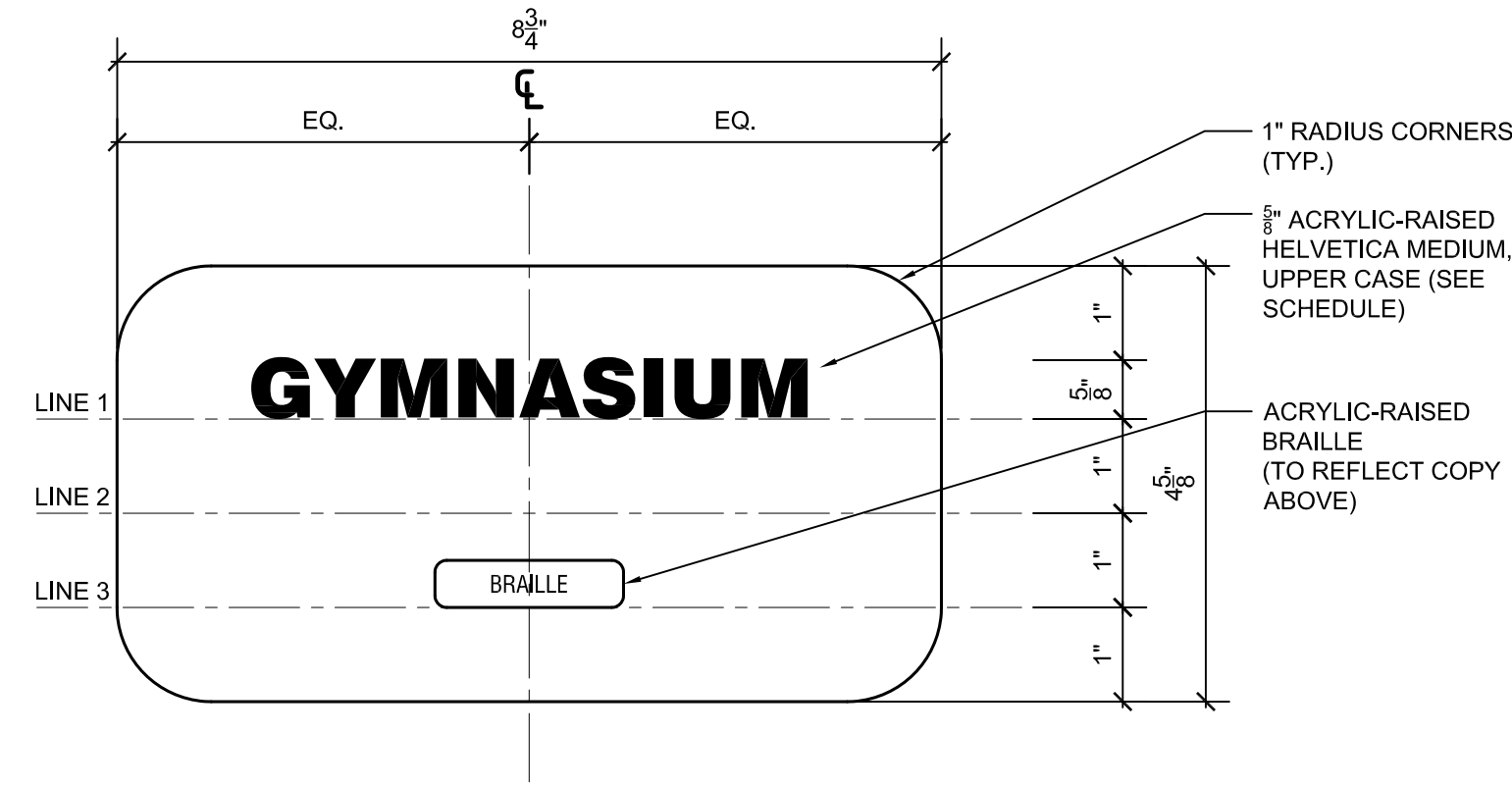
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CHECKED BY: BUS

REVISIONS:

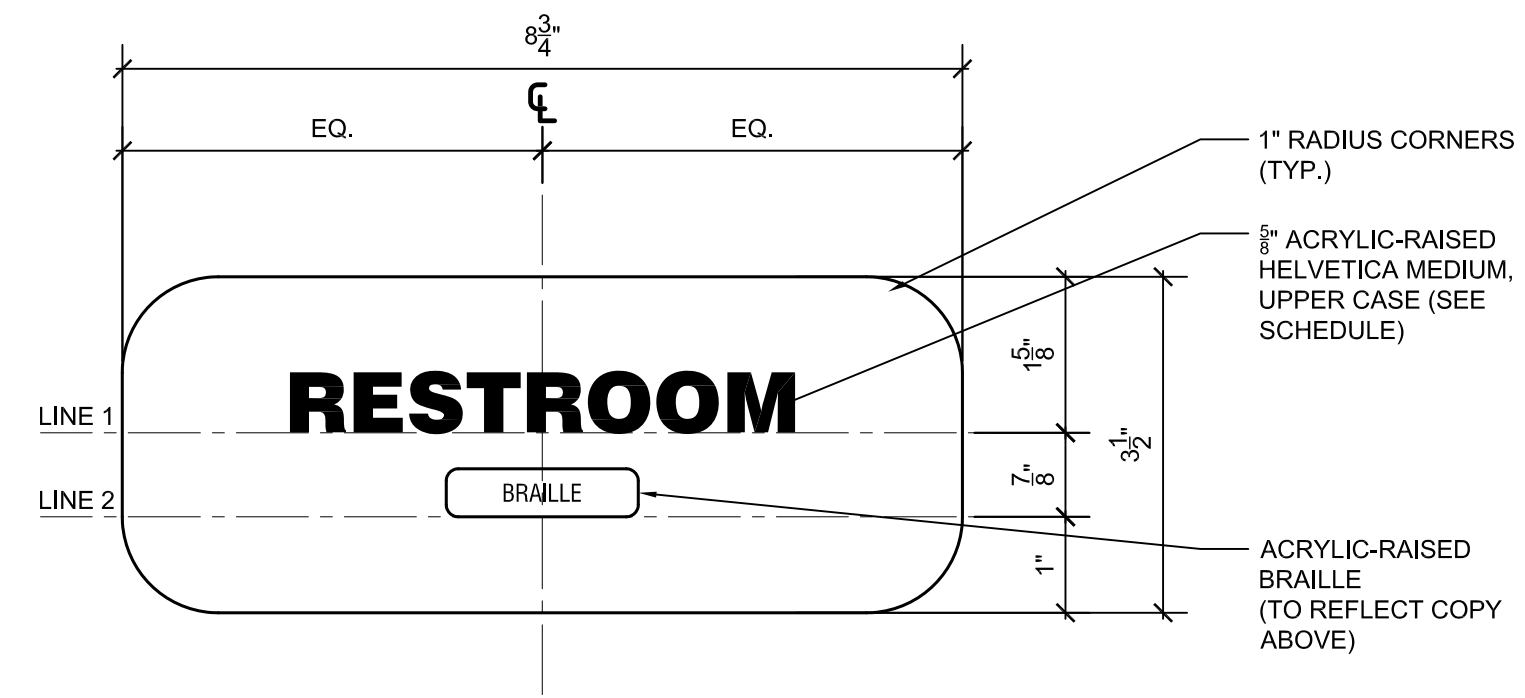
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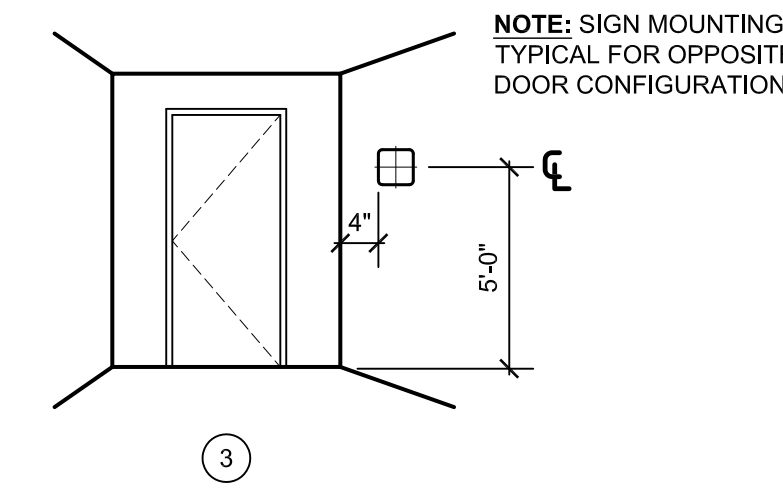
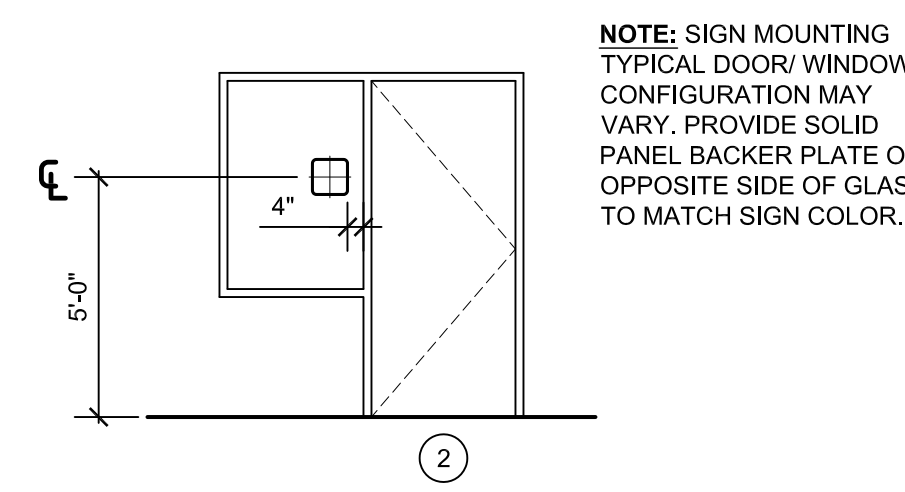
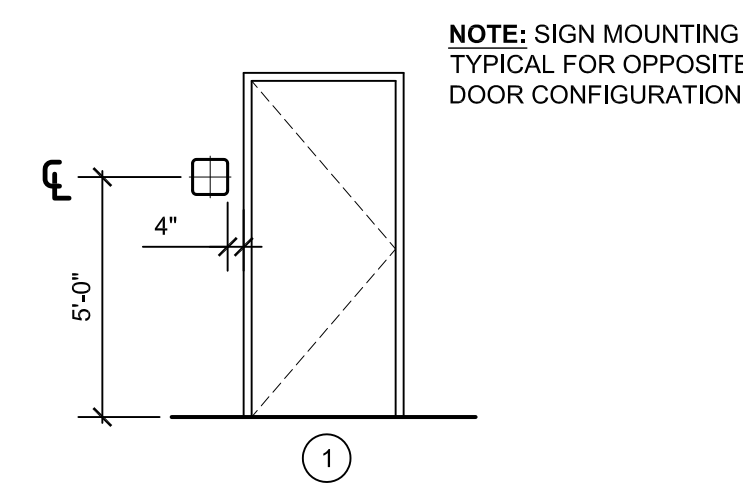
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1 SIGN DETAIL
SCALE: 6" = 1'-0"

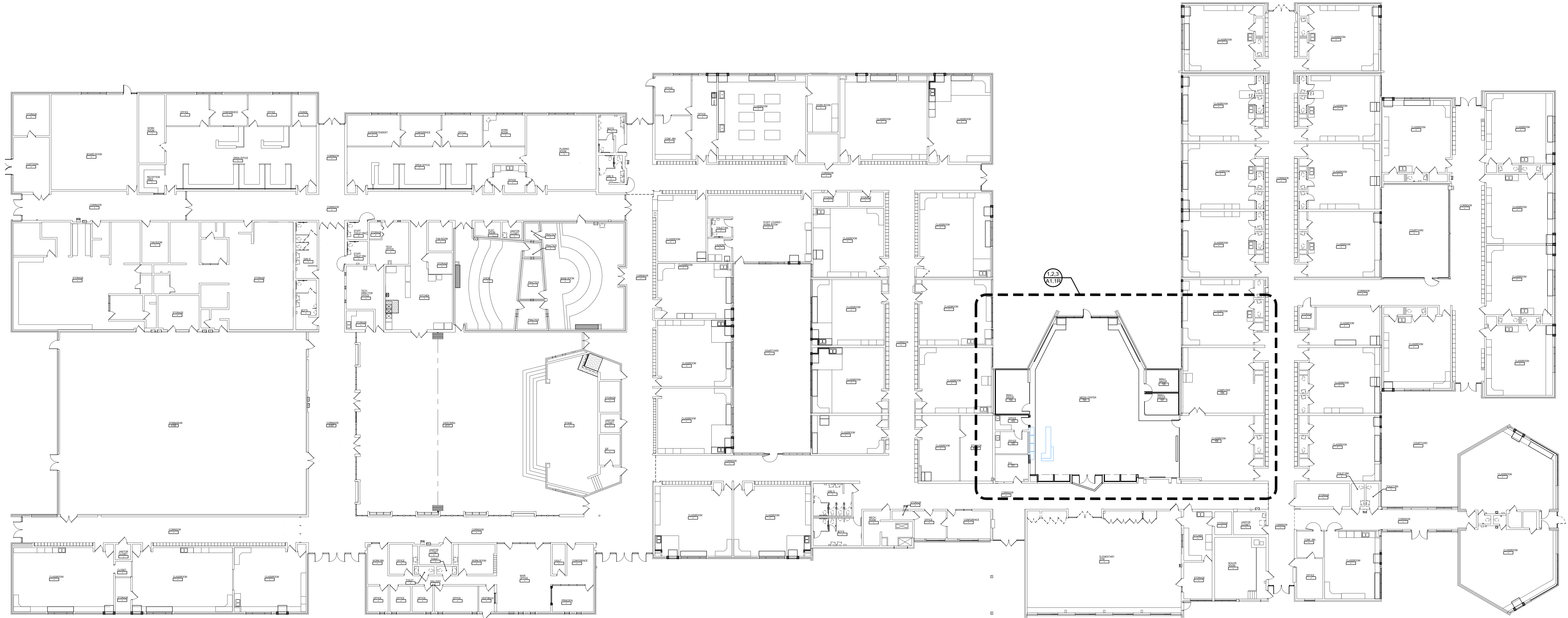


2 SIGN DETAIL
SCALE: 6" = 1'-0"



MOUNTING DETAILS

SIGNAGE SCHEDULE				
QTY	PLAN NO.	TYPE	MOUNTING	TEXT
1	103	1	1	LINE 1: OFFICE
1	104	2	2	LINE 1: LARGE LINE 2: GROUP
1	105	2	2	LINE 1: MEDIA LINE 2: CENTER
1	106	2	1	LINE 1: SMALL LINE 2: GROUP
1	107	2	2	LINE 1: SMALL LINE 2: GROUP
2	108	2	2/3	LINE 1: S.T.E.A.M. LINE 2: CLASSROOM
2	109	2	2/3	LINE 1: MAKER LINE 2: SPACE



1 COMPOSITE FLOOR PLAN
SCALE: 1/16" = 1'-0"

PRELIMINARY	<input type="checkbox"/>
DESIGN DEVELOPMENT	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
FINAL RECORD	<input type="checkbox"/>
DRAWN BY:	NUL
CHECKED BY:	BJS
REVISIONS:	
CONSTRUCTION	5-8-17

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING		REMARKS
					MATERIAL	HEIGHT	
FIRST FLOOR							
100	CORRIDOR	ETR	ETR	ETR	ETR	ETR	-
101	MAKER SPACE	LVT	RB	ETR/PT	ACT	ETR	2,3
102	MEDIA CENTER	CPT	RB	ETR/GB/PT	ACT	ETR	2,5,6
103	IDF ROOM	CPT	RB	ETR/GB/PT	ACT	ETR	2
104	LARGE GROUP	CPT	RB	GB/PT	ACT	ETR	2,6
105	SMALL GROUP	CPT	RB	GB/PT	ACT	ETR	2,6
106	SMALL GROUP	CPT	RB	GB/PT	ACT	ETR	2,6
107	STORAGE	CPT	RB	ETR/GB/PT	ACT	ETR	2
108	STORAGE	CPT	RB	ETR/GB/PT	ACT	ETR	2
109	CORRIDOR	ETR	ETR	ETR	ETR/GB-PT	ETR	4
110	STEAM CLASSROOM	LVT	RB	ETR/PT	ACT	ETR	2,3

ROOM FINISH SCHEDULE REMARKS:

- DO NOT PAINT BRICK WALLS.
- NEW LAY-IN CEILING TILES IN GRID (CLEAN AND PAINT GRID AND AIR DIFFUSERS)
- ALTERNATE A-1: PROVIDE EPOXY FLOOR INSTEAD OF LVT IN THIS ROOM
- MODIFY EXISTING CEILING AND GRID AT NEW ENTRY SOFFIT AS REQ'D
- MULTIPLE CARPET COLORS TO BE USED IN THIS ROOM - REFER TO PLANS
- MULTIPLE PAINT COLORS TO BE USED IN THIS ROOM - REFER TO PLANS

ROOM FINISH SCHEDULE GENERAL NOTES (APPLIES TO ALL ROOMS):

- PAINT ALL EXPOSED ITEMS IN ROOMS: DOOR FRAMES, DOORS, PIPES, CONDUITS, ETC.
- SEE ELEVATIONS & DETAILS FOR GYP BD SOFFIT HEIGHTS & SIZES.
- SEE ELEVATIONS & DETAILS FOR WALL TILE HEIGHTS & LOCATIONS
- SEE PLANS FOR FLOOR PATTERNS AND LOCATIONS
- PROVIDE VINYL TRANSITION STRIPS AT DISSIMILAR FLOOR FINISHES - CARPET / TILE, CARPET / CONCRETE, ETC.
- PAINT NEW WALL CONSTRUCTION TO MATCH EXISTING IN ROOM (V/P)
- MODIFY EXISTING LAY-IN CEILING AS REQUIRED TO ACCOMMODATE NEW WALL PLACEMENT.
- REMOVE / REINSTALL EXISTING LAY-IN CEILING SYSTEMS AS REQUIRED FOR OVERHEAD PIPING, DUCT WORK, ETC (V/P)

ROOM FINISH SCHEDULE ABBREVIATIONS:

ACT	ACOUSTICAL CEILING TILE IN METAL GRID	ETR	EXISTING TO REMAIN
CMU	CONCRETE MASONRY UNIT	EVCT	EXISTING VINYL COMPOSITE TILE
OPT-(1,2,3)	CARPET - SEE SPECIFICATIONS	EXP	EXPOSED CONSTRUCTION
EBR	EXISTING BRICK	GB	GYPSUM BOARD
ECMU	EXISTING CONCRETE MASONRY UNIT	LVT	LUXURY VINYL TILE
ECPT	EXISTING CARPET	PT	PAINT
EFC	EPOXY FLOOR COATING	RB	4" RESILIENT COVE BASE
EGB	EXISTING GYPSUM BOARD	TF	TILE FLOOR
EPT	EPOXY PAINT		

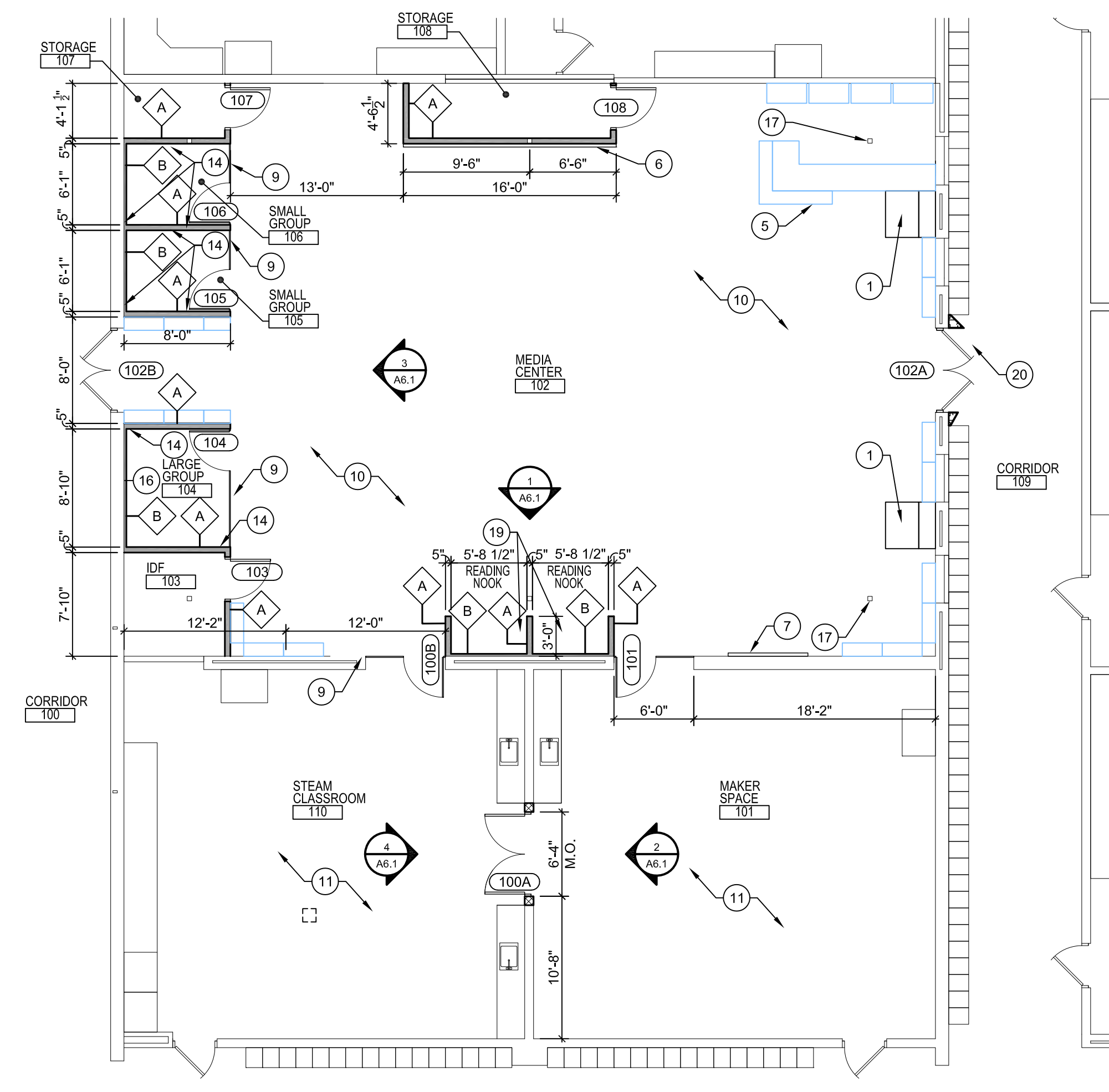
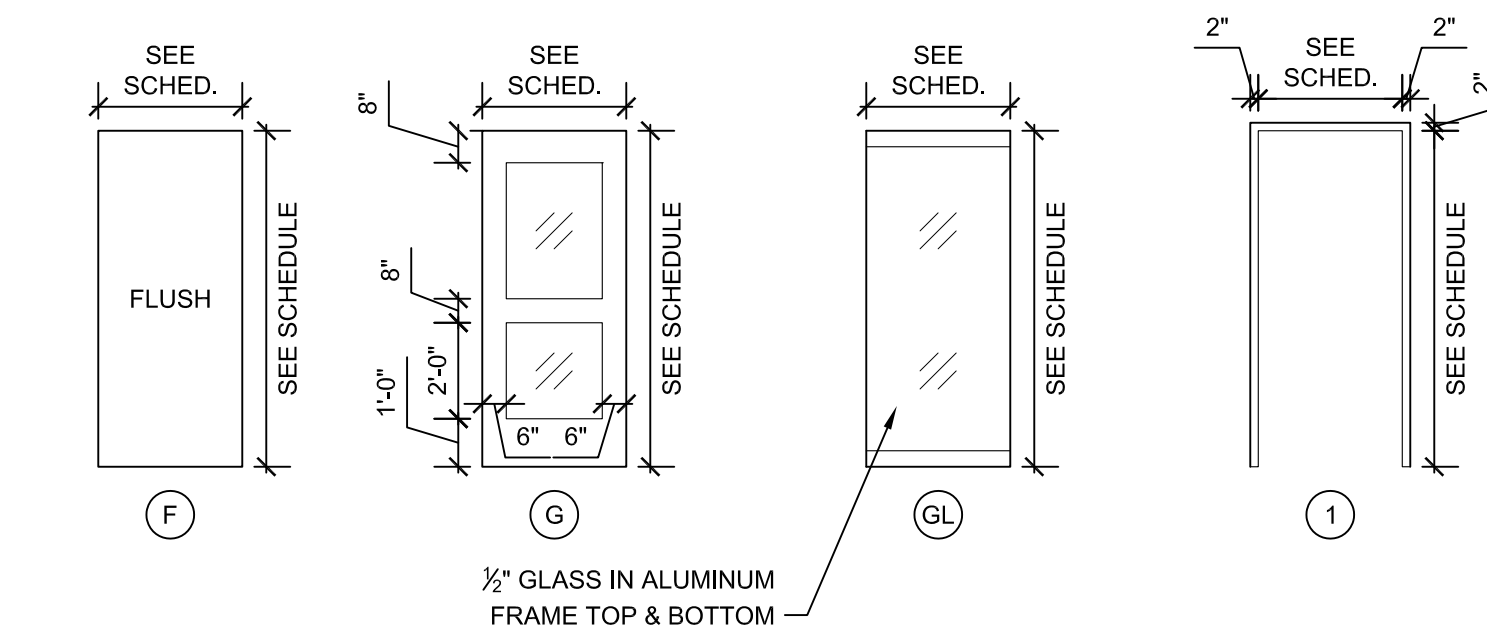
DOOR SCHEDULE

NO.	WIDTH	HEIGHT	DOOR			FRAME			DETAILS			THRESHOLD	U.L. LABEL	HARDWARE SET	REMARKS
			TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL				
100A	(2)3'-0"	7'-0"	G	WD	STN	1	HM	PT	-	-	-	-	-	5	-
100B	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	-	2	2
101	3'-0"	7'-0"	G	GL	-	-	-	-	-	-	-	-	-	2	2
102A	(2)3'-0"	7'-0"	G	WD	STN	ETR	HM	PT	-	-	-	-	20MIN	3	1,3
102B	(2)3'-0"	7'-0"	G	WD	STN	ETR	HM	PT	-	-	-	-	20MIN	3	1,3
103	3'-0"	7'-0"	F	WD	STN	1	HM	PT	-	-	-	-	-	6	-
104	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	-	2	2
105	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	-	2	2
106	3'-0"	7'-0"	GL	GL	-	-	-	-	-	-	-	-	-	2	2
107	3'-0"	7'-0"	F	WD	STN	1	HM	PT	-	-	-	-	-	6	-
108	3'-0"	7'-0"	F	WD	STN	1	HM	PT	-	-	-	-	-	6	-

DOOR SCHEDULE REMARKS:

- NEW DOOR IN EXISTING FRAME. VERIFY DOOR OPENING IN FIELD PRIOR TO FABRICATION.
- NEW 1/2" TEMP. GLASS DOORS
- PROVIDE FIRE RATED GLASS IN DOOR OPENINGS

DOOR/FRAME ELEVATIONS:



2 PARTIAL FLOOR PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

NEW WORK GENERAL NOTES:

- REFER TO SHEET G4.1 FOR TYPICAL NOTES, SYMBOLS, GENERAL INFORMATION, AND ABBREVIATIONS.
- REFER TO DRAWINGS AX.X FOR ROOM FINISH SCHEDULE

NEW WORK PLAN KEYNOTES:

(NOT ALL NOTES MAY BE USED)

- PROVIDE AND INSTALL NEW VERTICAL UNIT VENTILATOR - REFER TO MECHANICAL.
- INFILL OPENING WITH BRICK AND C.M.U. TO MATCH EXIST. WHERE UNIT VENTILATOR LOUVER WAS REMOVED.
- INFILL EXIST. OPENING WITH C.M.U. (TOOTH-IN TO MATCH EXIST.) WHERE DOOR AND FRAME WAS REMOVED.
- NEW ALUMINUM STOREFRONT FRAMED WINDOW SYSTEM.
- NEW CIRCULATION DESK, (BY OTHERS)
- NEW 16'-0" W. x 9'-0" H. PRESENTATION WALL - 3/4" HIGH IMPACT GYP. BD. ON 1 1/2" METAL FURRING @ 16" O.C. MAX. - PROVIDE MARKER BOARD, PAINT FULL HEIGHT AND WIDTH.
- NEW WALL MOUNTED T.V. MONITOR, (BY OTHERS)
- LINE OF RECESSED MOTORIZED SCREEN IN CEILING
- NEW 1/2" BUTT TEMP. GLAZED GLASS WALL.
- NEW CARPET AND 4TH. RESILIENT BASE IN ENTIRE ROOM - REFER TO ROOM FINISH SCHEDULE.
- NEW LVT FLOOR AND 4TH. RESILIENT BASE IN ENTIRE ROOM - REFER TO ROOM FINISH SCHEDULE. ALTERNATE A-1 TO PROVIDE EPOXY FLOOR INSTEAD OF LVT.
- NOT USED
- NEW CASEWORK/MILLWORK - REFER TO INTERIOR ELEVATIONS
- PROVIDE AND INSTALL MARKER BD. PAINT ON FULL WIDTH AND HEIGHT OF WALL
- NEW O.A. LOUVER W/ BIRD SCREEN
- PROVIDE "GREEN SCREEN" PAINT FULL HEIGHT AND WIDTH OF WALL
- EXISTING COLUMN TO REMAIN - PAINT
- NEW WINDOW TREATMENT
- MULTIPLE PAINT COLORS INSIDE READING NOOK-SIDE ELEVATIONS
- PAINT EXISTING WALLS COLOR TBD

WALL TYPE DESCRIPTION WINDOW SILL AFTER NEW UNIT VENT IS INSTALLED

- A 3/4" HIGH IMPACT GYP. BD. ON BOTH SIDES OF 3 1/2" 20 GA. METAL STUDS @ 16" O.C. MAX. - WALL TO STOP AT LAY-IN CEILING HEIGHT. FILL ALL VOIDS WITH SOUND ATTENUATED BLANKETS.
- B 3/4" HIGH IMPACT GYP. BD. ON 1 1/2" METAL FURRING @ 16" O.C. MAX. ON EXISTING WALL CONSTRUCTION.

DEMOLITION PLAN LEGEND:

- EXISTING CEILING TO BE REMOVED - REFER TO DEMOLITION KEY NOTES
- EXISTING FLOORING TO BE REMOVED
- EXISTING TO BE REMOVED

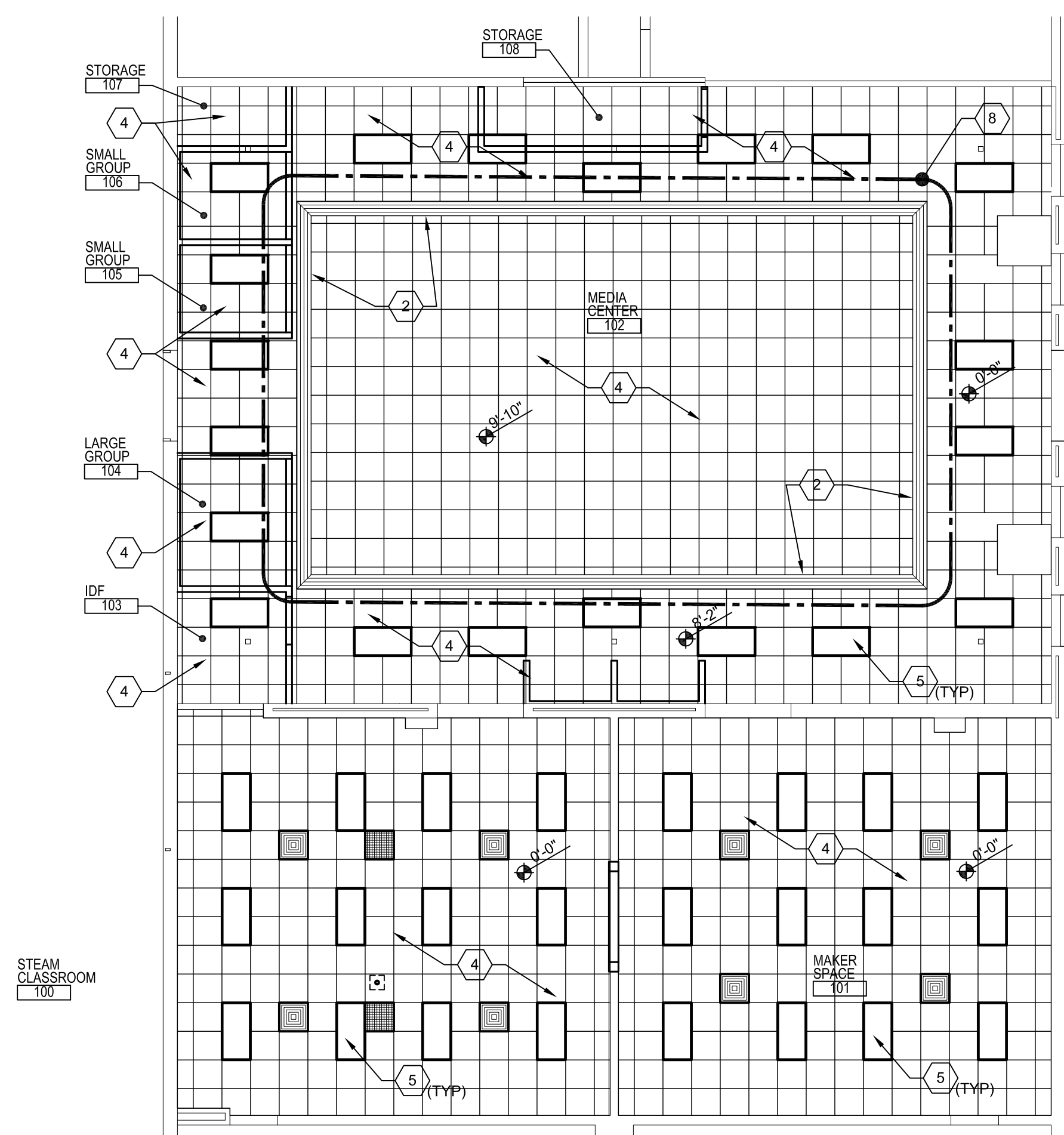
DEMOLITION GENERAL NOTES:

- REFER TO SHEET G4.1 FOR TYPICAL NOTES, SYMBOLS, GENERAL INFORMATION, AND ABBREVIATIONS.
- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.

DEMOLITION PLAN KEYNOTES:

(NOT ALL NOTES MAY BE USED)

- REMOVE EXISTING DOOR AND FRAME AND PREP AREA TO ACCEPT NEW FINISHES - COORDINATE WITH NEW WORK.
- REMOVE EXIST. GYP. BD. PARTITION WALL (FULL HEIGHT).
- REMOVE EXIST. FOLDING PARTITION, TRACK AND ALL ASSOCIATED ITEMS COMPLETE.
- REMOVE EXIST. EXTERIOR ALUMINUM STOREFRONT FRAMING WINDOW UNIT AND ALL ASSOCIATED ITEMS COMPLETE - PREP AREA FOR NEW FINISHES AND COORDINATE WITH NEW WORK.
- REMOVE EXISTING HORIZONTAL CABINET UNIT VENTILATOR, EXTERIOR WALL LOUVER AND ALL ASSOCIATED ITEMS COMPLETE AND PREP AREA TO ACCEPT NEW FINISHES - COORDINATE WITH MECHANICAL.
- REMOVE EXIST. CARPET AND RESILIENT BASE IN ENTIRE ROOM - SCRAPE MASTIC FROM CONCRETE SUBFLOOR AND PATCH AND REPAIR AS REQ'D FOR LEVEL SUBFLOOR FOR NEW FINISH FLOORING. REMOVE ADHESIVE RESIDUE ALONG ALL WALLS OF REMOVED RESILIENT BASE AND PREP WALL TO ACCEPT NEW WALL BASE - COORD. W/ NEW WORK.
- REMOVE PORTION OF EXIST. BRICK AND C.M.U. WALL FOR NEW DOOR, FRAME AND LINTEL - SHORE EXIST. MASONRY AS REQ'D AND PREP OPENING TO ACCEPT NEW FINISHES - COORDINATE WITH NEW WORK.
- REMOVE EXIST. V.C.T. FLOORING AND BASE IN ENTIRE ROOM OR AREA SHOWN - SCRAPE MASTIC FROM CONCRETE SUBFLOOR AND PATCH AND REPAIR FOR LEVEL SUBFLOOR FOR NEW FINISH FLOORING - COORDINATE WITH NEW WORK.
- REMOVE PORTION OF EXIST. PLAM. COUNTERTOP - PREP TO ACCEPT NEW FINISHES AND COORDINATE WITH NEW WORK.
- REMOVE EXIST. WOOD DOORS AND HARDWARE - H.M. FRAMES TO REMAIN AND PREP FRAMES TO ACCEPT NEW DOORS AND HARDWARE.
- REMOVE EXIST. METAL LOCKERS AND LOCKER BASE AND SALVAGE LOCKERS FOR RELOCATION - COORDINATE WITH NEW WORK.
- REMOVE PORTION OF EXIST. ACOUSTICAL LAY-IN CEILING AND METAL GRID SYSTEM TO ACCOMMODATE NEW GYP. BD. SOFFIT - COORDINATE WITH NEW WORK.
- REMOVE EXIST. ACOUSTICAL LAY-IN CEILING TILES - EXIST. METAL GRID SYSTEM TO REMAIN
- REMOVE EXIST. PLAM. BASE CABINETS, COUNTERTOP AND ALL ASSOCIATED ITEM COMPLETE
- REMOVE PORTION OF EXIST. C.M.U. WALL FOR NEW LOUVER AND LINTEL - SHORE EXIST. MASONRY AS REQ'D AND PREP OPENING TO ACCEPT NEW FINISHES - COORDINATE WITH NEW WORK
- LINE OF EXISTING SOFFIT TO REMAIN
- REMOVE EXISTING CEILING FANS COMPLETE
- REMOVE EXISTING WINDOW TREATMENT SYSTEM COMPLETE
- EXISTING CABINETS TO REMAIN.
- REMOVE EXISTING DOOR AND HW. FRAME TO REMAIN. COORDINATING WITH NEW WORK
- EXISTING COLUMN TO REMAIN
- REMAIN PLAM. WINDOW SILL FULL LENGTH



3 PARTIAL REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

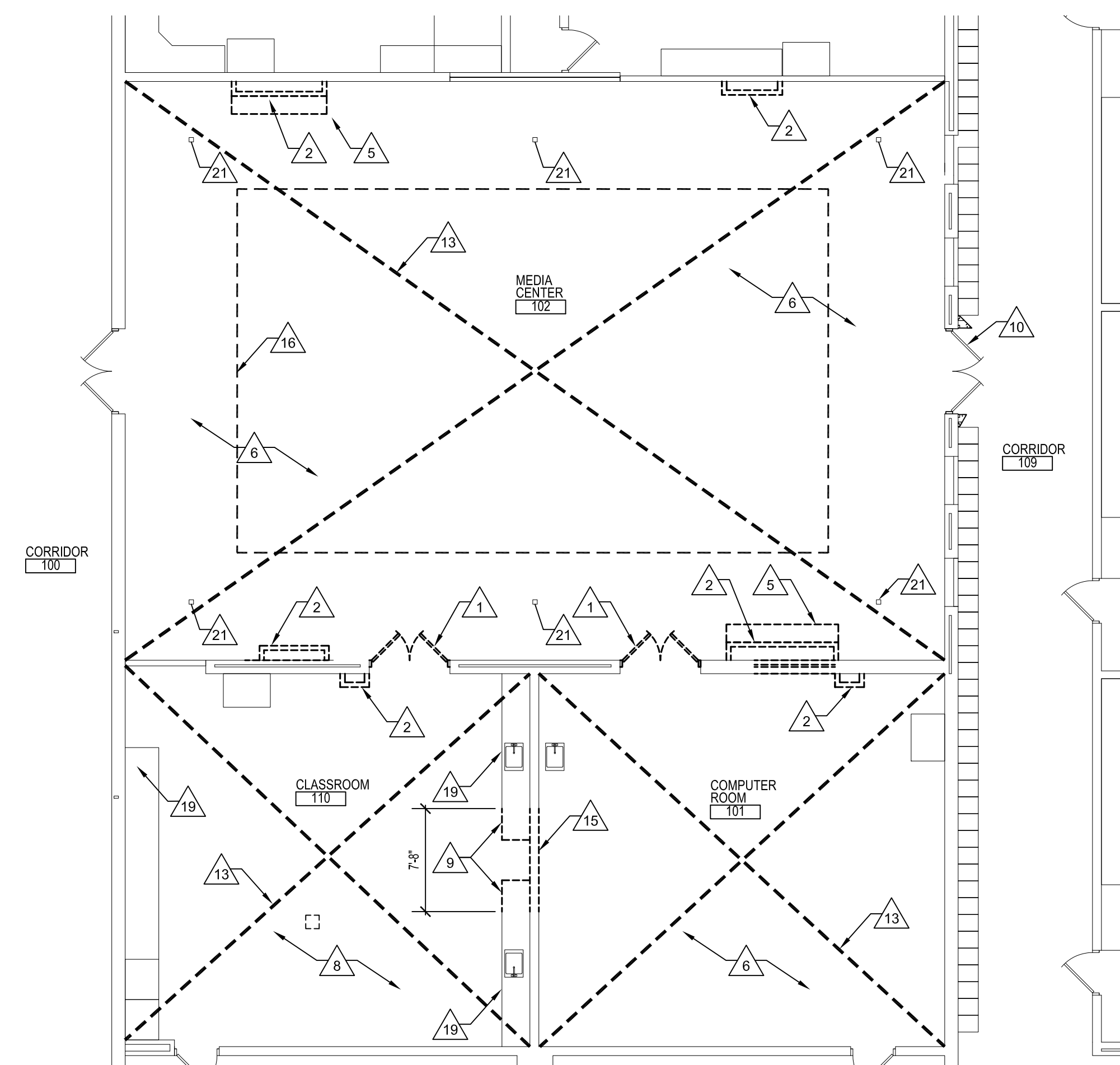
REFLECTED CEILING PLAN GENERAL NOTES:

- ACOUSTICAL CEILING TILES SHALL BE CENTERED WITHIN THE ROOM

REFLECTED CEILING PLAN KEYNOTES:

(NOT ALL NOTES MAY BE USED)

- EXISTING LAY-IN ACOUSTICAL CEILING AND METAL GRID SYSTEM TO REMAIN.
- EXISTING SOFFIT TO BE PAINTED MULTIPLE COLORS (TBD)
- NEW GYP. BD. SOFFIT (PAINT)
- NEW ACOUSTICAL LAY-IN CEILING TILES IN EXIST. METAL GRID SYSTEM (CLEAN AND PAINT GRID).
- NEW LIGHT FIXTURE - COORDINATE WITH ELECTRICAL.
- REWORK EXIST. ACOUSTICAL CEILING TILES AND METAL GRID SYSTEM AT NEW SOFFIT.
- RECESSED PROJECTION SCREEN IN EXISTING CEILING SYSTEM - MODIFY AS REQUIRED
- LOCATION OF ALT E-1. PROVIDE ALTERNATE SHEETING PAD LAYOUT FOR ALTERNATE LIGHTING LAYOUT - REFER TO SHEET E3.1M
- EXISTING LIGHTS IN THE ROOM TO REMAIN.
- NEW VERTICAL VERTICAL VENTILATOR - SEE MECHANICAL



1 PARTIAL FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"



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LAKE SHORE PUBLIC SCHOOLS - 2016 BOND ISSUE
BID PACKAGE NO.5 - MEDIA CENTER
RENOVATIONS TO VARIOUS SCHOOLS

VIOLET ELEMENTARY
FLOOR PLANS - DEMOLITION,
NEW WORK AND REFLECTED
CEILING

PRELIMINARY
DESIGN DEVELOPMENT
CONSTRUCTION
FINAL RECORD

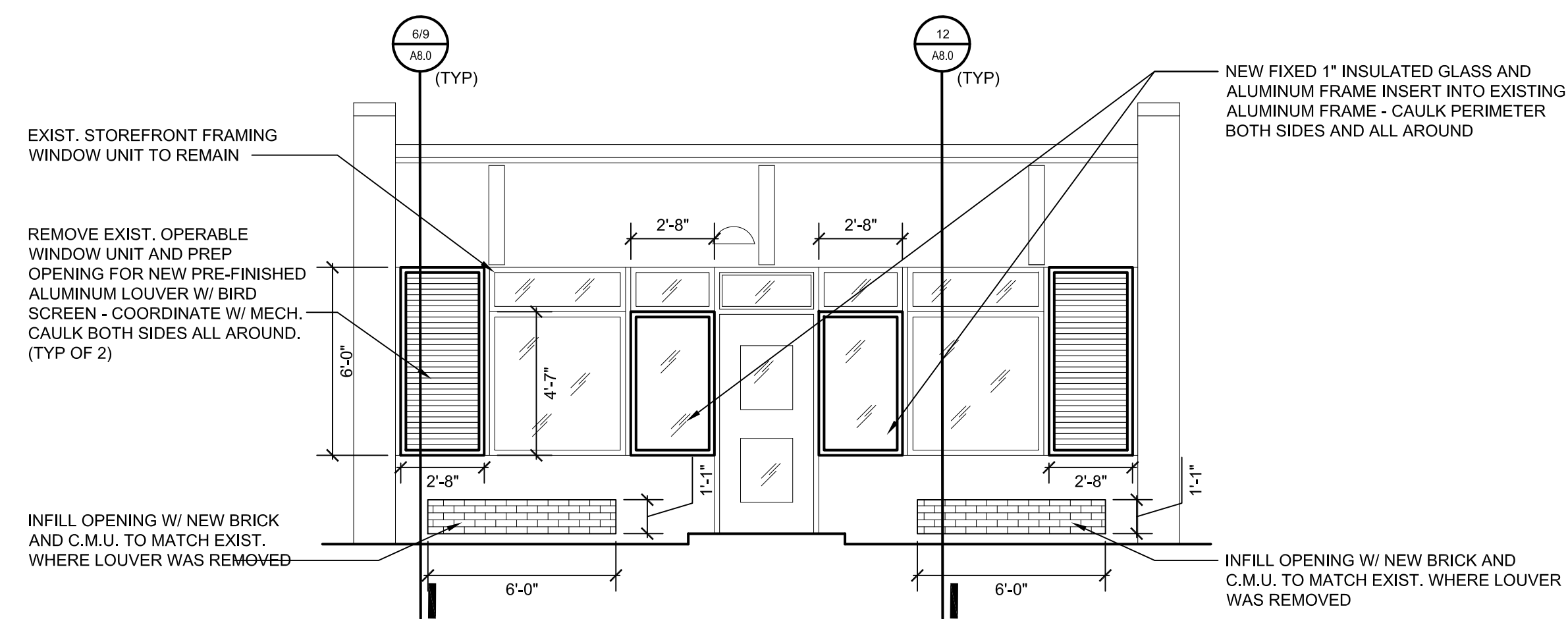
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CHECKED BY: BUS

REVISIONS:

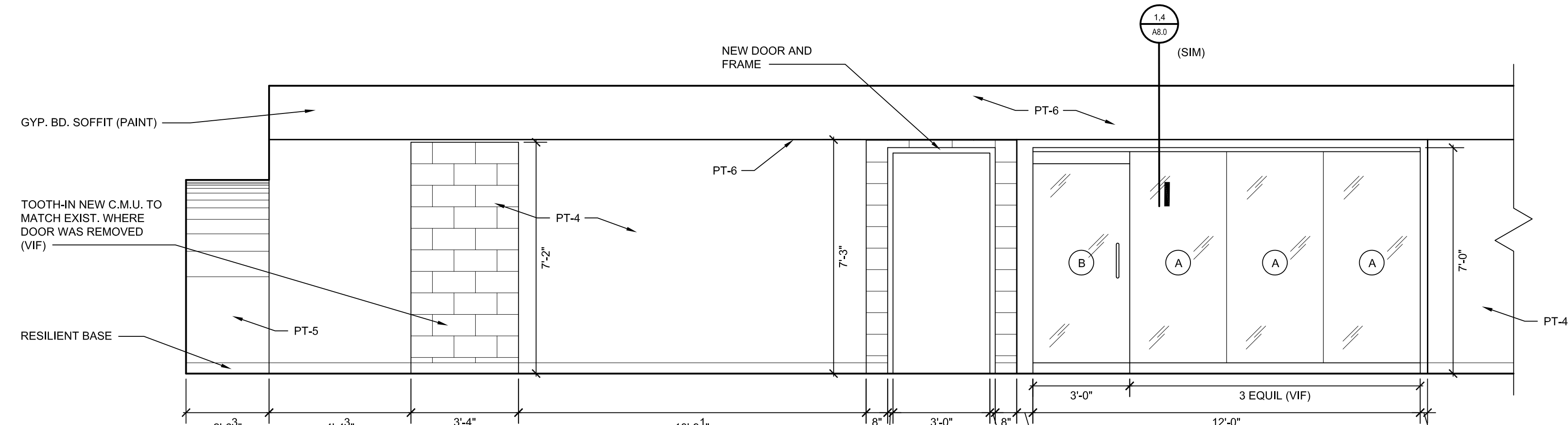
DATE: MARCH 4, 2019
SHEET NO.:

A1.1V

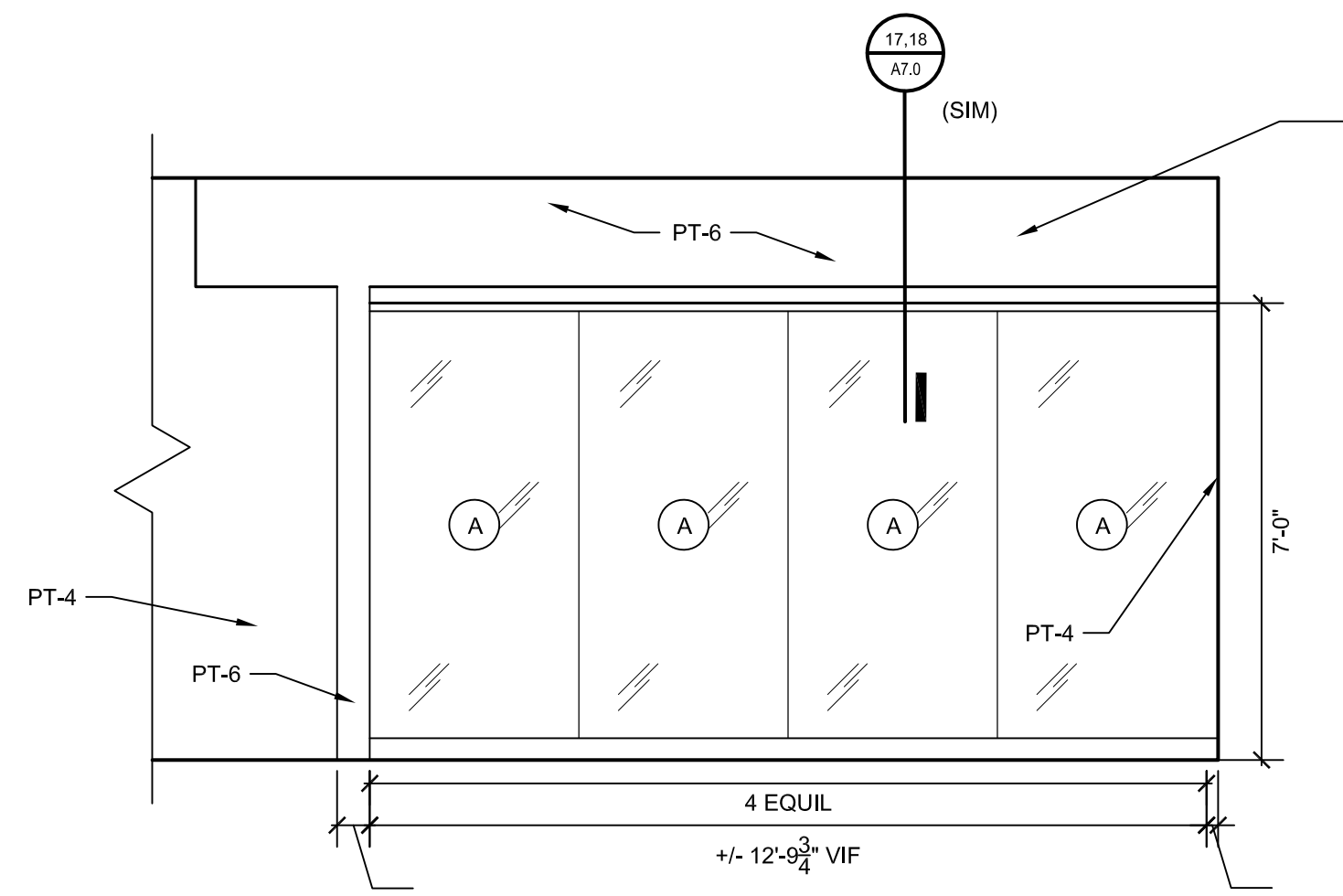
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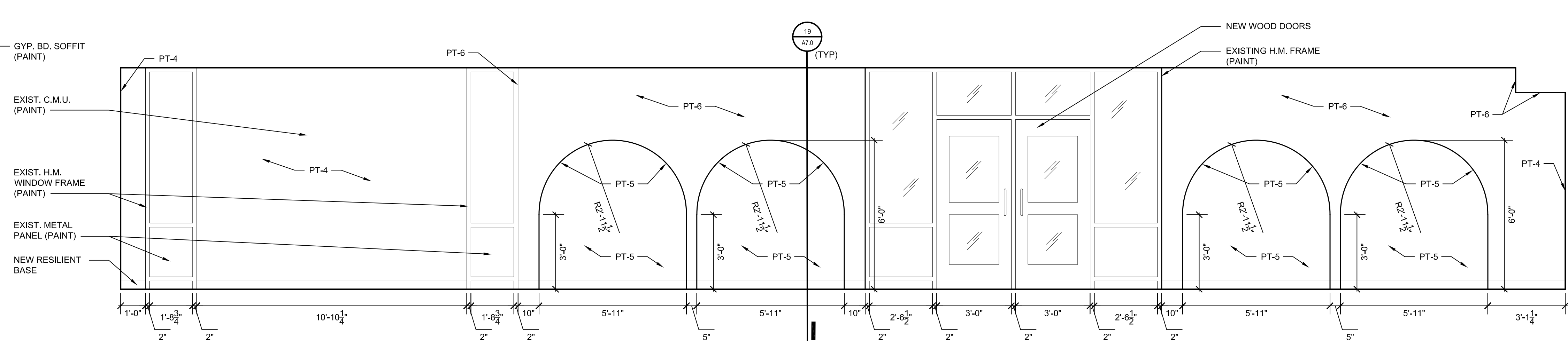
7 EXTERIOR ELEVATION - RODGERS MEDIA CENTER 105
SCALE: 1/4" = 1'-0"



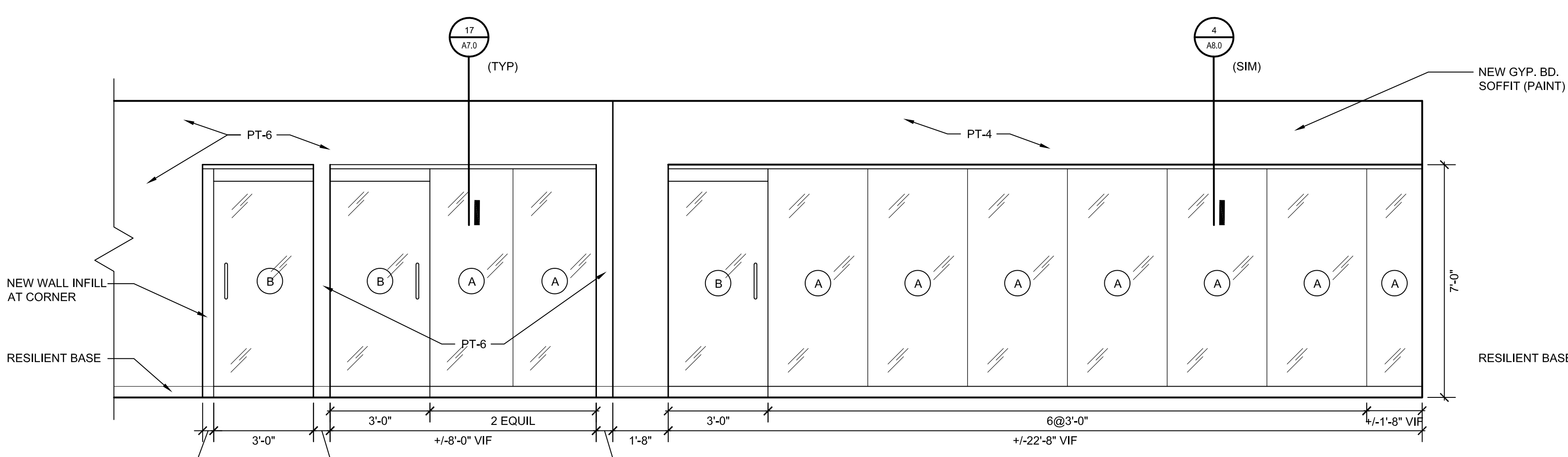
6 INTERIOR ELEVATION - RODGERS MEDIA CENTER 105
SCALE: 3/8" = 1'-0"



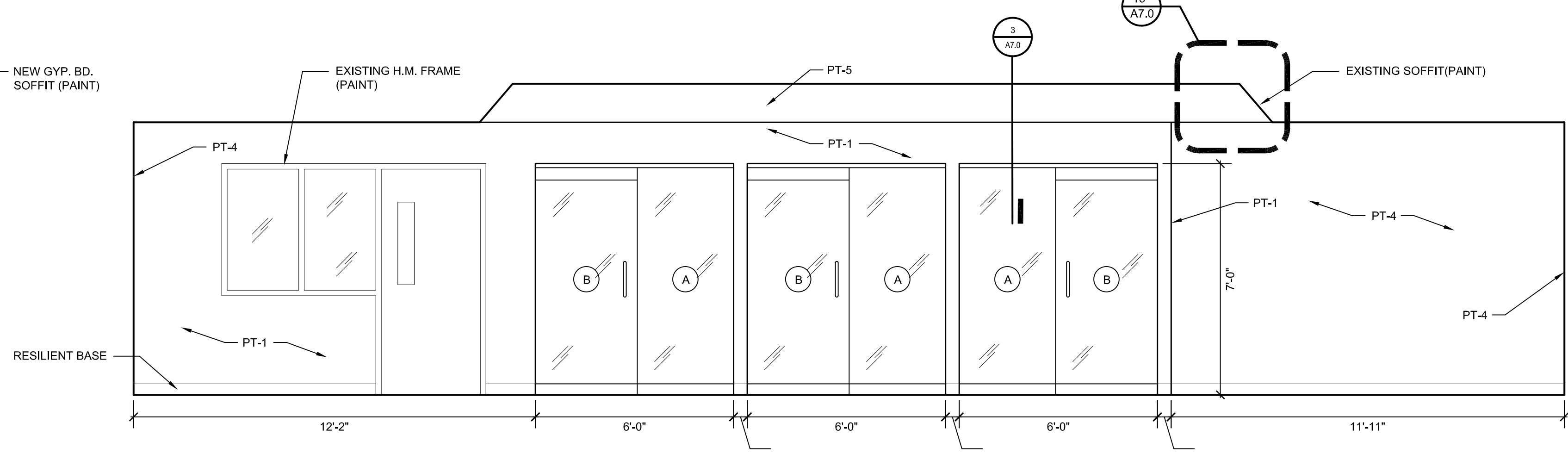
5 INTERIOR ELEVATION - RODGERS M.C.
SCALE: 3/8" = 1'-0"



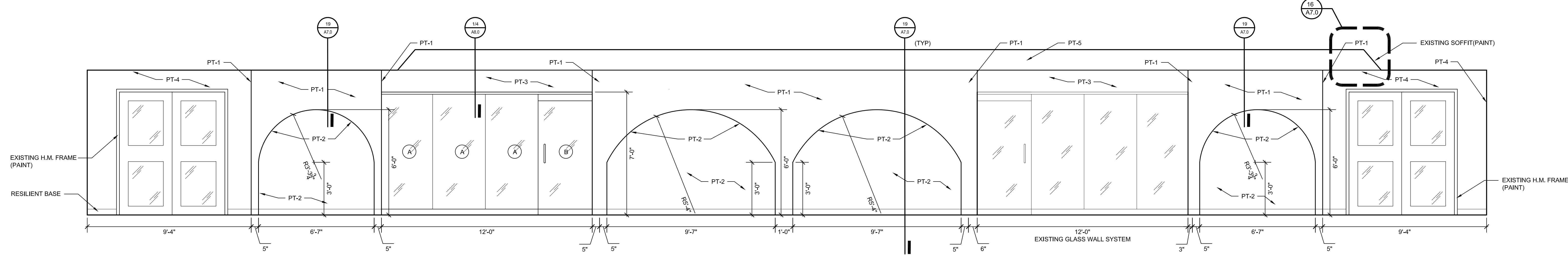
4 INTERIOR ELEVATION - RODGERS MEDIA CENTER 105
SCALE: 3/8" = 1'-0"



3 INTERIOR ELEVATION - RODGERS MEDIA CENTER 105
SCALE: 3/8" = 1'-0"

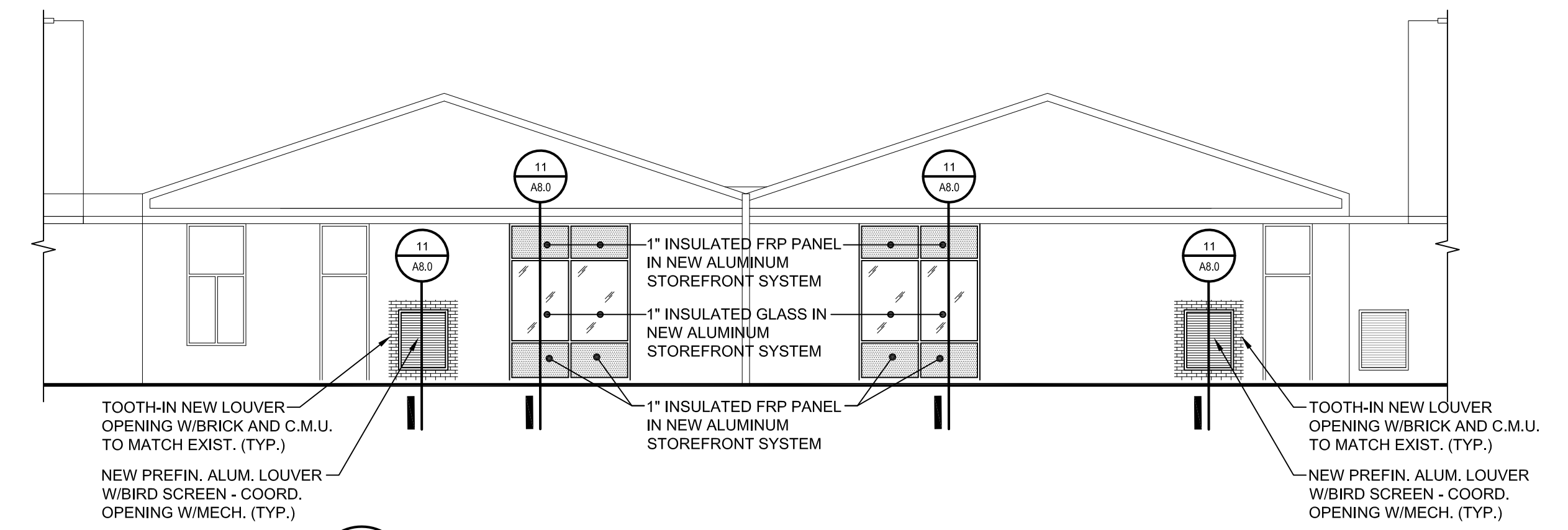


2 INTERIOR ELEVATION MASONIC MEDIA CENTER 100
SCALE: 3/8" = 1'-0"

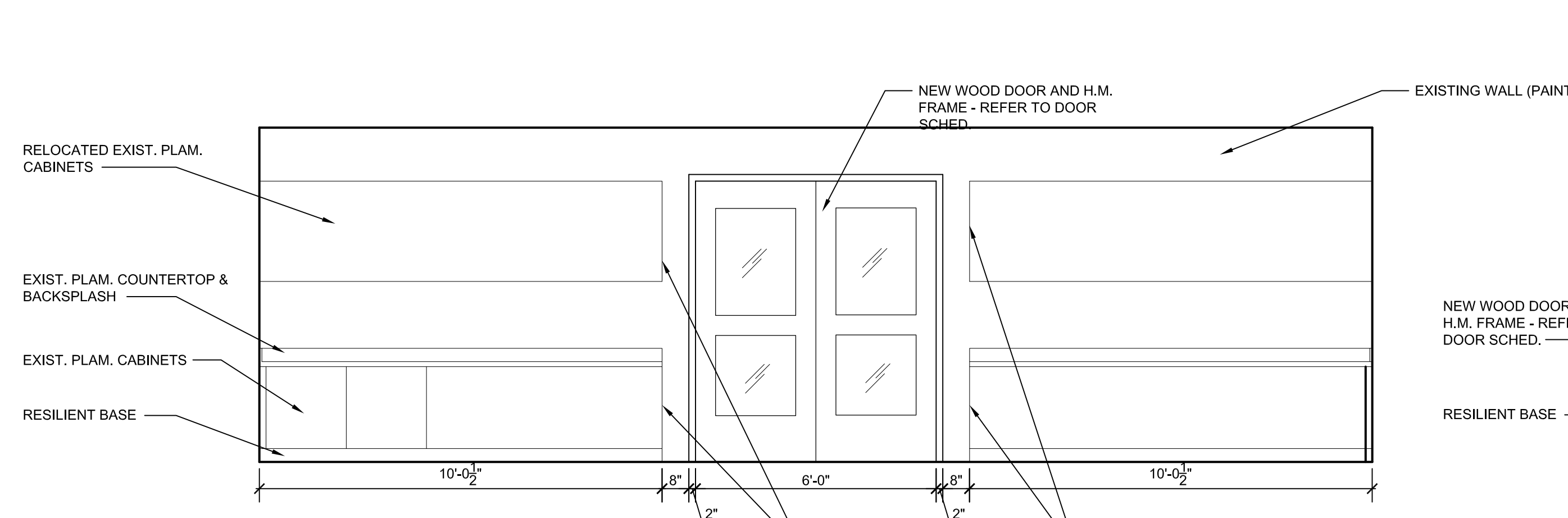


1 INTERIOR ELEVATION - MASONIC MEDIA CENTER 100
SCALE: 3/8" = 1'-0"

- NOTES:**
- (A) NEW 7'-0" H 1/2" BUTT GLAZED TEMP. GLASS IN ALUM. FRAMES.
 - (B) NEW 7'-0" H X 3'-0" W 1/2" GLASS DOOR WITH PULL + FIVIF HINGE TOP - BOTTOM. (NO LOCK)

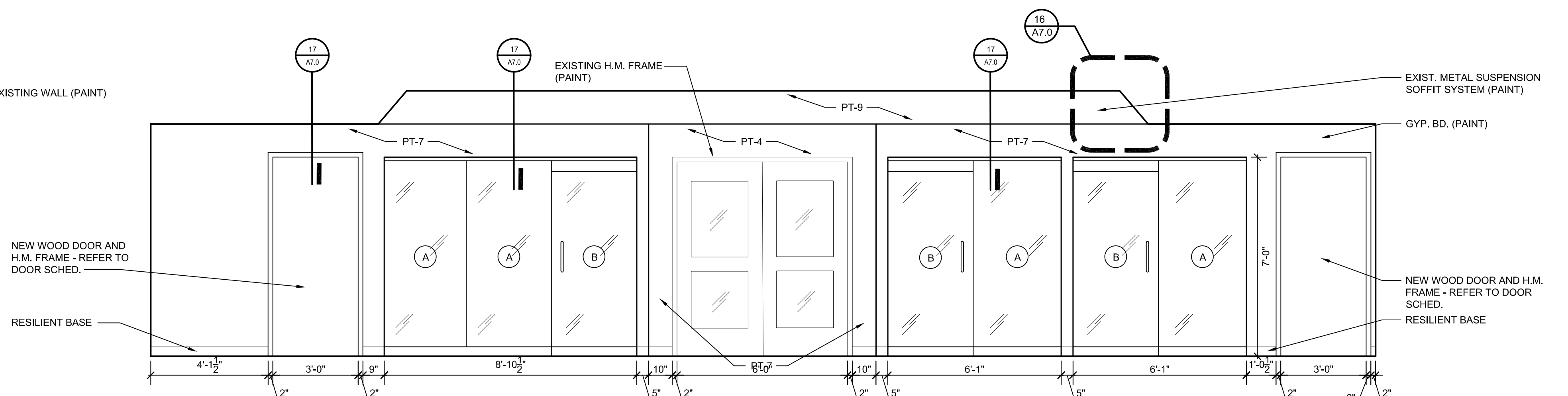


5 EXTERIOR ELEVATION - MASONIC MEDIA CENTER
A1.1M SCALE: 1/8" = 1'-0"

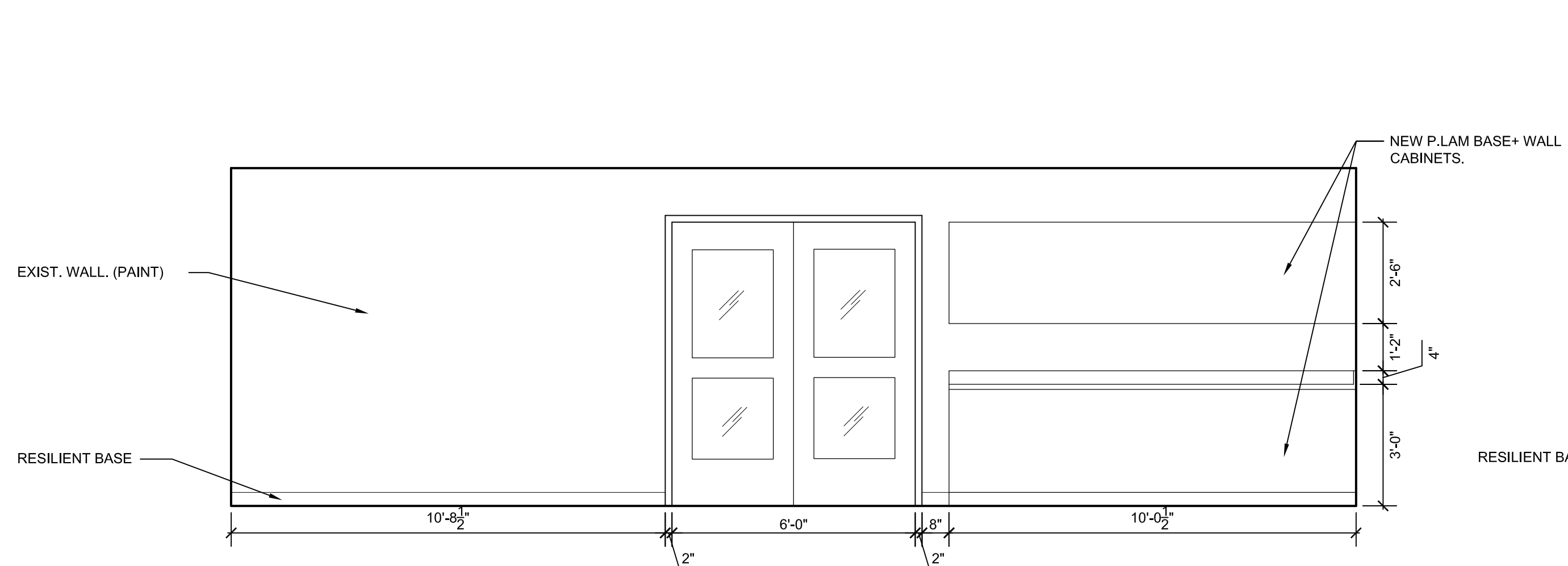


4 INTERIOR ELEVATION - VIOLET 110
A1.1V SCALE: 3/8" = 1'-0"

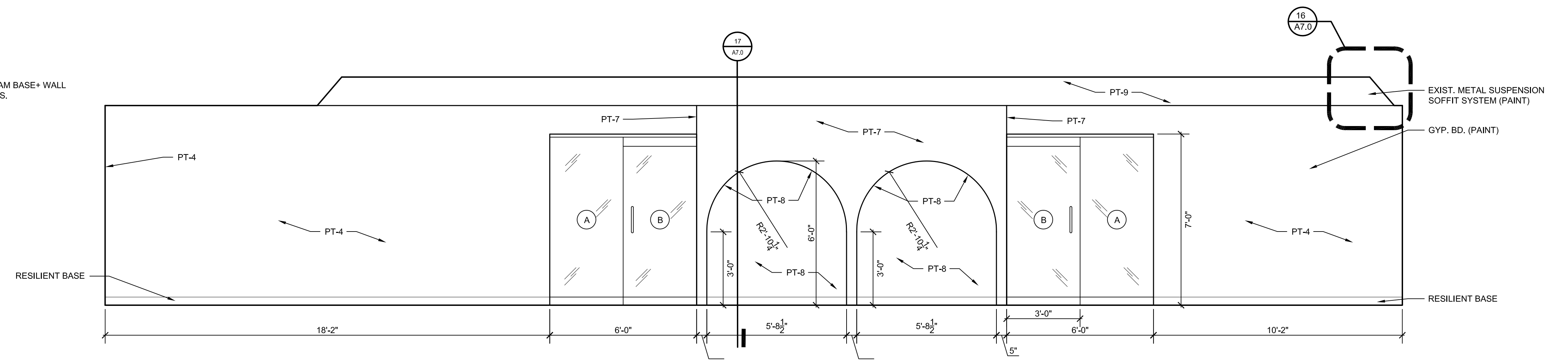
PROVIDE NEW FINISHED END PANEL ON EXIST. PLAM. CABINET AND COUNTERTOP WHERE CABINET AND COUNTERTOP WAS REMOVED



3 INTERIOR ELEVATION - VIOLET MEDIA CENTER 102
A1.1V SCALE: 3/8" = 1'-0"

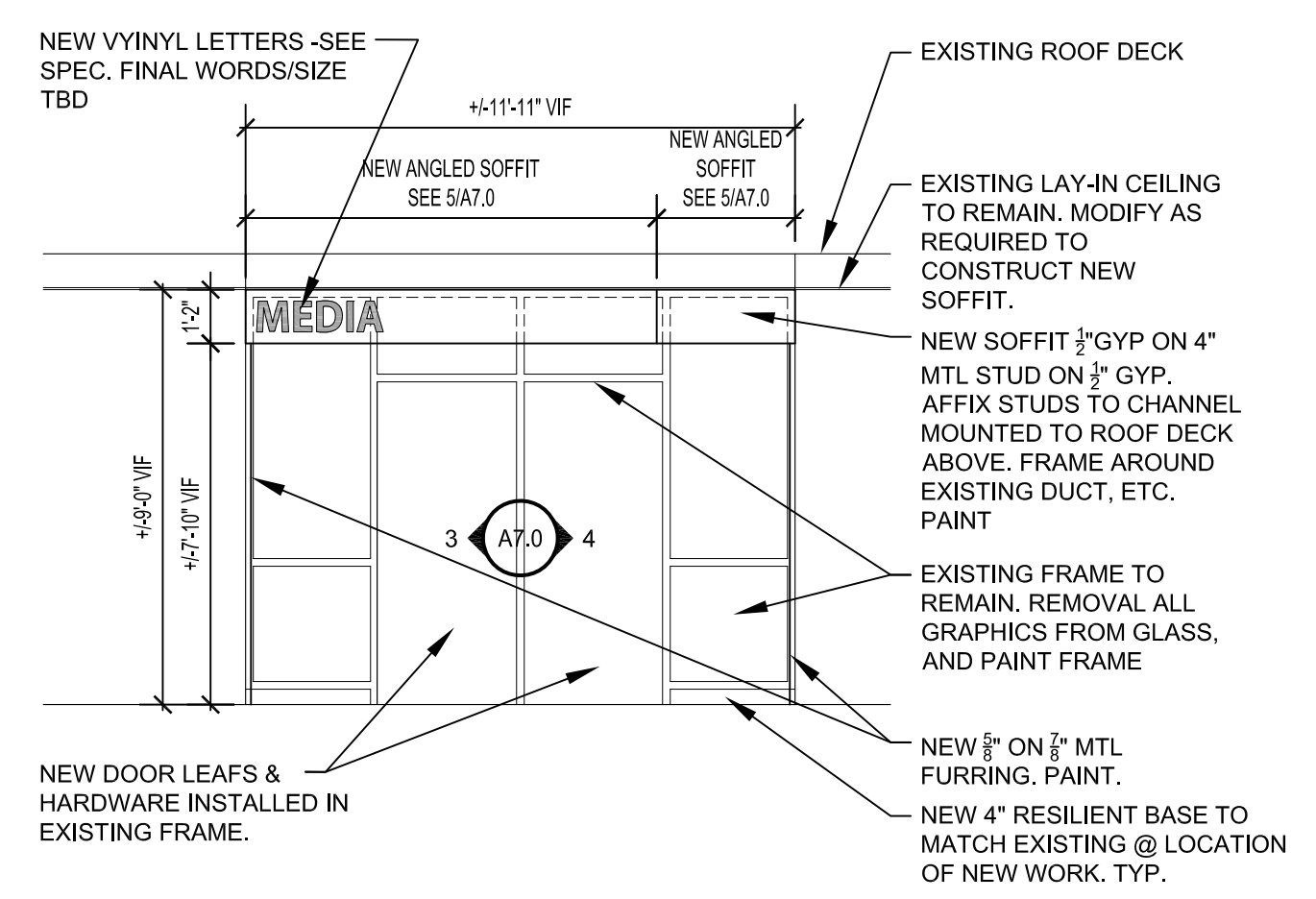


2 INTERIOR ELEVATION - VIOLET 101
A1.1V SCALE: 3/8" = 1'-0"

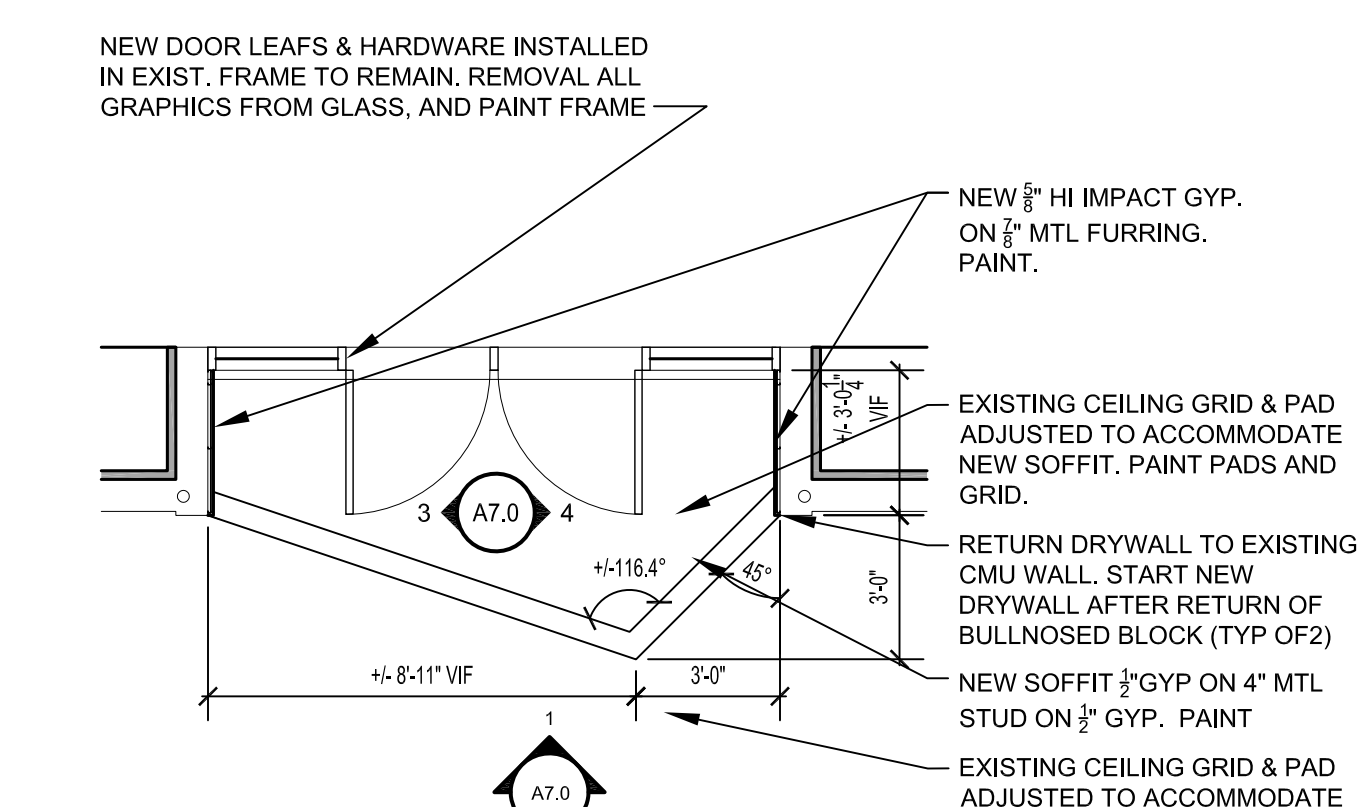


1 INTERIOR ELEVATION - VIOLET MEDIA CENTER 102
A1.1V SCALE: 3/8" = 1'-0"

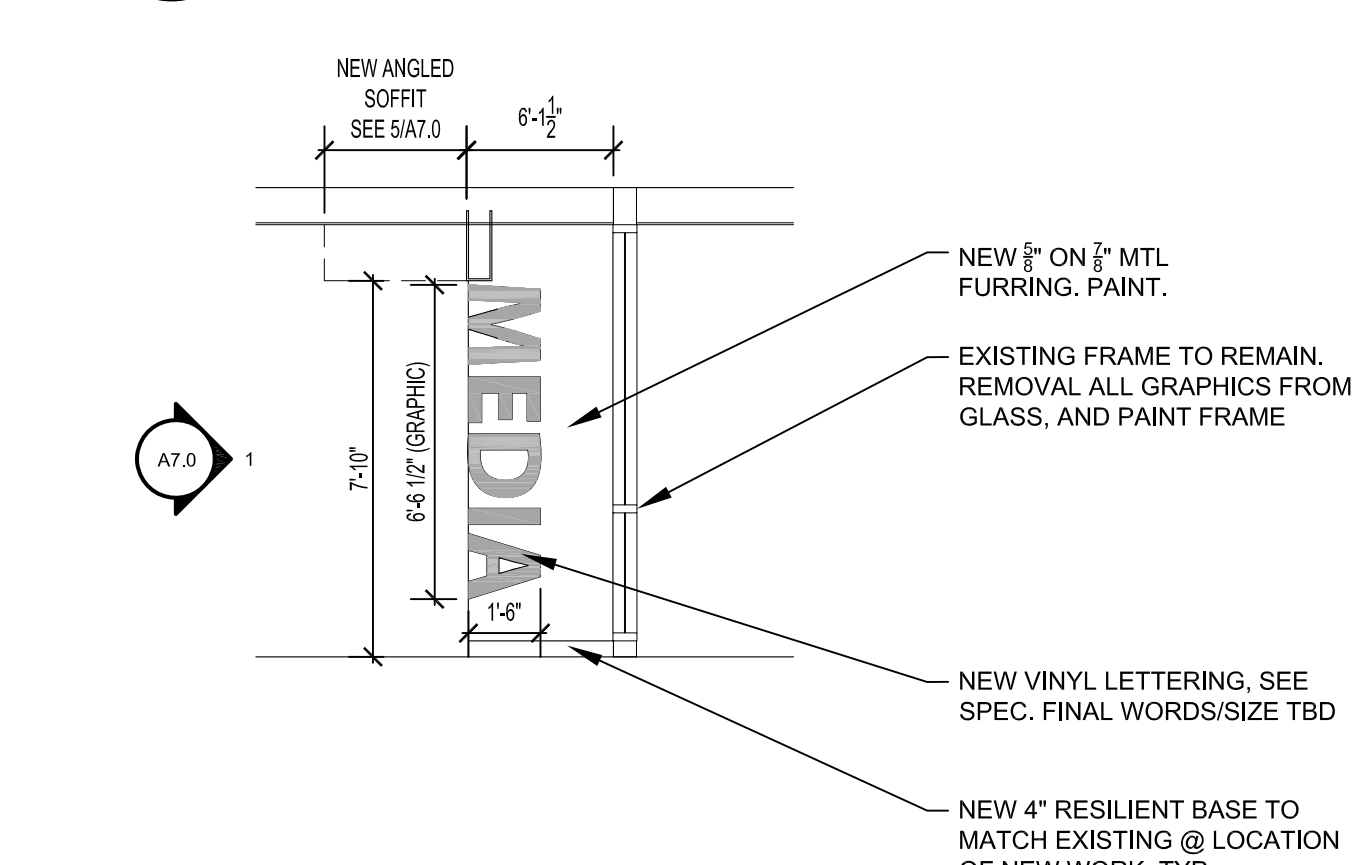
NOTES:
A NEW 7'-0\"/>



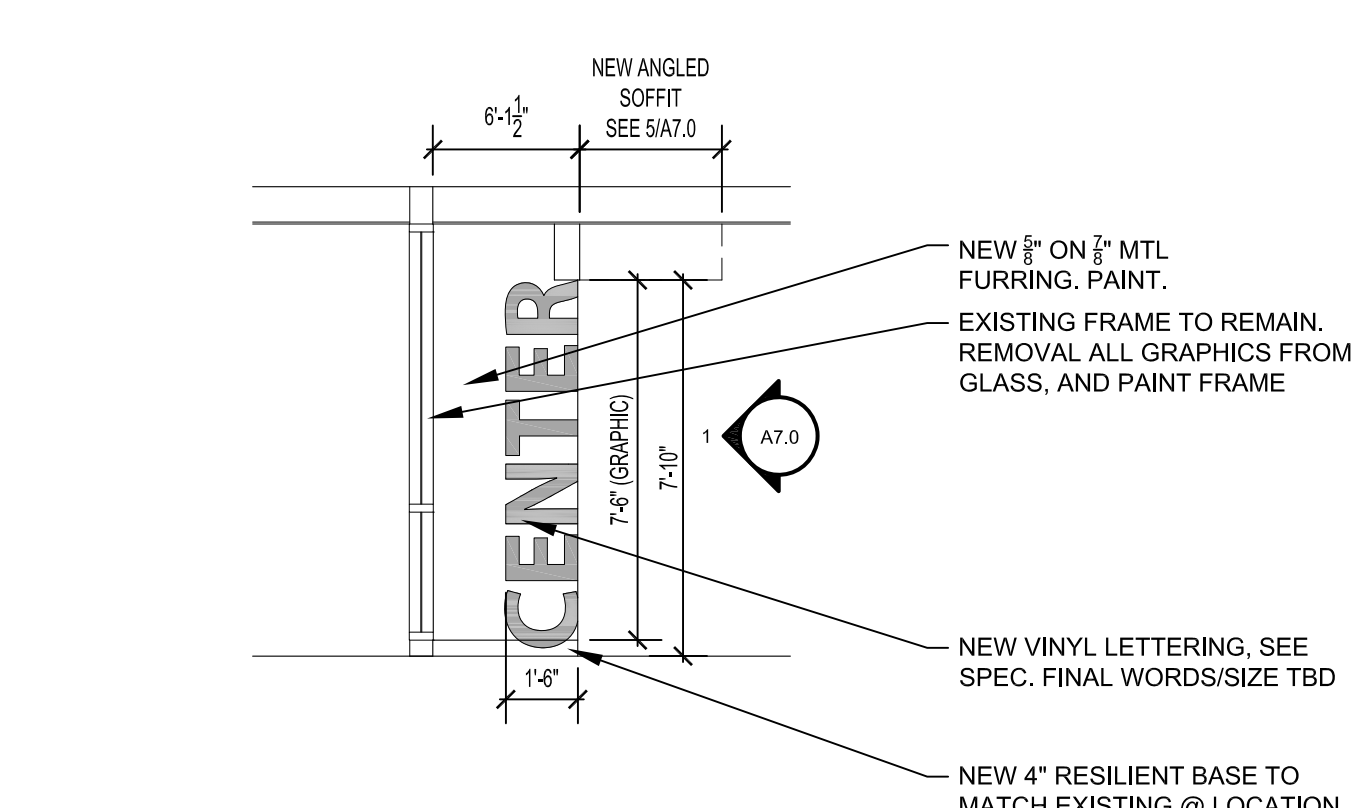
1 RODGERS MEDIA ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



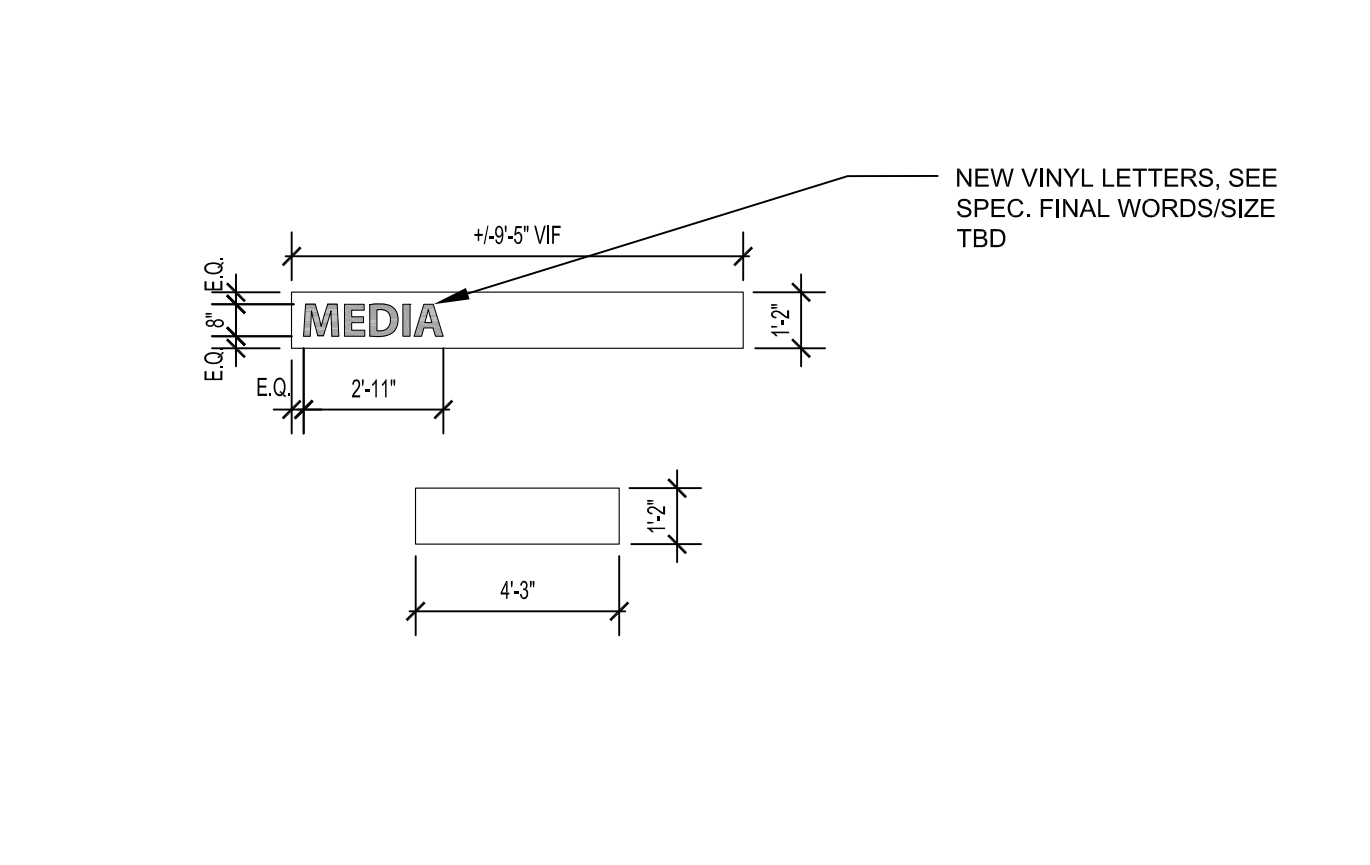
2 RODGERS ENTRY PLAN DETAIL
A6.0.A6.1 SCALE: 1/4" = 1'-0"



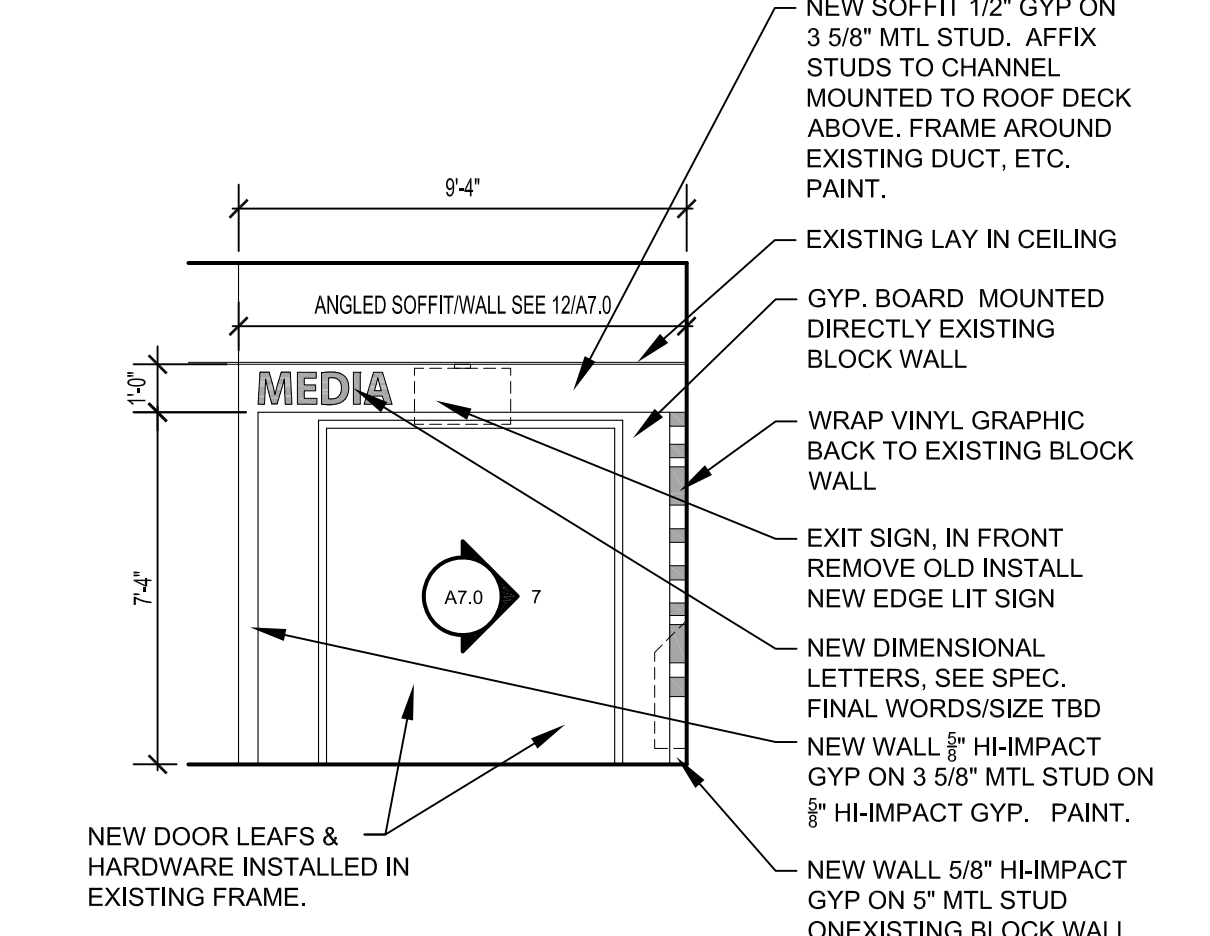
3 RODGERS MEDIA ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



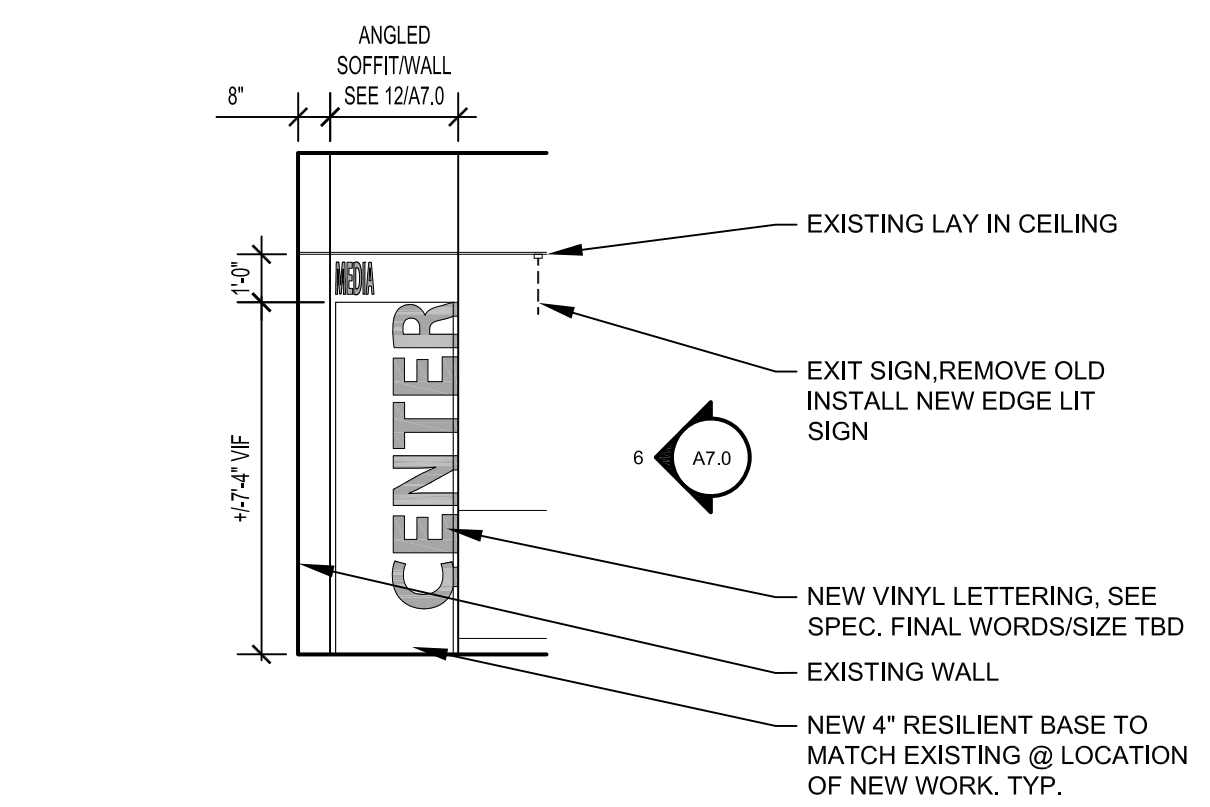
4 RODGERS MEDIA ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



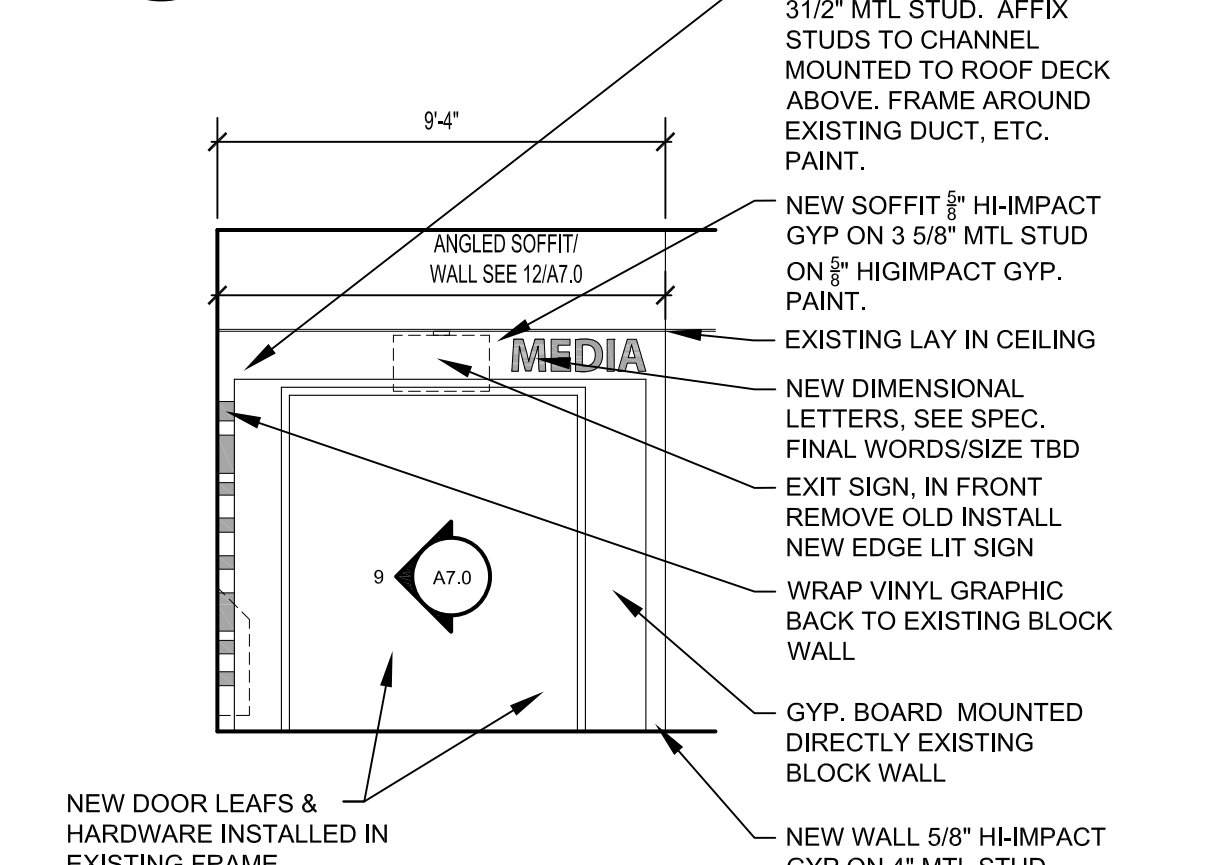
5 RODGERS MEDIA SOFFIT ELEVATIONS
A6.0.A6.1 SCALE: 1/4" = 1'-0"



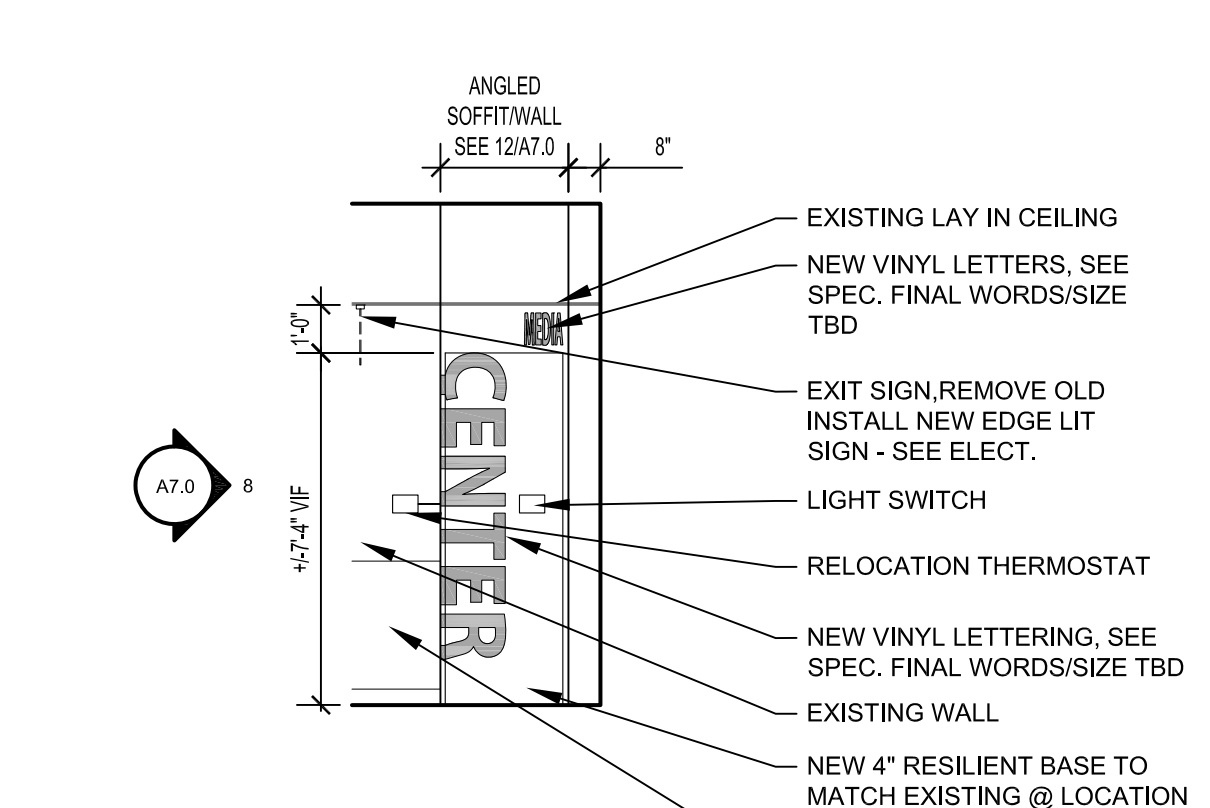
6 MASONIC EAST ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



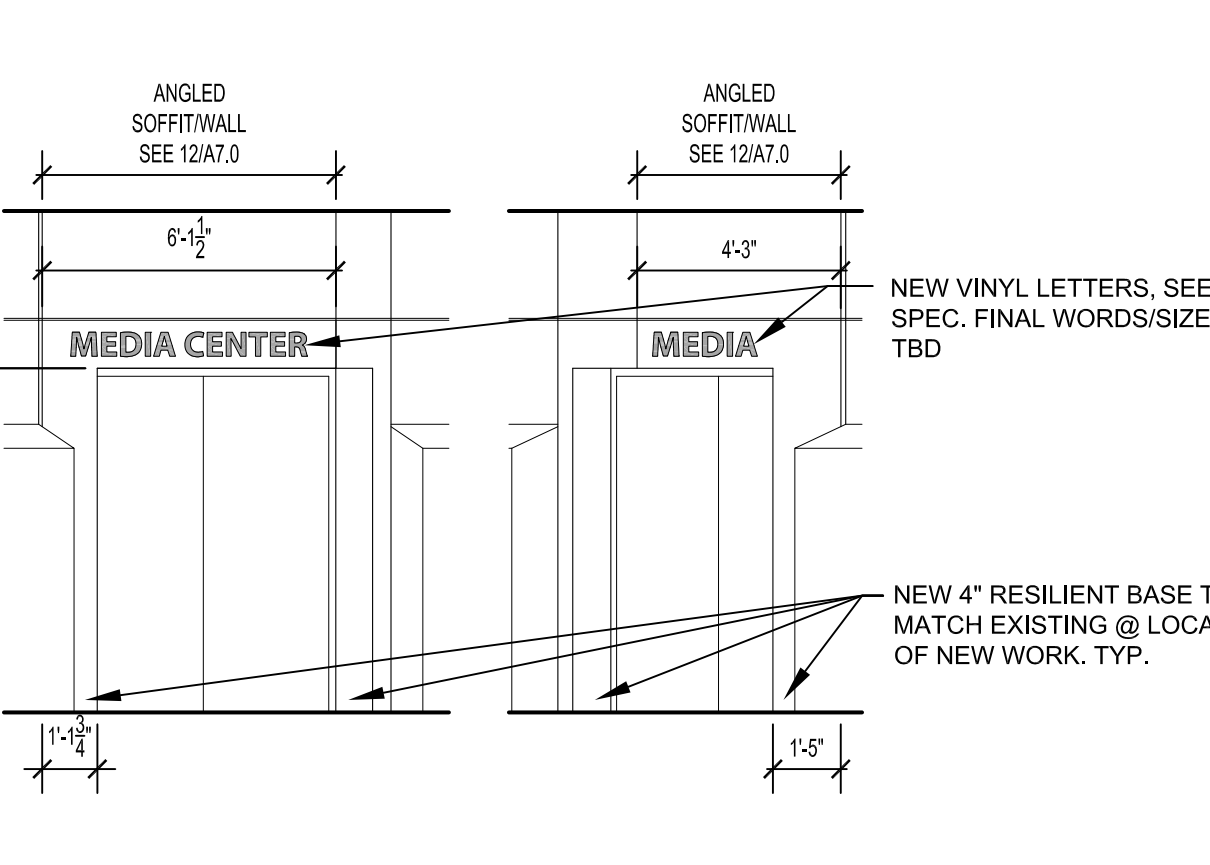
7 MASONIC EAST ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



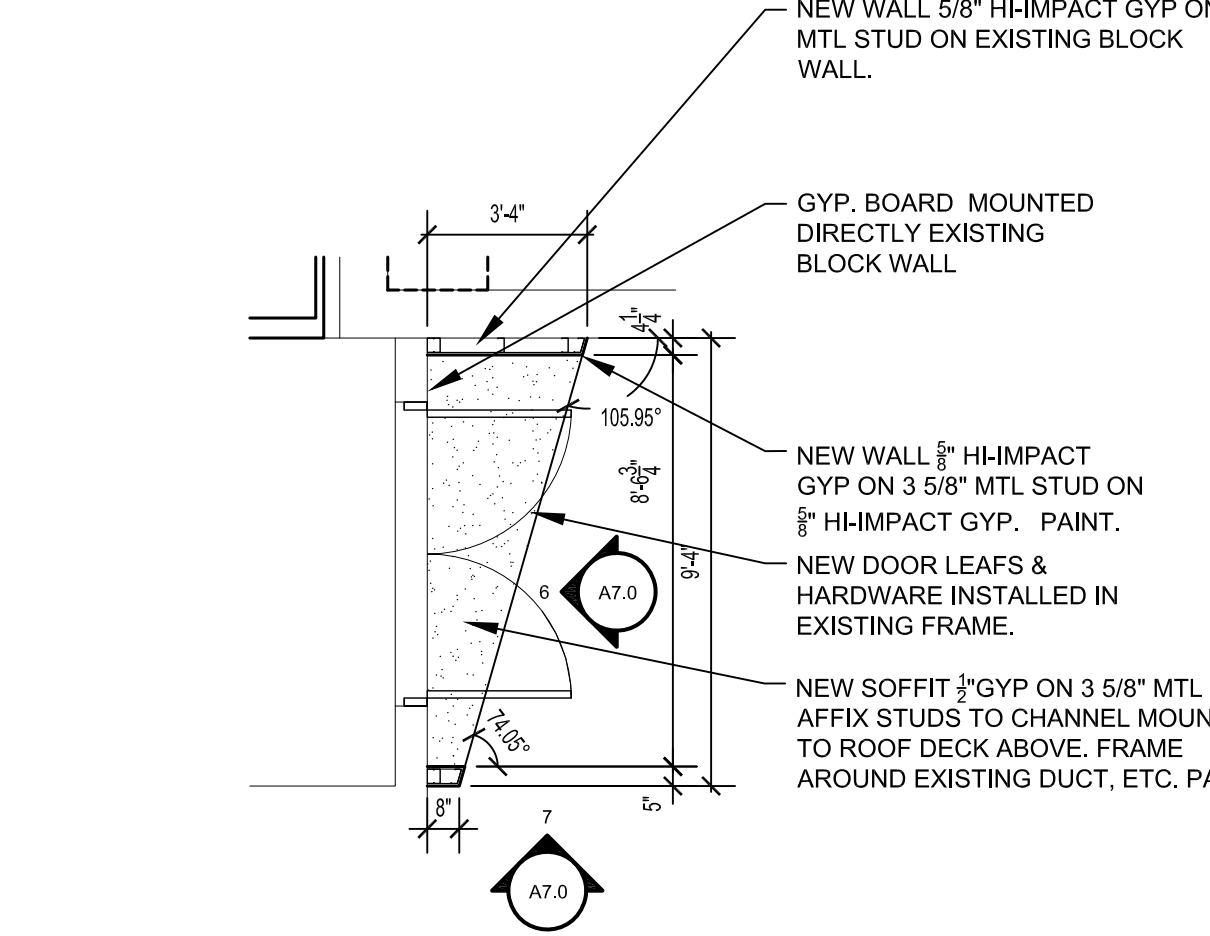
8 MASONIC WEST ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



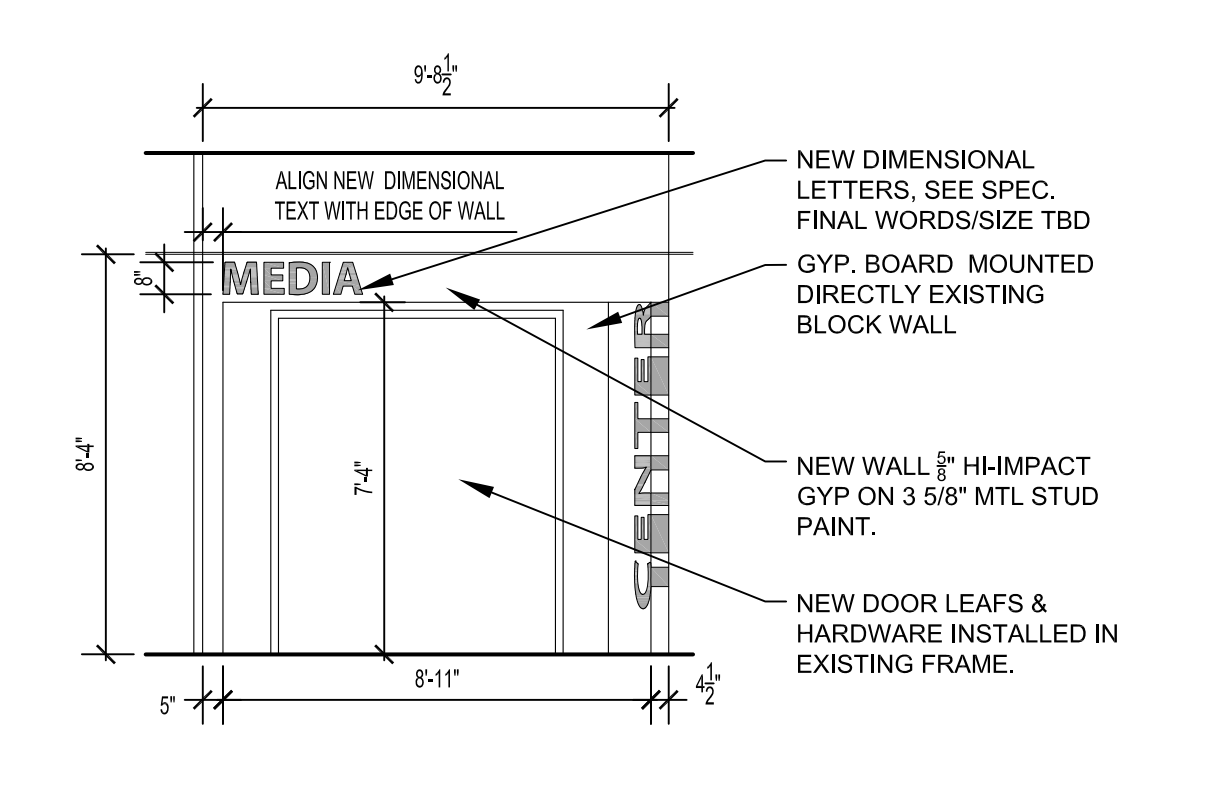
9 MASONIC WEST ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



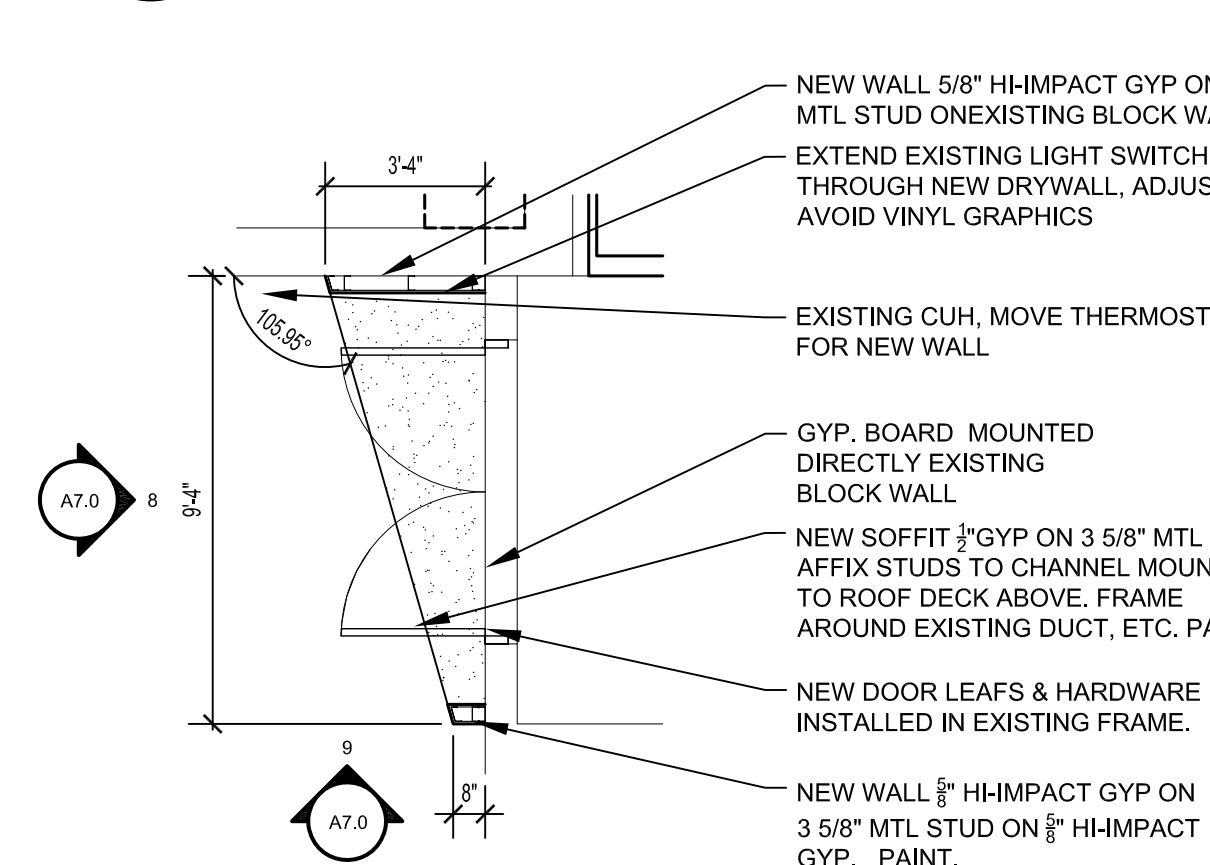
10 VIOLET ENTRY ELEVATIONS
A6.0.A6.1 SCALE: 1/4" = 1'-0"



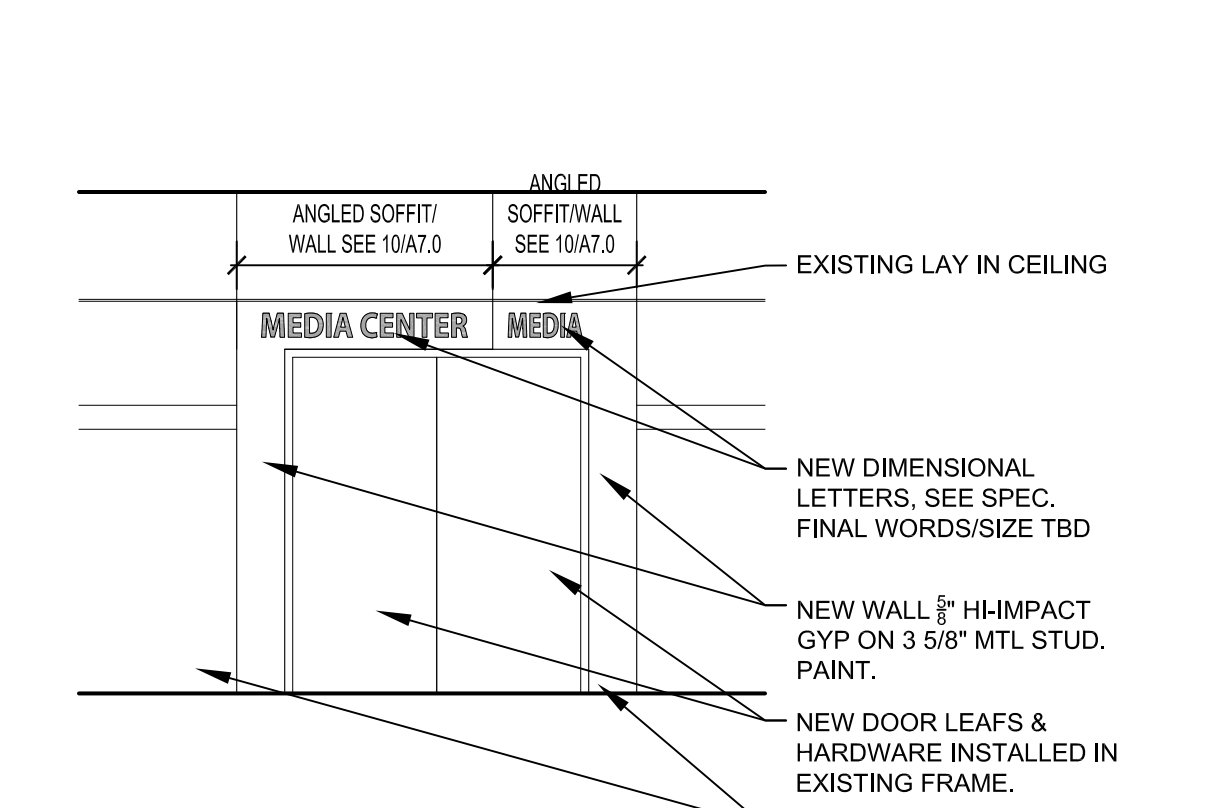
11 MASONIC EAST ENTRY PLAN
A6.0.A6.1 SCALE: 1/4" = 1'-0"



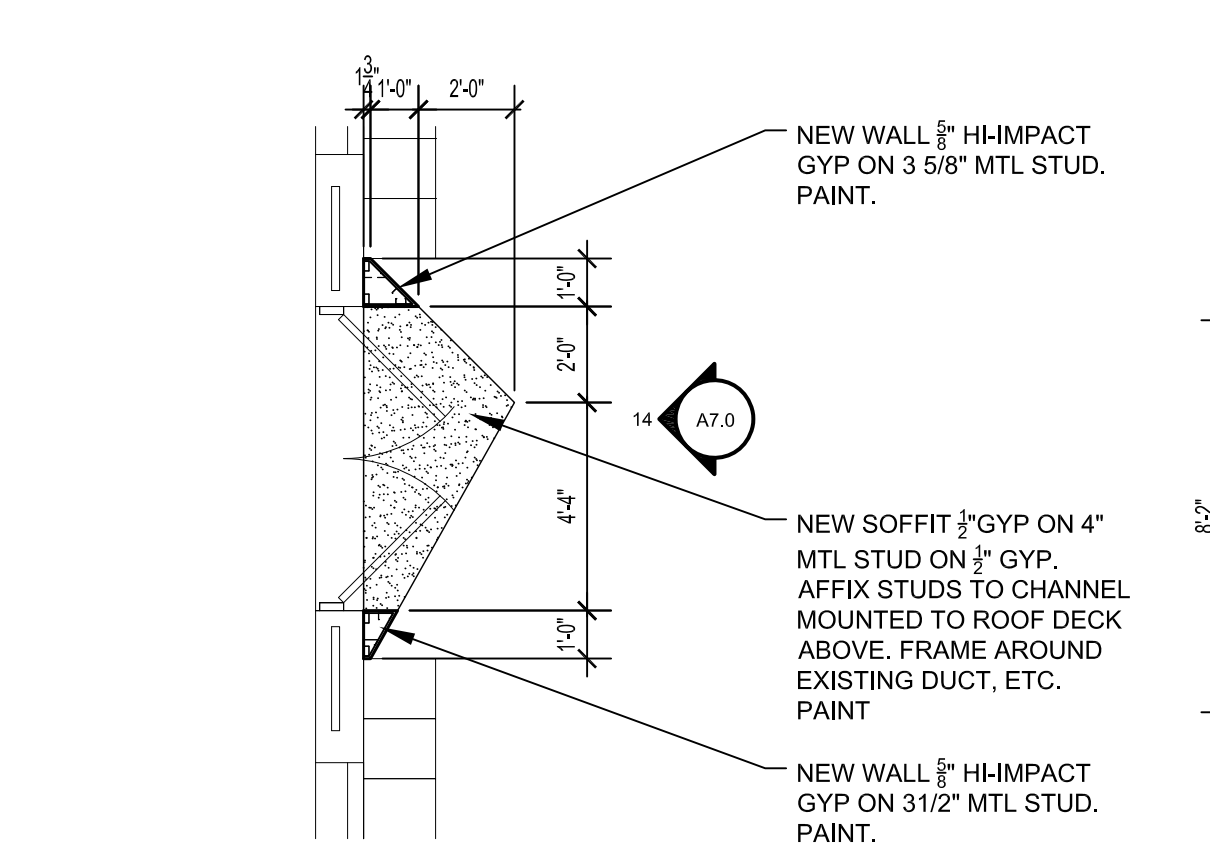
12 MASONIC ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



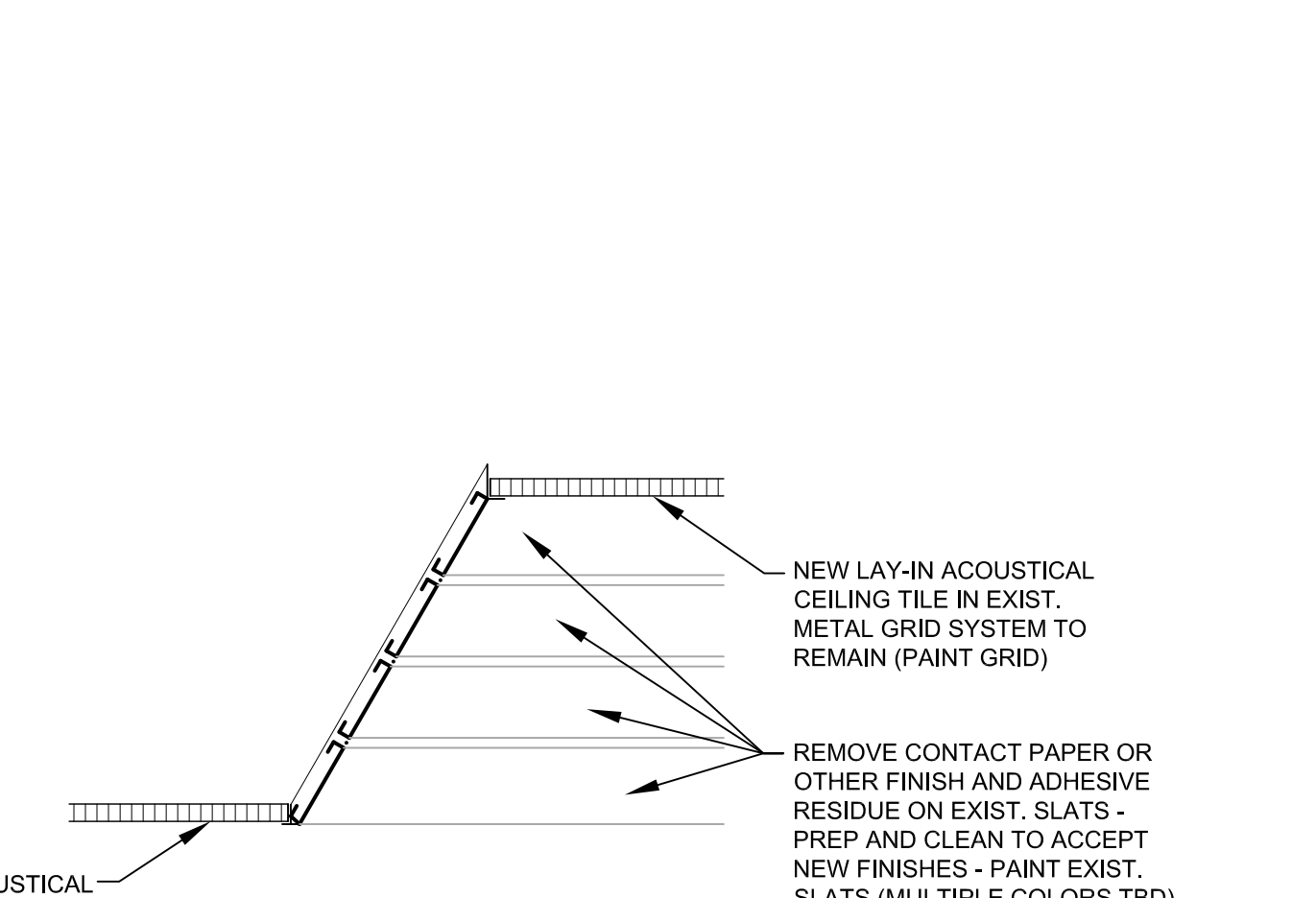
13 MASONIC WEST ENTRY PLAN DETAIL
A6.0.A6.1 SCALE: 1/4" = 1'-0"



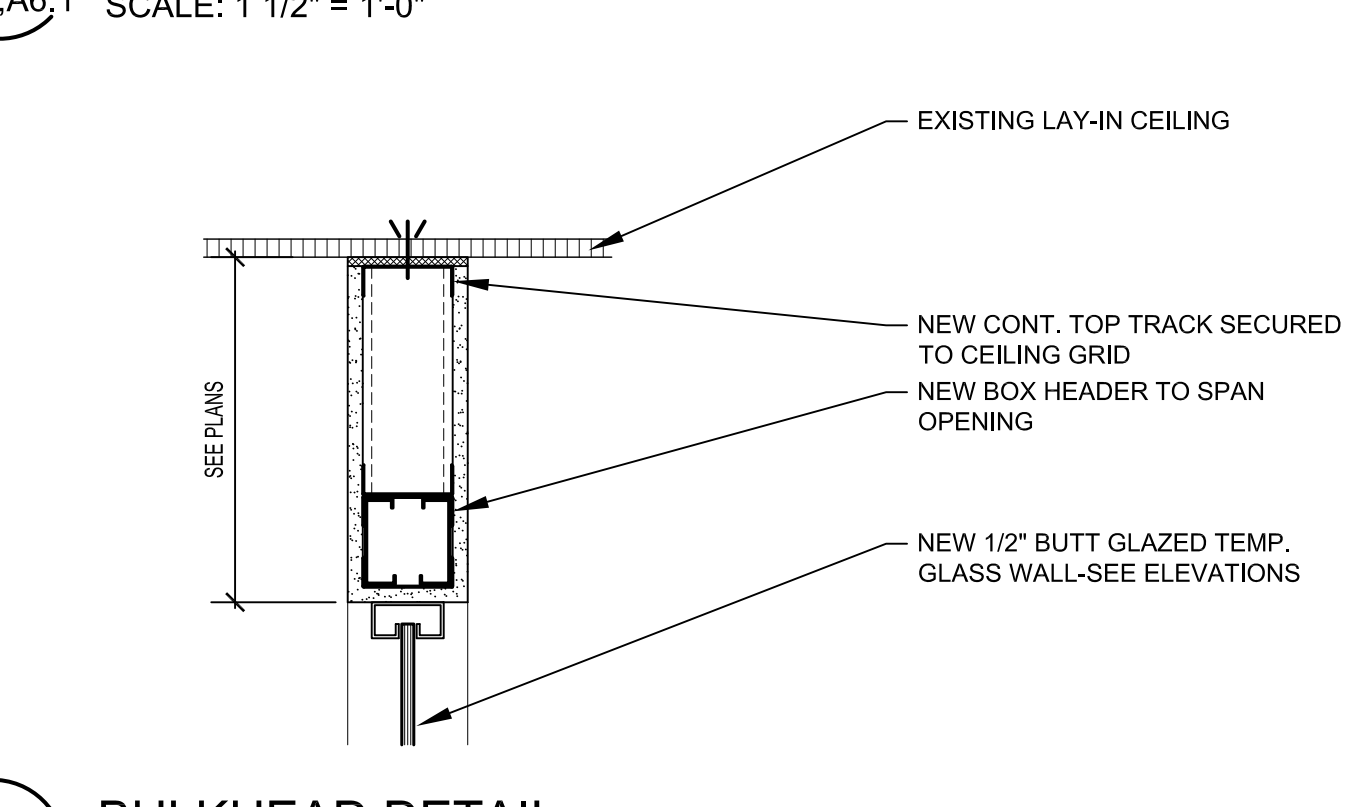
14 VIOLET ENTRY ELEVATION
A6.0.A6.1 SCALE: 1/4" = 1'-0"



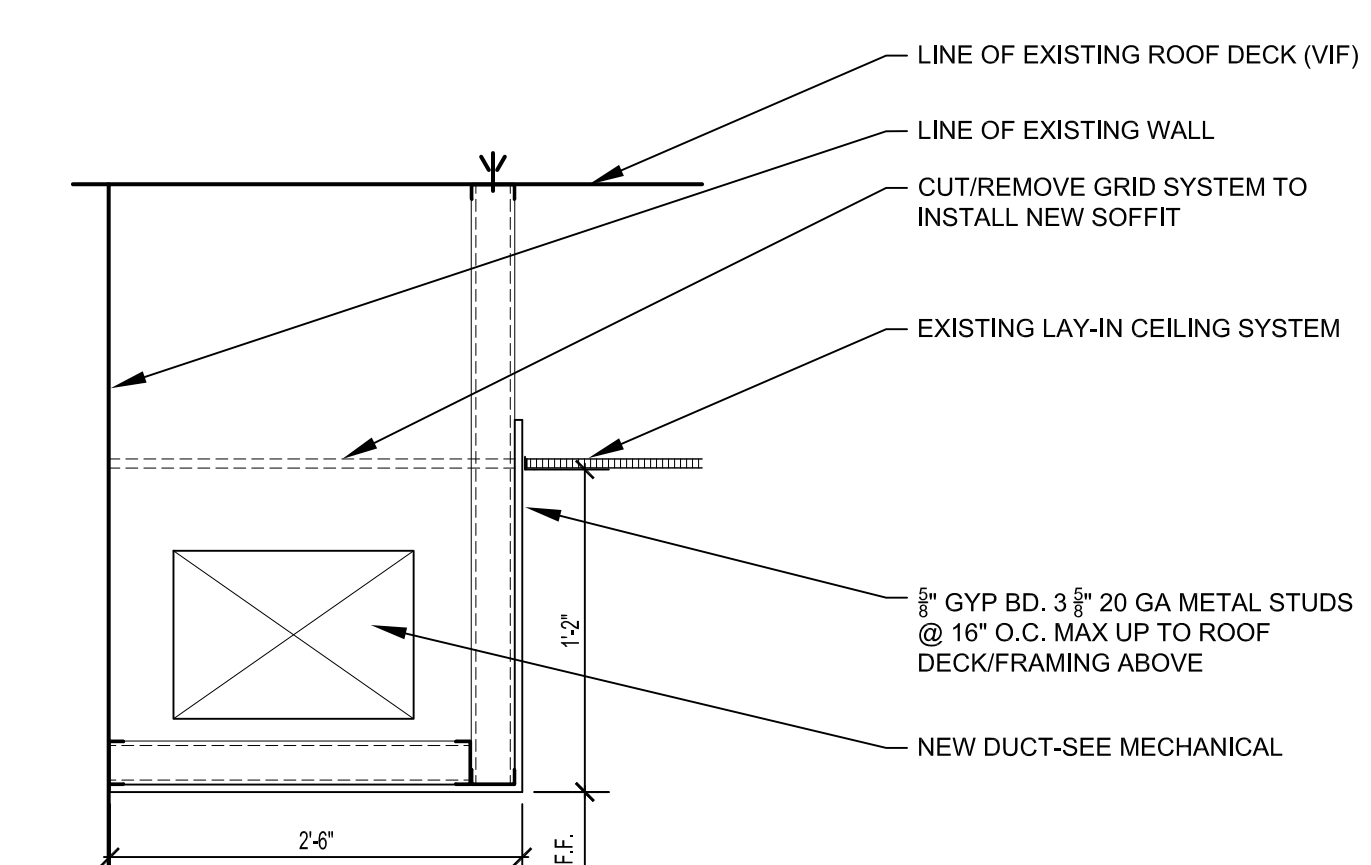
15 VIOLET ENTRY PLAN DETAIL
A6.0.A6.1 SCALE: 1/4" = 1'-0"



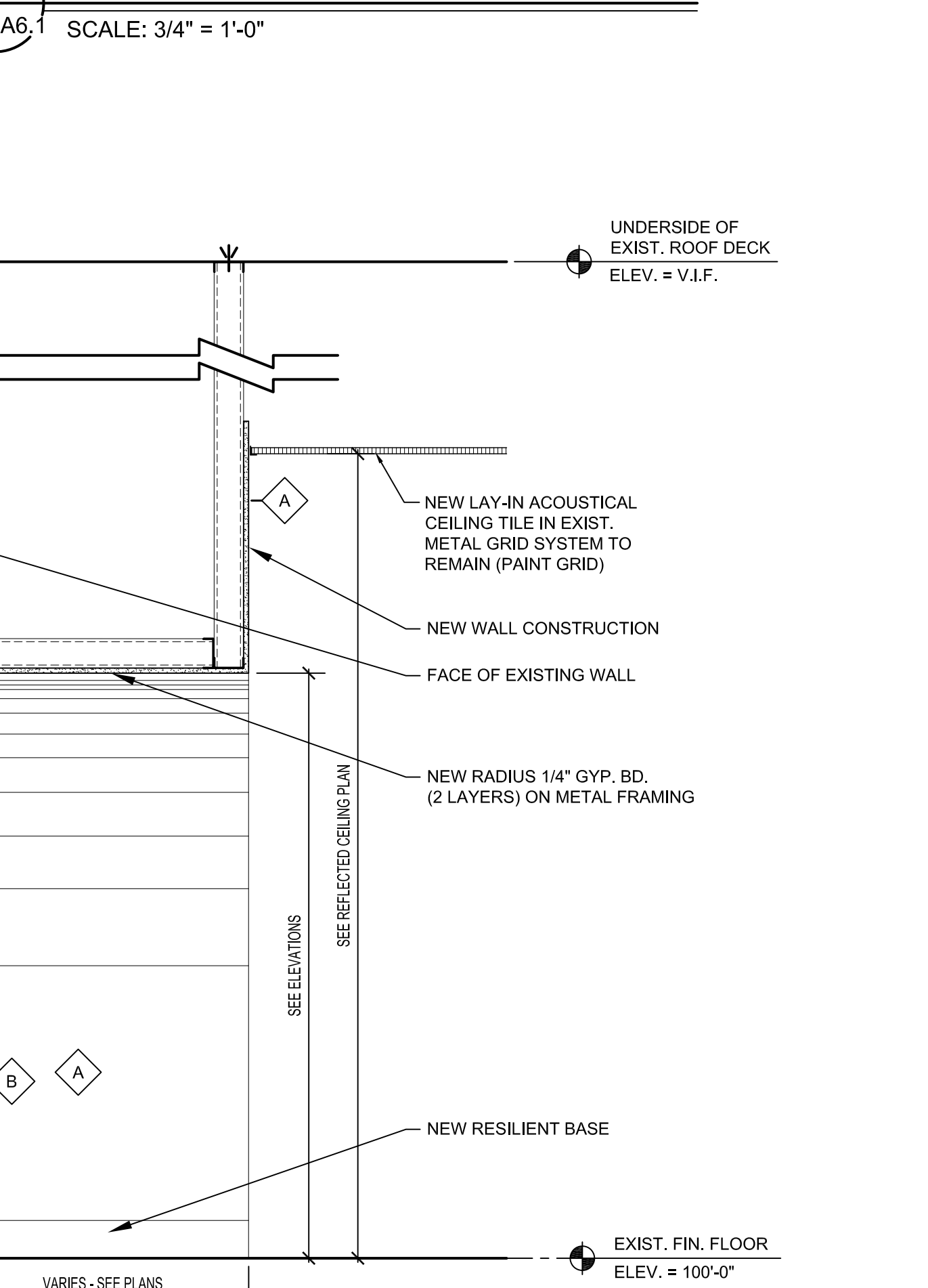
16 TYPICAL EXISTING SOFFIT DETAIL
A6.0.A6.1 SCALE: 1 1/2" = 1'-0"



17 BULKHEAD DETAIL
A6.0.A6.1 SCALE: 1 1/2" = 1'-0"



18 RODGERS NEW SOFFIT DETAIL
A6.0.A6.1 SCALE: 3/4" = 1'-0"



19 WALL SECTION @ READING NOOK
A6.0.A6.1 SCALE: 3/4" = 1'-0"

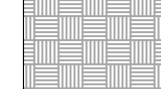

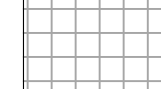


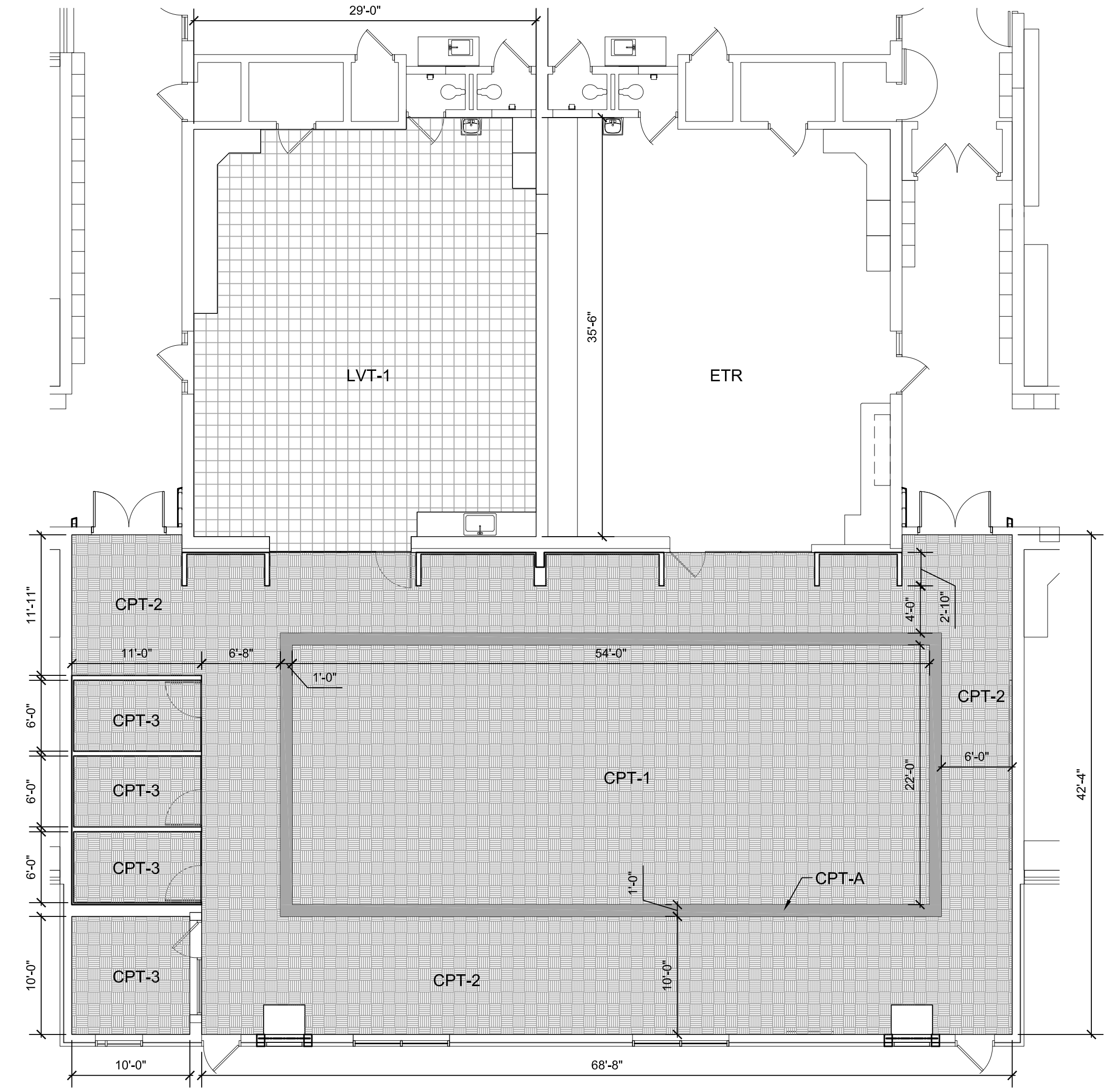
20 BULKHEAD DETAIL
A6.0.A6.1 SCALE: 1 1/2" = 1'-0"



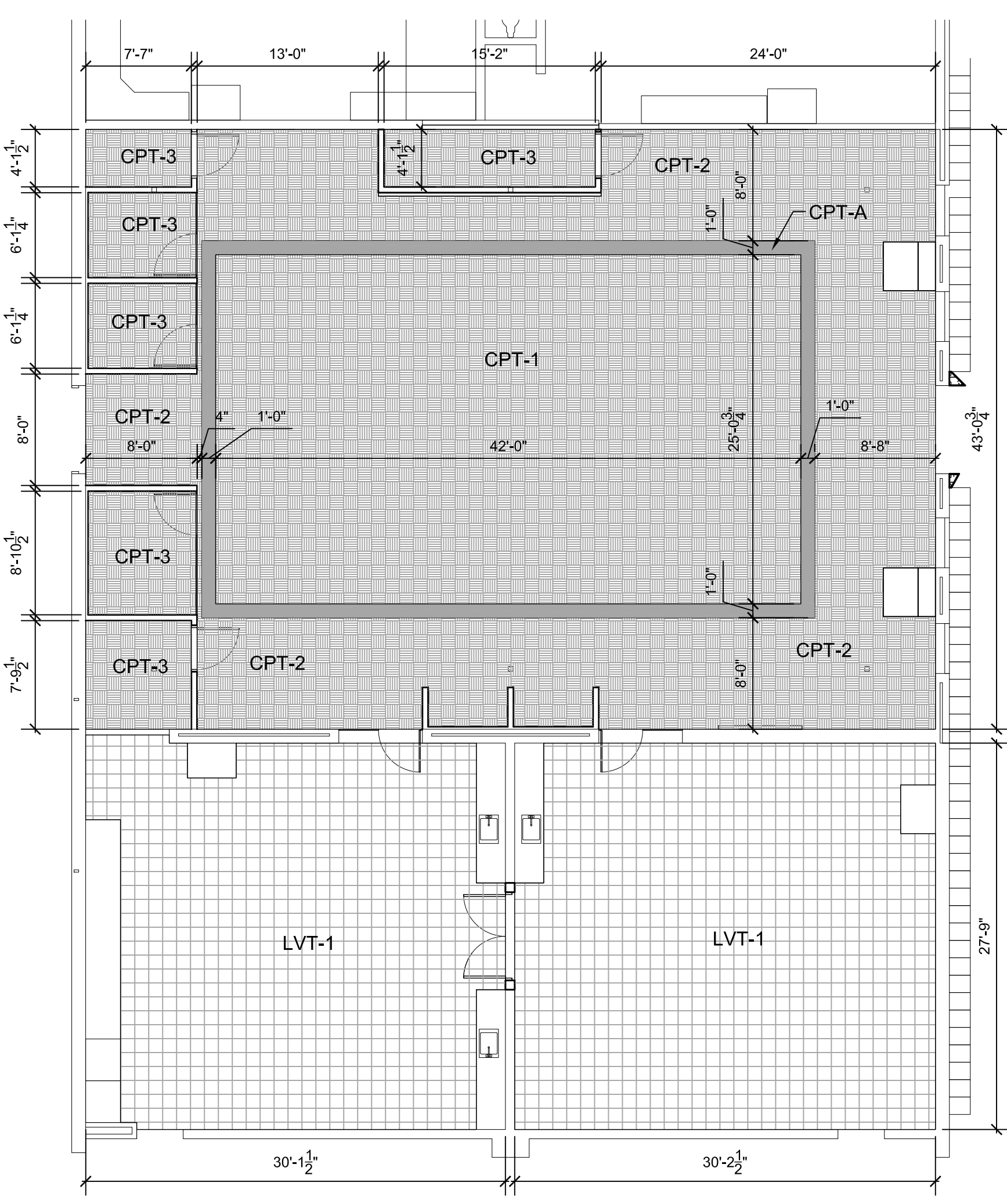
21 PLAN DETAIL
A1.1R SCALE: 3/4" = 1'-0"

FLOORING LEGEND

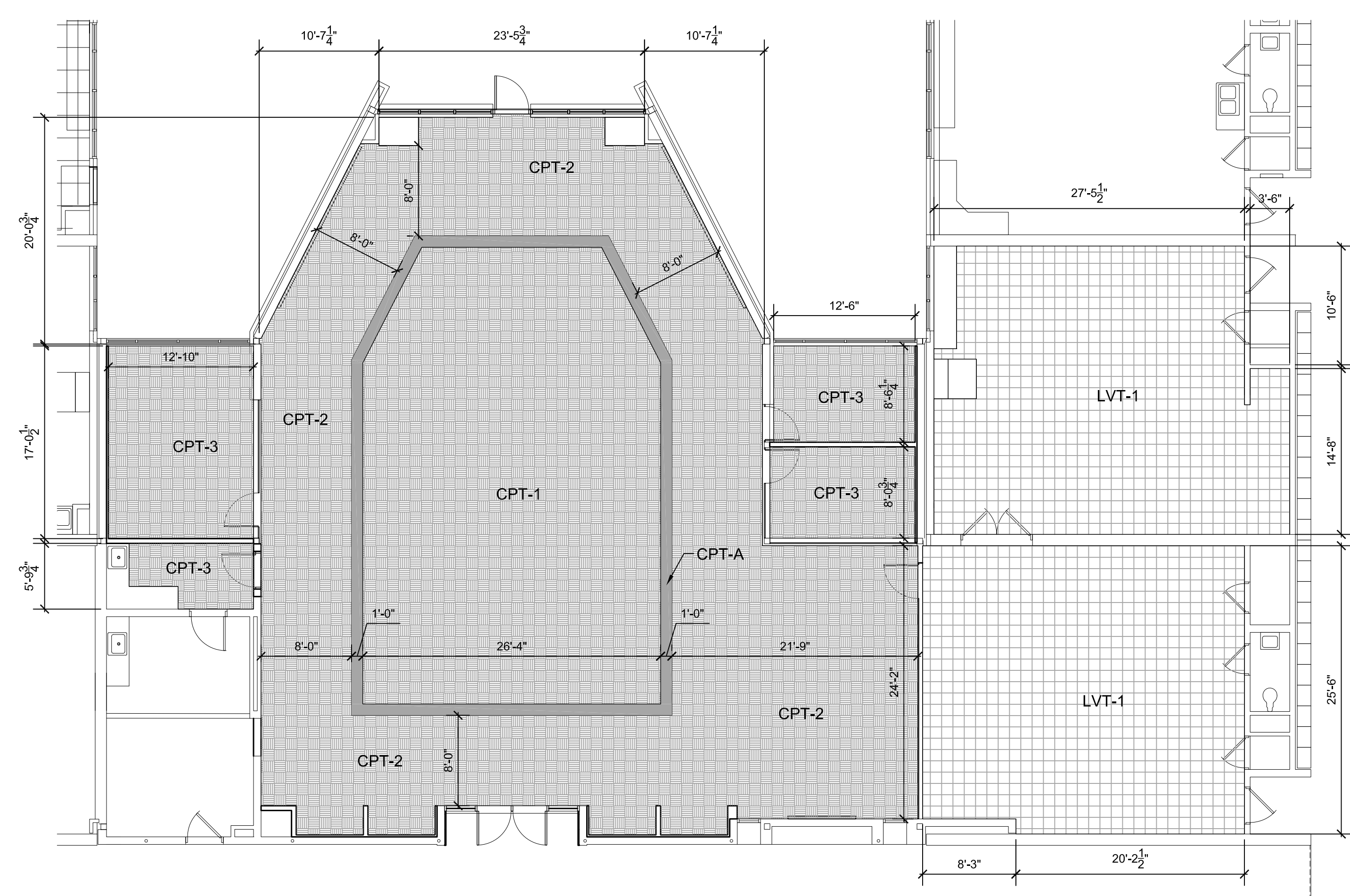
-  FIELD CARPET (CPT-1,2,3)
-  CARPET ACCENT COLOR BAND (CPT-A)
-  NEW LVT FLOOR (ALTERNATE A-1: INSTALL NEW EPOXY INSTEAD OF LVT FLOOR)



2 MASONIC HEIGHTS ELEMENTARY
AX.X SCALE: 1/8" = 1'-0"



3 VIOLET ELEMENTARY
AX.X SCALE: 1/8" = 1'-0"



1 RODGERS ELEMENTARY
AX.X SCALE: 1/8" = 1'-0"