# AIA<sup>®</sup> Document G710<sup>®</sup> – 2017

#### Architect's Supplemental Instructions

<b>PROJECT:</b> (name and address) Highland Township Fire Stations 1 PIA 18-122A	<b>CONTRACT INFORMATION:</b> Contract For: General Construction	ASI INFORMATION: ASI Number: 001	
	Date:	Date: June 22, 2020	
<b>OWNER:</b> (name and address) Highland Township 250 W. Livingston Road	ARCHITECT: (name and address) PARTNERS in Architecture, PLC 65 Market Street	<b>CONTRACTOR:</b> (name and address) Axiom Construction Services Group, LLC 7789 E. M-36	
Highland, MI 48357	Mount Clemens, MI 48043	Whitmore Lake, MI 48189	

The Contractor shall carry out the Work in accordance with the following supplemental instructions without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time. (Insert a detailed description of the Architect's supplemental instructions and, if applicable, attach or reference specific exhibits.)

Refer to Exhibit 'A' for description of work.

1. Clariy paint selections

2. Specify location of exhaust louver vent

3. Revise kitchen island material finish

#### **ISSUED BY THE ARCHITECT:**

ARCHITECT

SIGNATURE

Joseph Valeri, Sr. Project Architect
PRINTED NAME AND TITLE

6/22/2020 DATE

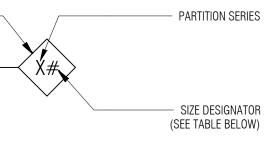
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### **GENERAL NOTES:**

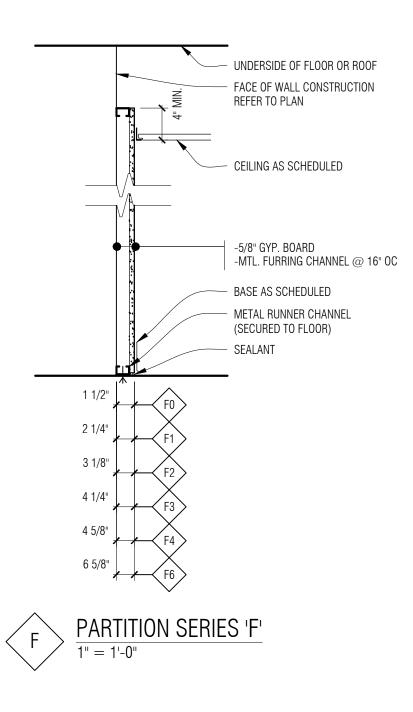
FLOORS AND ROOFS

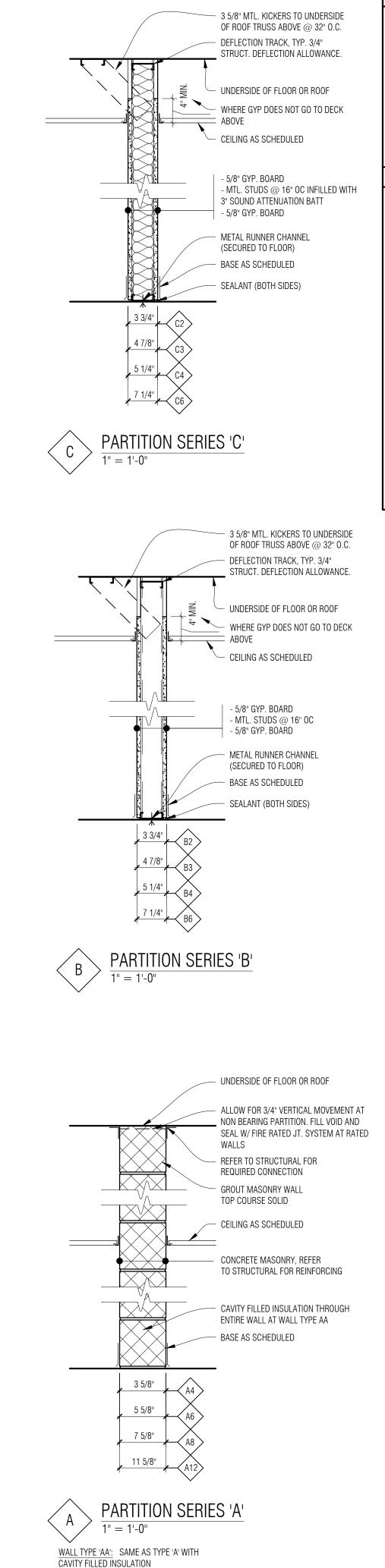
- "WALL" AND "PARTITION" ARE USED TO DENOTE EITHER WALLS OR PARTITIONS AND ARE USED INTERCHANGEABLY
- REFER TO STRUCTURAL FOR ALL REQUIRED REINFORCING AND FOR WALL CONNECTIONS TO
- AT FIRE RATED WALLS FILL ALL VOIDS, PENETRATIONS ETC. AND SEAL REFER TO DRAWING A0-02 LIFE SAFETY PLANS & CODE INFORMATION FOR ALL PARTITION FIRE RATINGS
- WHERE A WALL RUNS PARALLEL TO THE DIRECTION OF A ROOF TRUSS AND DOES NOT ALIGN UNDERNEATH A TRUSS - PROVIDE MTL. STUD BRIDGING BETWEEN THE ROOF TRUSSES @ 48" 0.C. MAX. TO ATTACH TO
- REFER TO ROOM FINISH SCHEDULE FOR WALL FINISHES AND WAL BASE 5.
- PARTITION TYPE GRAPHIC TAG

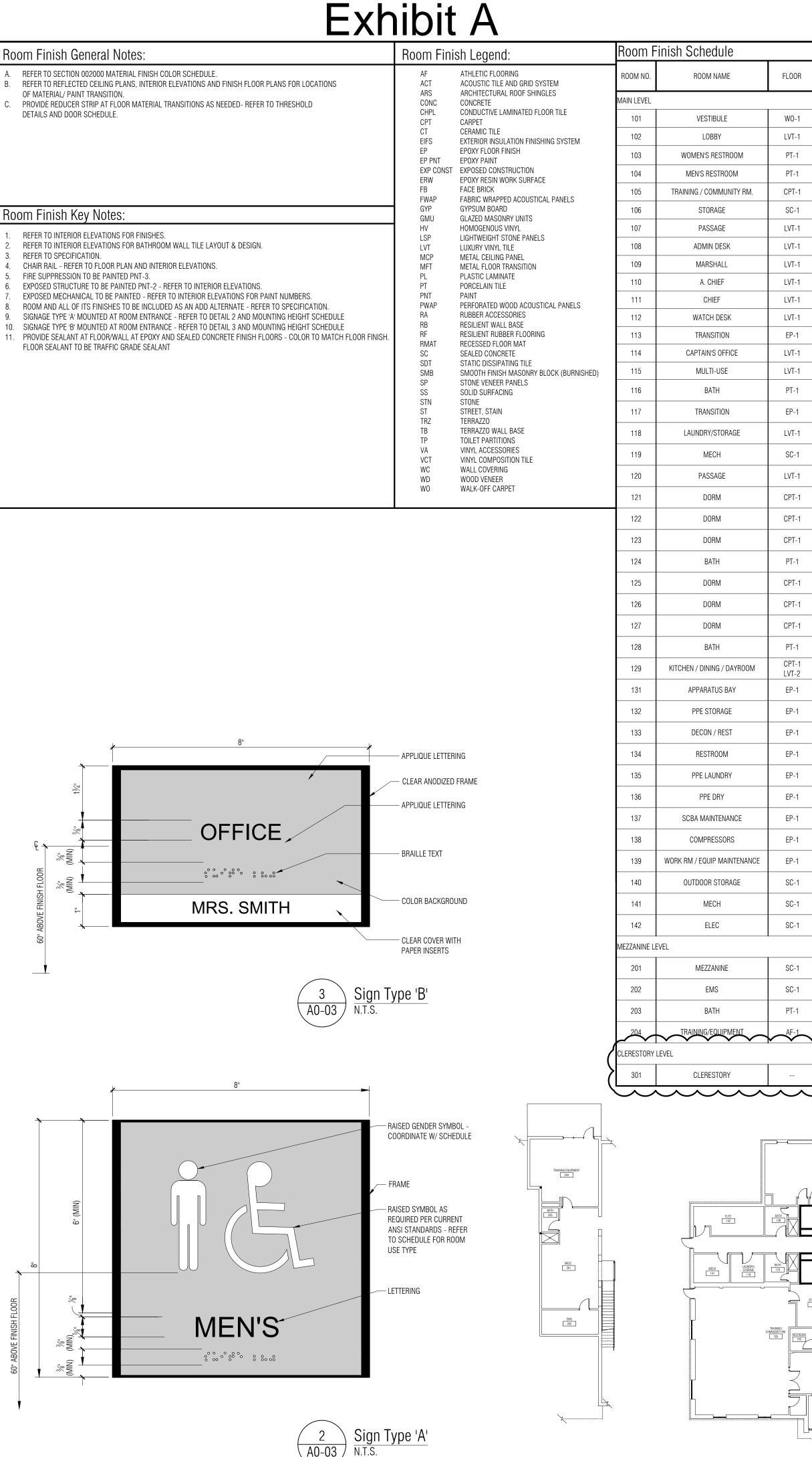


MATERIAL	DESIGNATION SIZE	ACTUAL SIZE	SPACING
MASONRY	4 6 8 12	3 5/8" 5 5/8" 7 5/8" 11 5/8"	N/A
STEEL STUDS	1 2 3 4 6	1 5/8" 2 1/2" 3 5/8" 4" 6"	16" OC
FURRING	0 1 2 3	7/8" 1 5/8" 2 1/2" 3 5/8"	16" OC
SHAFTWALL C-H STUDS	2 4 6	2 1/2" 4" 6"	24" OC

- SUBSTITUTE TILE BACKING BOARD AT LOCATIONS TO RECEIVE A TILE WALL FINISH 7.
- ALL NON-LOAD BEARING METAL WALL FRAMING SHALL BE BASED ON TOTAL STUD HEIGHT
- AT INTERSECTIONS OF DIS-SIMILAR PARTITION TYPES, THE HIGHEST RATED PARTITION IS TO RUN THROUGH THE INTERSECTION TO MAINTAIN ENCLOSURE
- FIRE-RATED PARTITIONS SHALL BE CONSTRUCTED ACCORDING TO THE FIRE TEST INDICATED. 10. NO SUBSTITUTIONS OF MATERIALS OR DEVIATIONS FROM CONSTRUCTION ARE ALLOWED. ADDITIONAL LAYERS MAY BE REQUIRED FOR ACOUSTICAL OR OTHER REASONS AND MUST BE EXECUTED AS SHOWN
- STC RATINGS ARE MINIMUM ACOUSTICAL PERFORMANCE REQUIREMENT. SPECIFIC 11. ACOUSTICAL TESTS ARE GIVEN FOR REFERENCE ONLY. SOUND ATTENUATION BLANKET THICKNESS SHALL BE AS FOLLOWS:
  - A. 1 1/2" FOR PARTITIONS WITH 1 5/8" AND 2 1/2" STUDS (INCLUDING SHAFTWALLS) 3" FOR PARTITIONS WITH 3 5/8", 4" OR 6" STUDS UON
  - 3" FOR SHAFTWALLS WITH 4" OR 6" STUDS UON AS REQUIRED FOR FIRE RATING
- AT ALL FIRE RATED WALL CONSTRUCTION, PROVIDE SIGNAGE ABOVE THE ADJACENT 12. ACCESSIBLE CEILING THAT STATES: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS. THE LETTERS ARE TO BE 3" HIGH MIN. AND ARE TO BE STENCILED IN PAINT DIRECTLY ONTO THE WALL. LOCATE THE SIGNS 30'-0" O.C. MAXIMUM. AND NO MORE THAN 15'-0" FROM THE END OF EACH WALL. [703.7]
- 13. ALL TYPES MAY NOT BE USED. REFER TO DRAWINGS.







	BASE	NORTH	WA EAST	lls South	WEST	CEILING FINISH	ROOM FINISH KEY NOTES
	RB-1	PNT-1 WC-3 PNT-1, PL-1	PNT-1 WC-3 PNT-1	PNT-1 WC-3 PNT-1	PNT-1 WC-3 PNT-1	GYP. PNT-2	
	RB-1 PT-2	WC-3 & WC-4 PNT -1	WC-3 PNT -1	WC-3 PNT -1	WC-3 PNT -1	ACT-1 & ACT-2 GYP. PNT-2	1 2, 9
	PT-2	PT-2 & PT-3 PNT -1 PT-2 & PT-3	PT-2 & PT-3 PNT -1	PT-2 & PT-3 PNT -1	PT-2 & PT-3 PNT -1	GYP. PNT-2	2, 9
	RB-1	PT-2 & PT-3 PNT-1 WC-1 & WC-5	PT-2 & PT-3 PNT-6	PT-2 & PT-3 PNT-6	PT-2 & PT-3 PNT-6	EXP CONST / PNT-2 GYP. PNT-2	1
	NO BASE	PNT-1	PNT-1	PNT-1	PNT-1	GYP. PNT-2	11
	RB-1	PNT-1 WC-4	PNT-1	PNT-1	PNT-1	ACT-1	1, 4
	RB-1 RB-1	PNT-1 PNT-1	PNT-1 PNT-1	PNT-1 PNT-1	PNT-1 PNT-1	ACT-2 ACT-1	10
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	10
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	10
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	1
	RB-1	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	GYP. PNT-2	11
	RB-1 RB-1	PNT-1 PNT-1	PNT-1 PNT-1	PNT-1 PNT-1	PNT-1 PNT-1	ACT-1 ACT-1	1
	PT-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	GYP. PNT-2	2
	RB-1	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	GYP. PNT-2	11
	RB-1	PNT-1	PNT-1	EP PNT-1	PNT-1	ACT-1	
	NO BASE	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	EXP. CONST / PNT-2	11
	RB-1	EP PNT-1	EP PNT-1	PNT-1	EP PNT-1	ACT-1	
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
	PT-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	GYP. PNT-2	2
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	
	PT-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	GYP. PNT-2	2
	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	1, 3
	NO BASE	EP PNT-1 PNT-2	EP PNT-1 PNT-2	EP PNT-1 PNT-2	EP PNT-1 PNT-2	EXP CONST / PNT-2	1, 3, 5, 6, 7, 11
	NO BASE	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	EXP CONST / PNT-2	5, 6, 7, 11
	NO BASE	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	GYP. PNT-2	5, 6, 7, 11
	PT-2	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	GYP. PNT-2	11
	NO BASE	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	GYP. PNT-2	5, 6, 7, 11
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	NO BASE	EP PNT-1	EP PNT-1	EP PNT-1	EP PNT-1	GYP. PNT-2	5, 6, 7, 11
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	NO BASE	PNT-1	PNT-1	EP PNT-1	PNT-1	ACT-1	11
	NO BASE	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	11
	NO BASE	PNT-1	EP PNT-1	PNT-1	PNT-1	GYP. PNT-2	5, 6, 7, 11
	NO BASE	PNT-1	EP PNT-1	PNT-1	PNT-1	GYP. PNT-2	5, 6, 7, 11
	PT-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	PNT -1 & WP-2	GYP. PNT-2	2, 3, 8
	RB-1	PNI-1	PNT-1	PNI-1	PNI-1	GYP PNT-2	5, 6, 7
		PNT-2 & PNT-3	PNT-2 & PNT-3	PNT-2 & PNT-3	PNT-2 & PNT-3	GYP. PNT-2	1, 7
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## PARTNERS



PARTNERS in Architecture, PLC 65 MARKET STREET MOUNT CLEMENS, MI 48043 P 586.469.3600

Statement of Intellectual Property

F 586.469.3607

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CONSULTANT

KEY PLAN

#### OWNFR

**Highland Township** Fire Department

PROJECT NAME

Highland Township Fire Station No. 1

1600 W. Highland Rd. Highland, MI 48357

PROJECT NO.

### 18-122A

**ISSUES / REVISIONS** Bidding – Construction Addendum #1 Construction Set ASI #1

03/27/20 04/20/20 05/04/20 06/22/20

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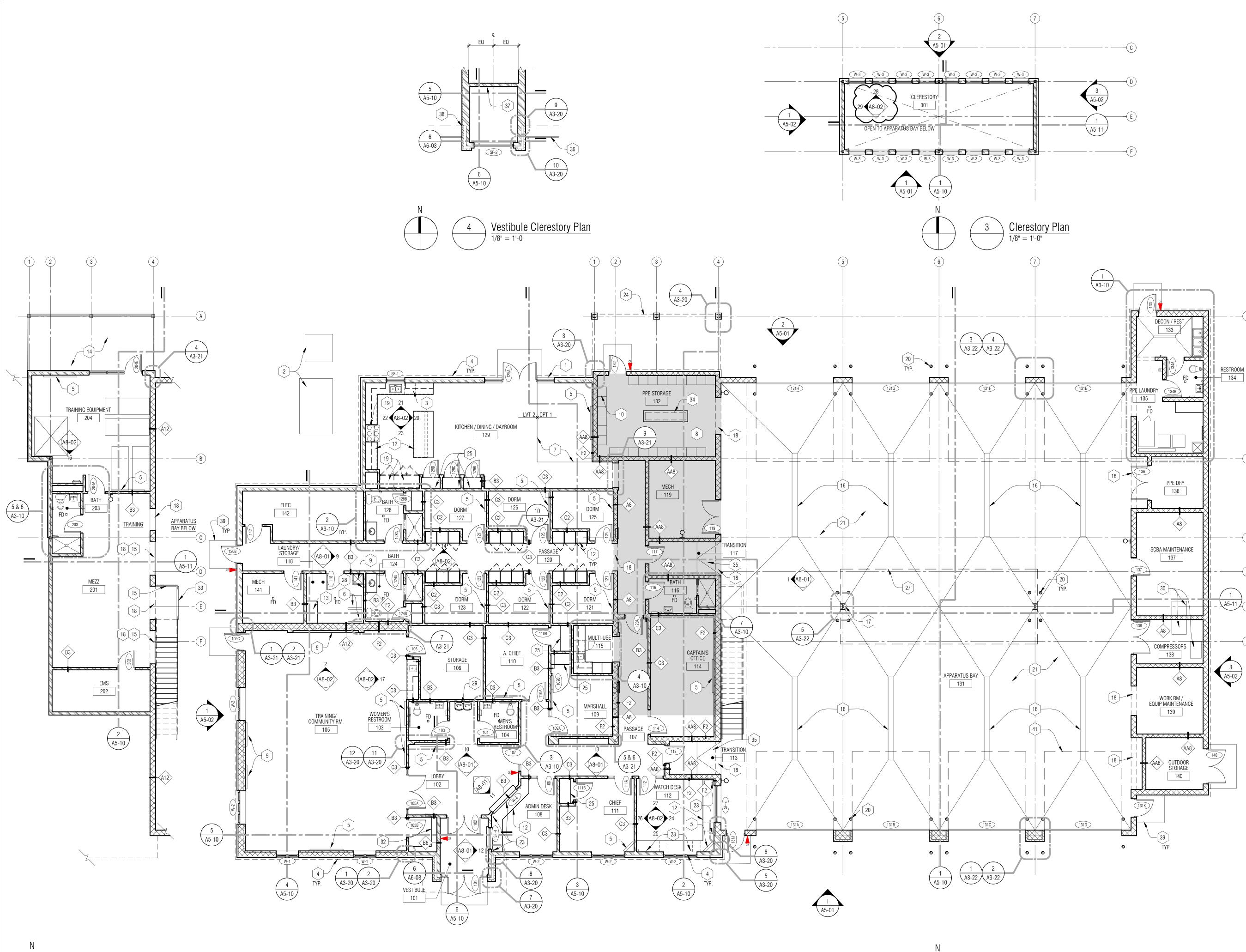
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APPROVED BY

DG SHEET NAME

**ROOM FINISH** SCHEDULE & WALL TYPES

SHEET NO. A0-03





Main Level Floor Plan 1/8" = 1'-0"

#### FLOOR PLAN GENERAL NOTES:

- A. ALL DIMENSIONS ARE TO FINISH FACE OF WALL WALL THICKNESS IS SHOWN AS NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- B. COORDINATE SIZE AND LOCATION OF ALL DUCT, SHAFT AND LOUVER OPENINGS IN WALLS AND FLOORS WITH MECHANICAL AND ELECTRICAL. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS.
- C. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- D. AT ALL LOCATIONS WHERE GYPSUM BOARD WALL INTERSECTS PERPENDICULAR TO MASONRY BLOCK WALL CORNER, THE GYPSUM BOARD IS TO BE SET BACK 1" FORM BULLNOSE OF BLOCK.
- E. AT FLOOR DRAIN LOCATIONS, SLOPE SLAB (-1") TO DRAIN LOCATION.

#### FLOOR PLAN KEY NOTES:

- 1 SOLID SURFACE TRANSITION AT SHOWER REFER TO DETAIL T7 ON A0-14
- 2 THICKENED CONCRETE EQUIPMENT PAD, COORDINATE SIZE & LOCATOIN WITH MECH & ELEC EQUIPMENT
- 3 UNDER COUNTER DISHWASHER PROVIDED BY OWNER
- 4 DASHED LINE OF STONE SKIRTING AND SILL BELOW
- 5 TV BY OWNER REFER TO ELEC
- 6 WASHER/DRYER PROVIDED BY OWNER REFER TO MECH.
- 7 LINE OF FLOOR MATERIAL CHANGE NO TRANSITION STRIP BETWEEN MATERIALS - REFER TO DETAIL T4 ON A0-14
- 8 HATCHED AREA OF MEZZANINE ABOVE
- (A) (9) PLUMBING FIXTURE REFER TO PLUMBING
  - [ 10 ] WALL MOUNTED PPE STORAGE REFER TO SPECIFICATIONS
  - 11 REGENCY 18 GAUGE STAINLESS STEEL WORK TABLE ITEM
  - NUMBER: 600T2460G WITH NO UNDERSHELF
  - 12 MILLWORK/CASEWORK REFER TO INTERIOR ELEVATIONS
  - 13 42" HIGH COUNTERTOP WITH BRACKETS
  - 14 BASE BID: NO DECK ALTERNATE #3: PRESSURE TREATED WOOD FLOOR DECK ON WOOD FLOOR CONSTRUCTION - REFER TO WALL SECTIONS AND STRUCTURAL.
  - [15] MEZZANINE GUARD RAIL TERMINATION, MOUNTING, AND STAIR GUARD / HAND RAIL MUST MAINTAIN LESS THAN 4" GAP AT STEEL VERTICAL POSTS
- B 16 PRE-FABRICATED TRENCH DRAIN PROVIDE 2" CHASE WITH JOINT SEALANT AROUND PERIMETER REFER TO STRUCTURAL AND PLUMBING.
  - 17 STAND PIPE REFER TO PLUMBING
  - 18 MASONRY OPENING REFER TO DIMENSION PLAN AND ELEVATIONS FOR OPENING SIZE
  - 19 APPLIANCE PROVIDED & INSTALLED BY OWNER
  - 20 6" Ø x 4'-0" HIGH CONCRETE FILLED GALVANIZED STEEL PIPE BOLLARD
  - 21 SLOPED EPOXY FLOORING
  - 22 PORCELAIN TILE SHOWER WITH SHOWER PAN FLASHING AND FLOOR DRAIN. COORDINATE DEPRESSION IN CONCRETE FLOOR SLAB AS REQUIRED FOR FLUSH FLOOR FINISH.
  - [23] GROMMET IN COUNTERTOP
  - 24 ] ALTERNATE: LINE OF DECK ABOVE
  - 25 ADJUSTABLE SHELVING
  - 26 EYE WASH STATION
  - 27 LINE OF CLERESTORY ABOVE REFER TO DETAIL 3/A3-01
  - 28 MOP RACK
  - 29 ELECTRICAL WATER COOLER REFER TO MECH. & ELEC
  - 30 COMPRESSORS TO BE RE LOCATED FROM STATION 1 REFER TO
  - 31 EXTRACTOR PROVIDED BY OWNER REFER TO MECH. & ELEC FOR PROVIDED CONNECTIONS.
  - 32 CLOSET WITH COAT RACK & SHELF
  - 33 DELEGATED DESIGN STAIR SYSTEM WITH 5' CLEAR REMOVABLE RAILING AT LANDING
  - 34 PPE CHARGING STATION REFER TO SECTION DETAIL 7/A6-11
  - 35 TRANSITION RAMPED FLOOR 1/2" PER 1'-0" SLOPE
  - 36 LINE OF ROOF EDGE BELOW
  - 37 SIGNAGE BY OWNER, CENTER WITH DOOR BELOW
  - 38 TRANSITION FROM FULL BET DEPTH STONE TO A 2" VENEER AT EXTERIOR LINE OF BUILDING BELOW
  - 39 LINE OF ENTRANCE SLAB REFER TO STRUCTURAL
  - 40 WALL MOUNTED HOSE BIB REFER TO PLUMBING
  - 41 LINE OF OVERHEAD DOOR IN OPEN POSITION REFER TO DOOR SCHEDULE





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CONSULTANT

KEY PLAN

OWNER

### Highland Township Fire Department

PROJECT NAME

Highland Township Fire Station No. 1

1600 W. Highland Rd. Highland, MI 48357

PROJECT NO.

18-122A

**ISSUES / REVISIONS** Bidding - Construction 03/27/20 Addendum #1 Construction Set ASI #1

04/20/20 05/04/20 06/22/20

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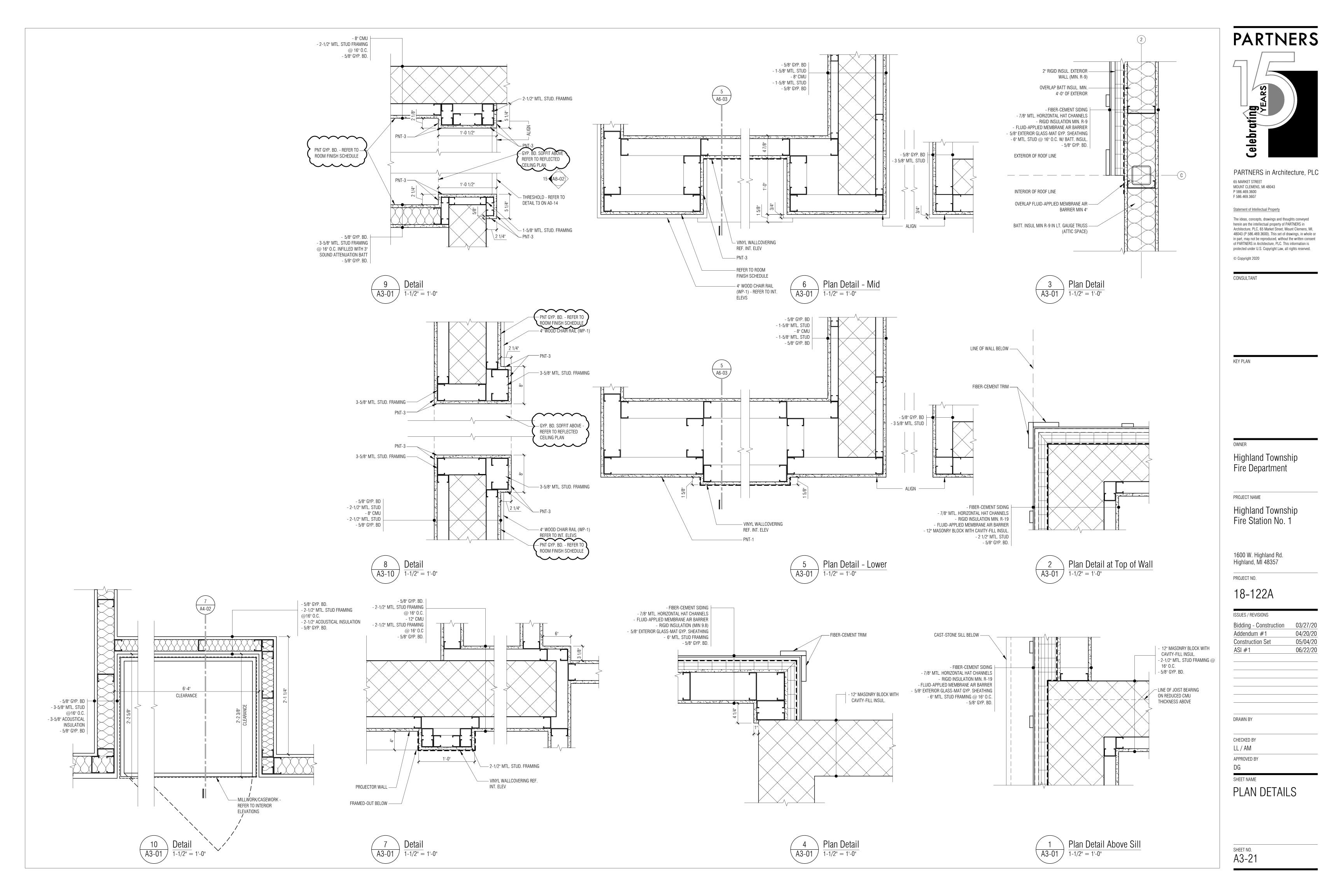
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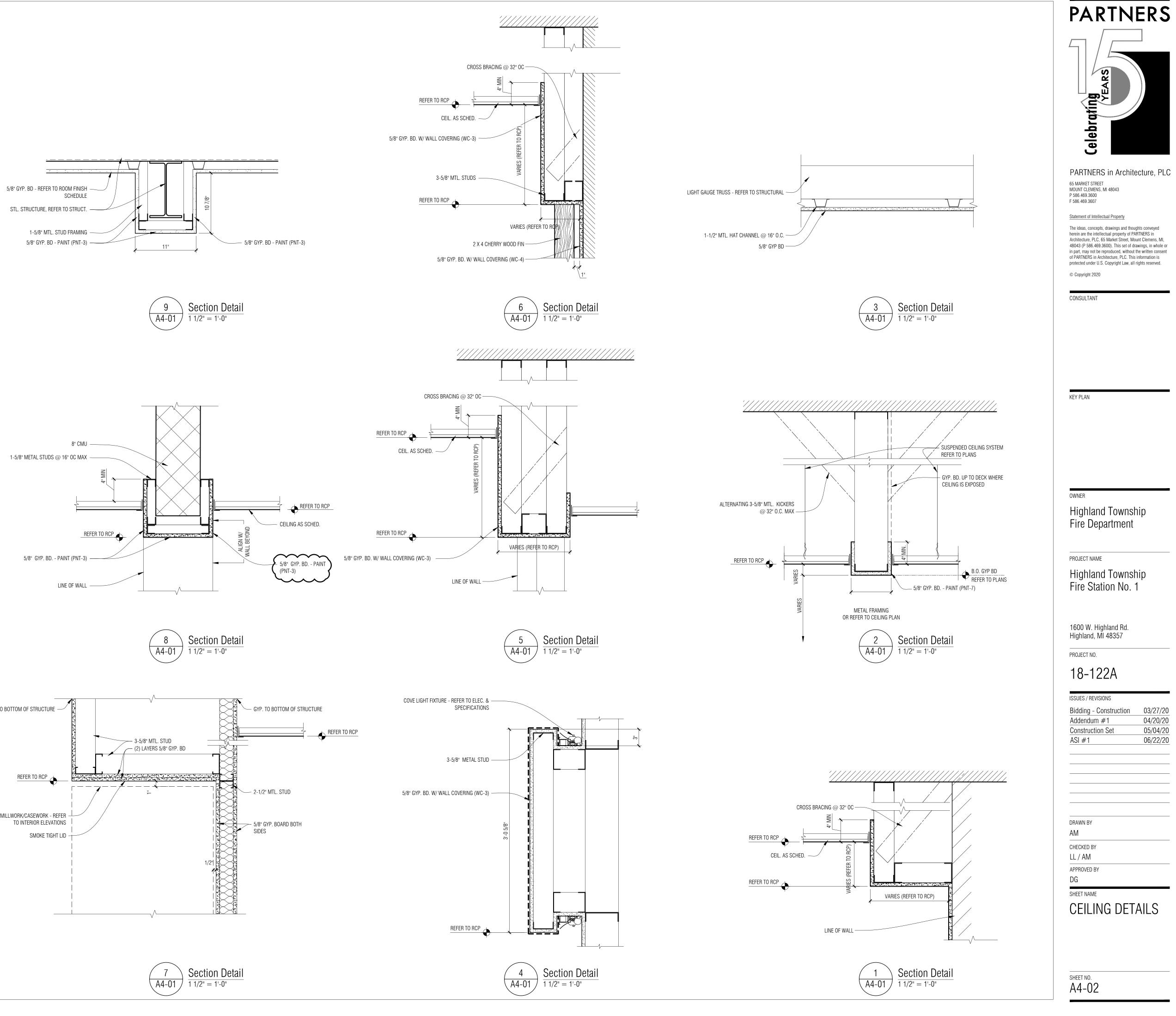
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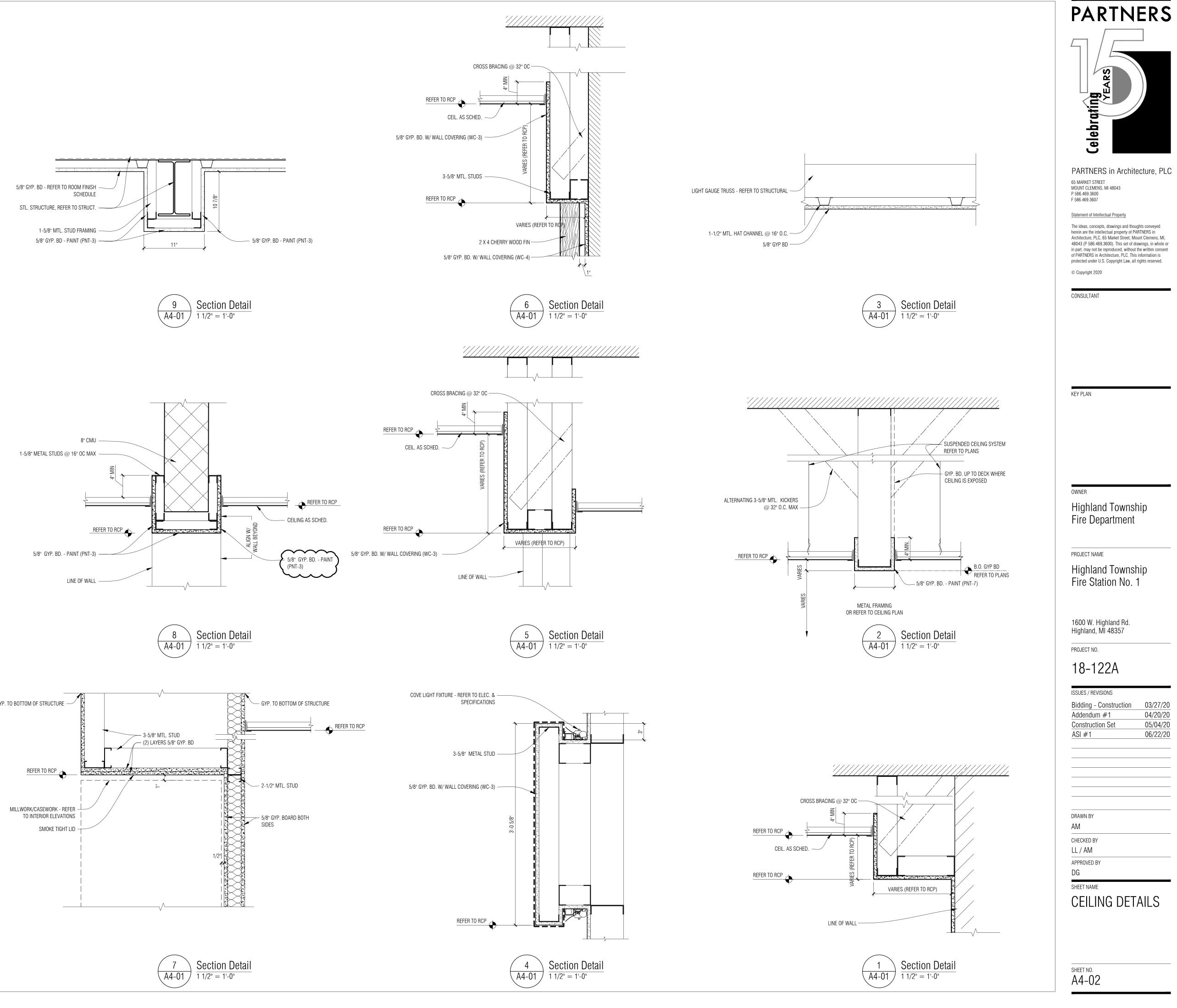
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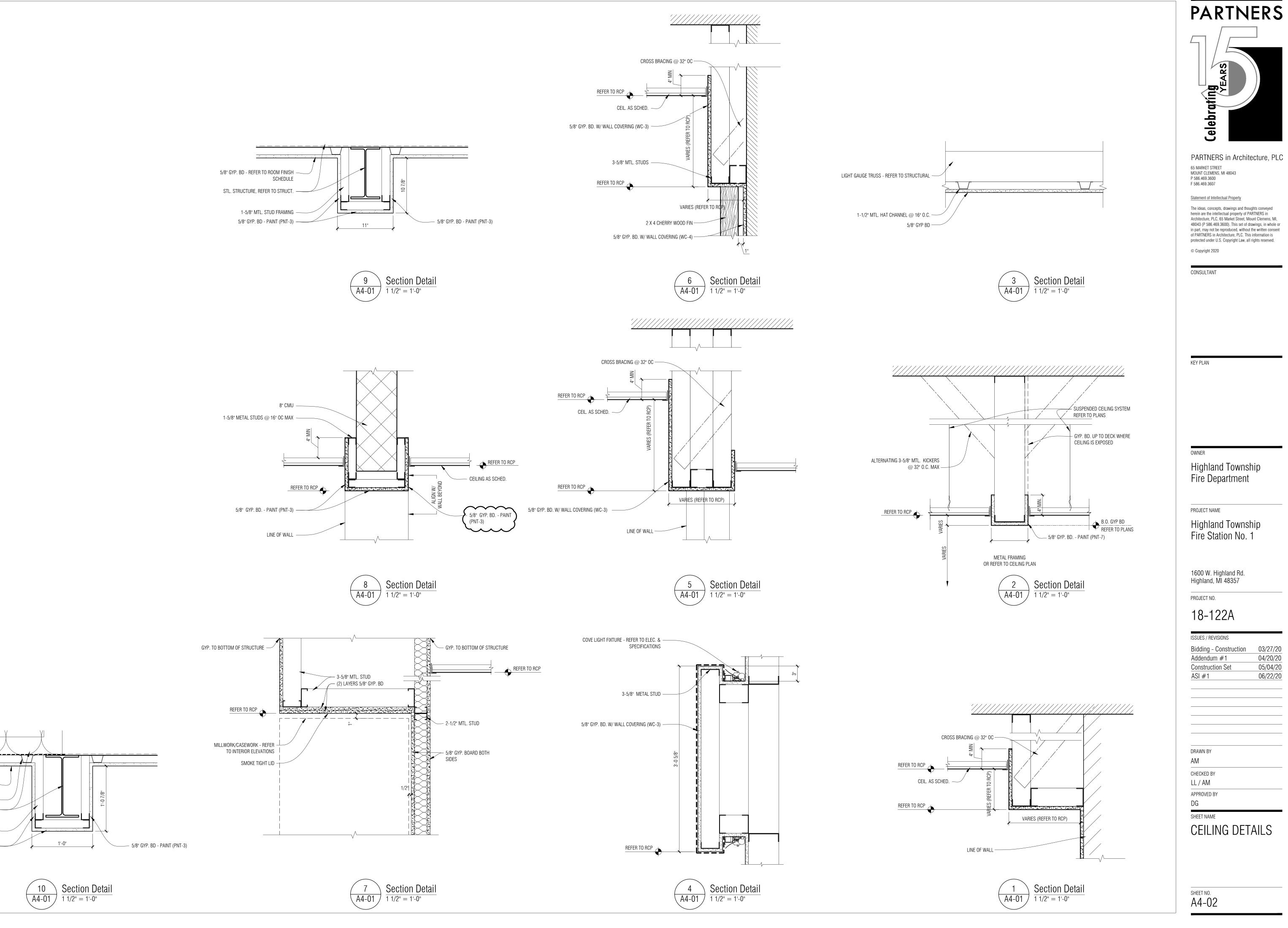
MAIN LEVEL FLOOR PLAN

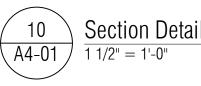
- MECH. & ELEC OWNER TO RELOCATE











5/8" GYP. BD - REFER TO ROOM FINISH

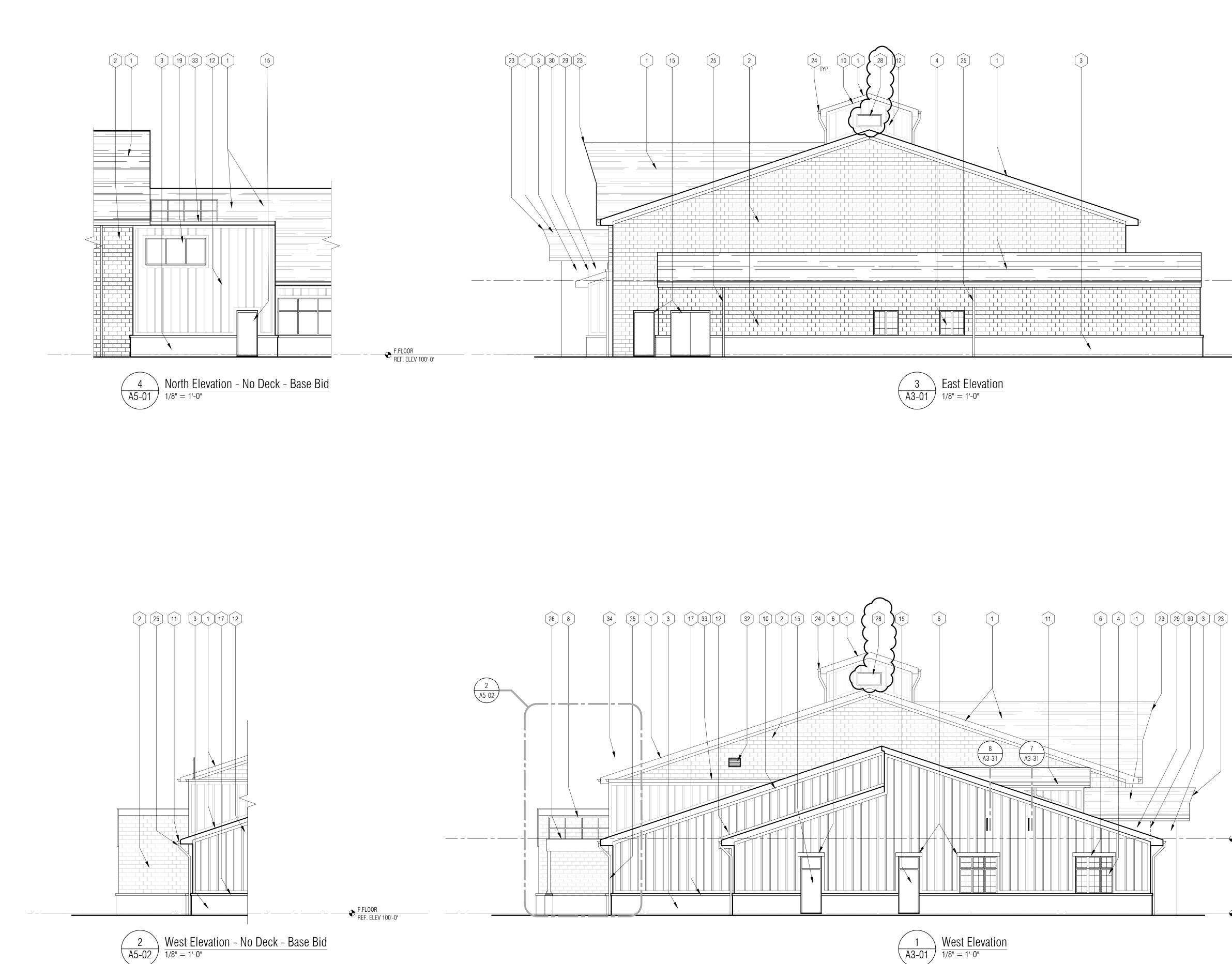
1-1/2" MTL. STUD FRAMING -

1-5/8" MTL. STUD FRAMING

5/8" GYP. BD - PAINT (PNT-3)

ST. STRUCTURE, REFER TO STRUCT. -

SCHEDULE





#### EXTERIOR ELEVATIONS GENERAL NOTES:

A. REFER TO MATERIAL FINISH / COLOR SCHEDULE (SPEC SECTION 000200) FOR ALL MATERIAL NOTES.

#### EXTERIOR ELEVATIONS KEY NOTES:

1	ASPHALT ROOF SHINGLES (ARS-1)
$\langle \rangle$	

- 2 GROUND FACE MASONRY UNIT W/ CAVITIES FILLED W/ INSULATION (GFMU-1)
- 3 FULL BED DEPTH NATURAL STONE (STN-1)
- 4 ALUMINUM CLAD FIXED WOOD WINDOW REFER TO SHEET A0-04.
- 5 CEDAR TIMBER TRUSS REFER TO DETAIL 4/A5-01.
- 6 WOOD-PLASTIC COMPOSITE LUMBER (CL-1)
- 7 ] WOOD-PLASTIC COMPOSITE LUMBER (CL-2)
- 8 PIPE GUARDRAIL ON BALCONY- ALTERNATE #3
- 9 METAL SOFFIT (MS-1)
- 10 FIBER-CEMENT TRIM BOARD (SD-3) PAINT
- 11 ALUMINUM GUTTER (MRS-2) ON ALUMINUM FASCIA (MRS-1)
- 12 FIBER-CEMENT BOARD & BATTEN SIDING (SD-1 & SD-2) PAINT
- 13 FIBER-CEMENT SOFFIT (SD-4) PAINT
- [14] GOOSENECK LIGHT FIXTURE SEE ELECTRICAL
- 15 DOOR AND FRAME AS SCHEDULED REFER TO SHEET A0-04
- 16 ALUMINUM FASCIA (MRS-1)
- [17] CAST STONE SILL (CS-1)

MEZZANINE F.FLOOR REF. ELEV 112'-0"

F.FLOOR REF. ELEV 100'-0"

MEZZANINE F.FLOOR REF. ELEV 112'-0"

F.FLOOR REF. ELEV 100'-0"

- 18 MECHANICAL UNIT REFER TO MECH.
- 19 ALUMINUM STOREFRONT WINDOW AS SCHEDULED REFER TO
- SHEET A0-04
- 20 ALUMINUM STOREFRONT WINDOW W/ MULLIONS AS SCHEDULED REFER TO SHEET A0-04
- 21 <u>BASE BID:</u> INSULATED OVERHEAD DOORS REFER TO SHEET A0-04 ALTERNATE #1: FOUR-FOLD DOORS, REFER TO 012300 -ALTERNATES
- 22 6" CONCRETE FILLED BOLLARD
- 23 BIRD'S BEAK ROOF OVERHANG
- 24 6" BOX CHAMFER METAL GUTTER (MRS-2)
- [25] METAL DOWNSPOUT DRAIN TO GROUND LEVEL (MRS-2)
- 26 PRESSURE TREATED WOOD DECKING ALTERNATE #3

# 27 SCUPPER. REF 3/A3-31 28 4' x 2' MECHANICAL LOUVER HOOKED UP TO MECHANICAL -

- 29 THIN VENEER STONE (STN-2)
- 30 LINE OF TRANSITION OF FULL DEPTH TO VENEER STONE REFER TO DETAIL
- 31 BACKLIT METAL CHANNEL LETTERS REFER TO SPECIFICATIONS TO SIZING
- 32 LOUVERED VENT
- 33 REFER TO ROOF PLAN A3-30 FOR SINGLE-PLY ROOFING
- GUARD RAIL SECURED TO FLAT ROOF SYSTEM TO MEET OSHA REQUIREMENTS
- 35 LOUVER VENT ALIGN WITH BLOCK COURSING



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KEY PLAN

OWNER Highland Township Fire Department

#### PROJECT NAME

Highland Township Fire Station No. 1

1600 W. Highland Rd. Highland, MI 48357

PROJECT NO. 10 1001

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ISSUES / REVISIONS
Bidding - Construction
Addendum #1
Construction Set
ASI #1

03/27/20 04/20/20 05/04/20 06/22/20

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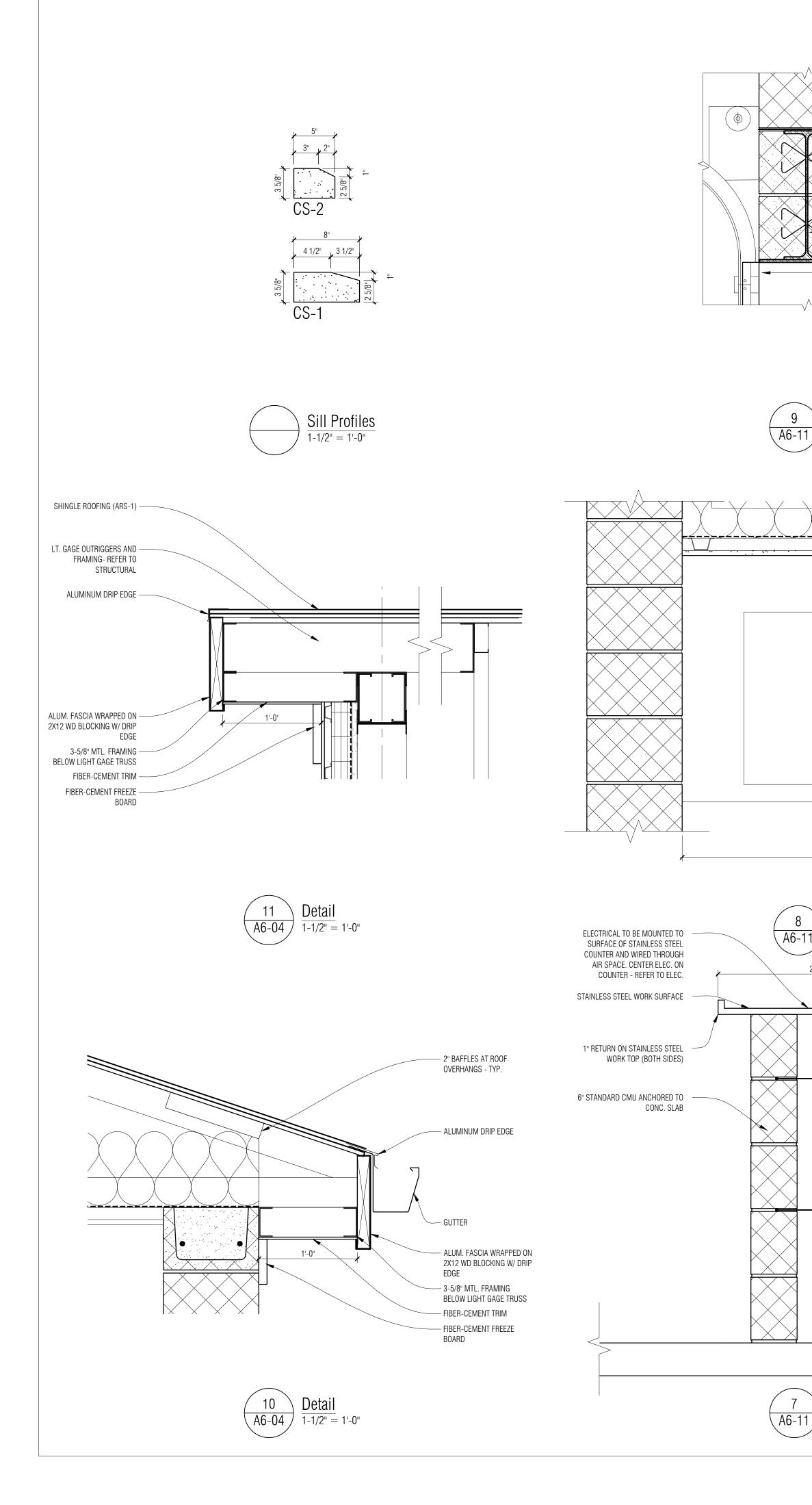
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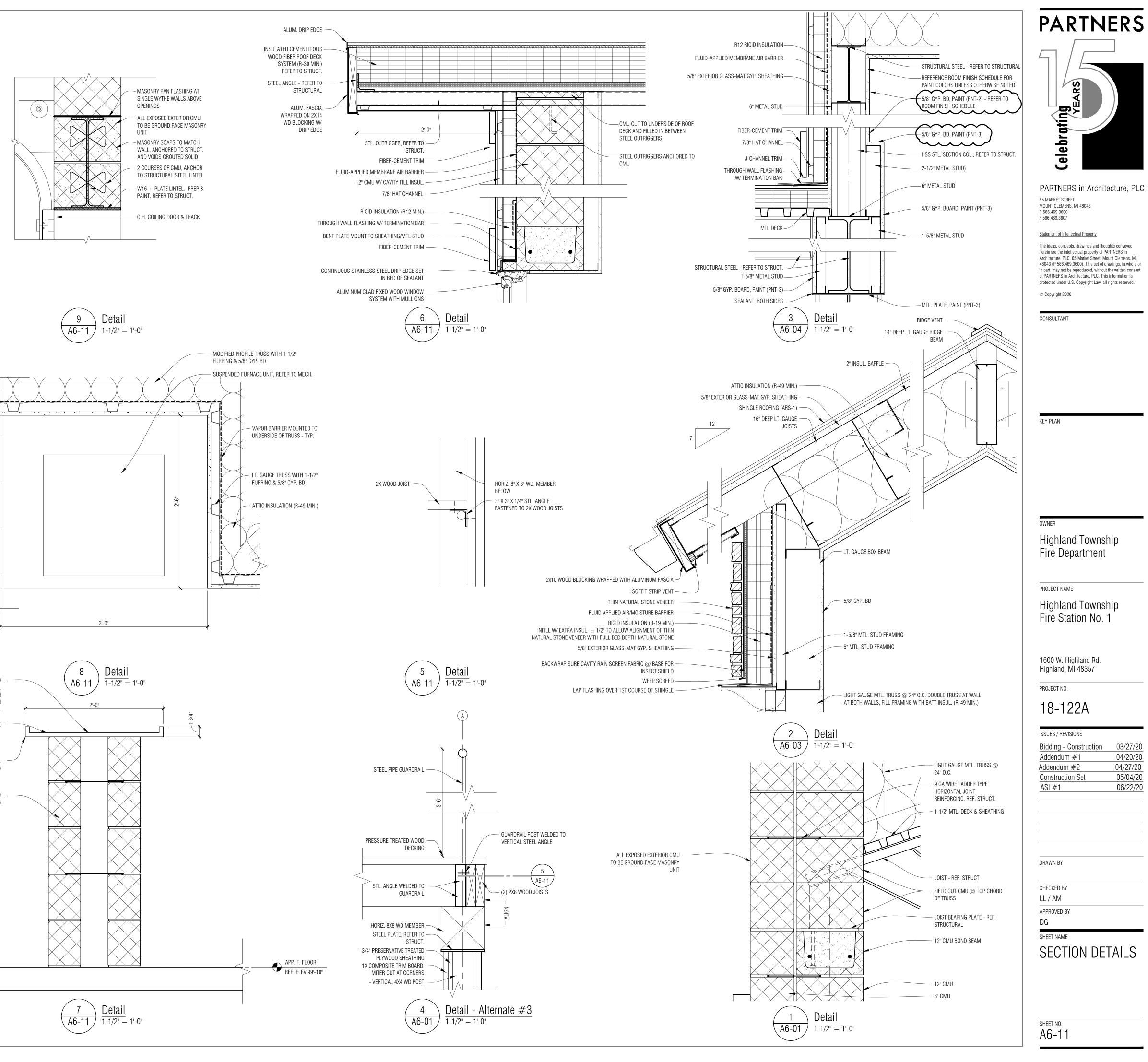
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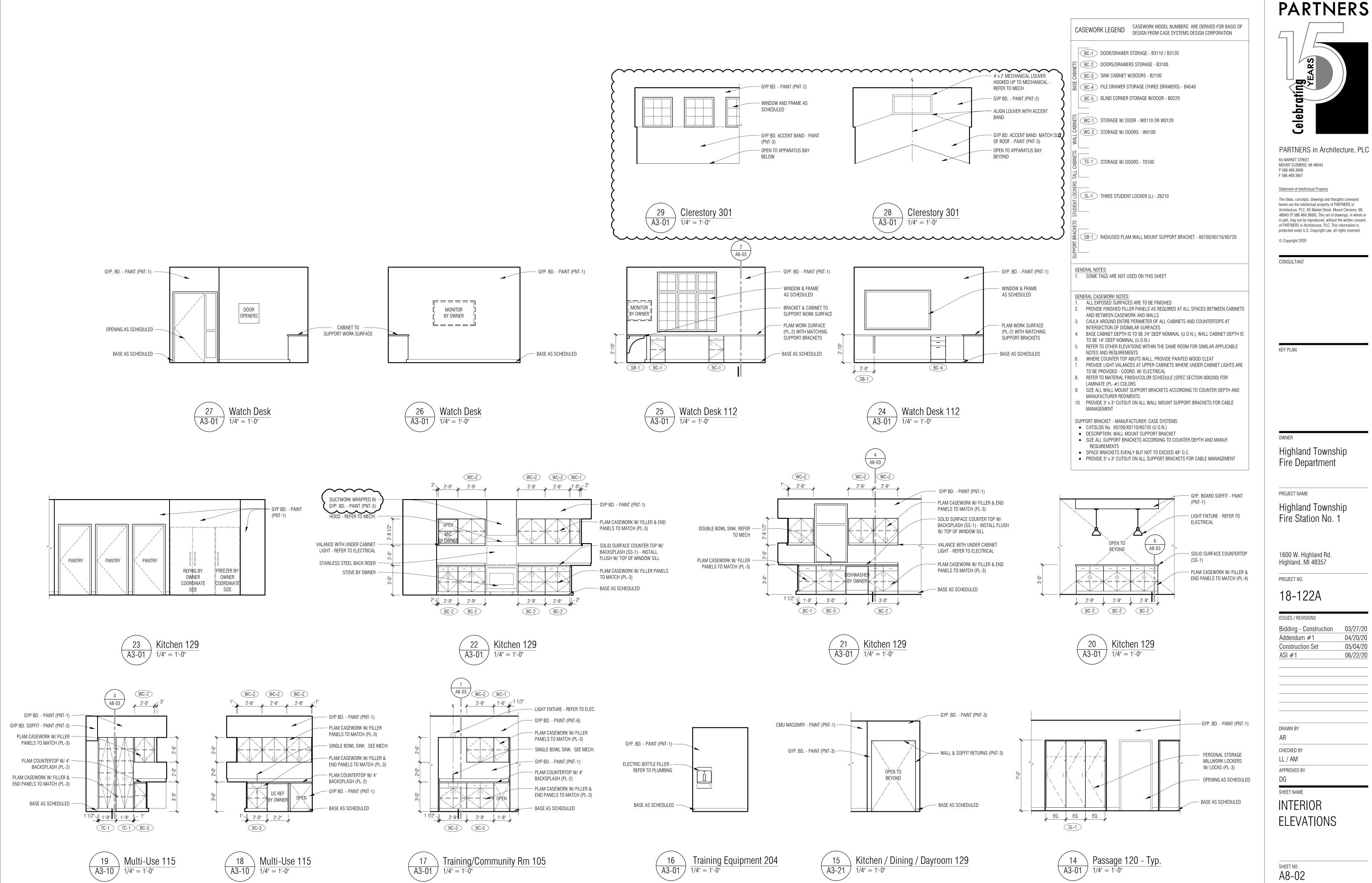
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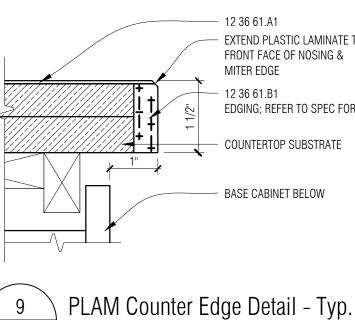
EXTERIOR ELEVATIONS

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A5-	-02









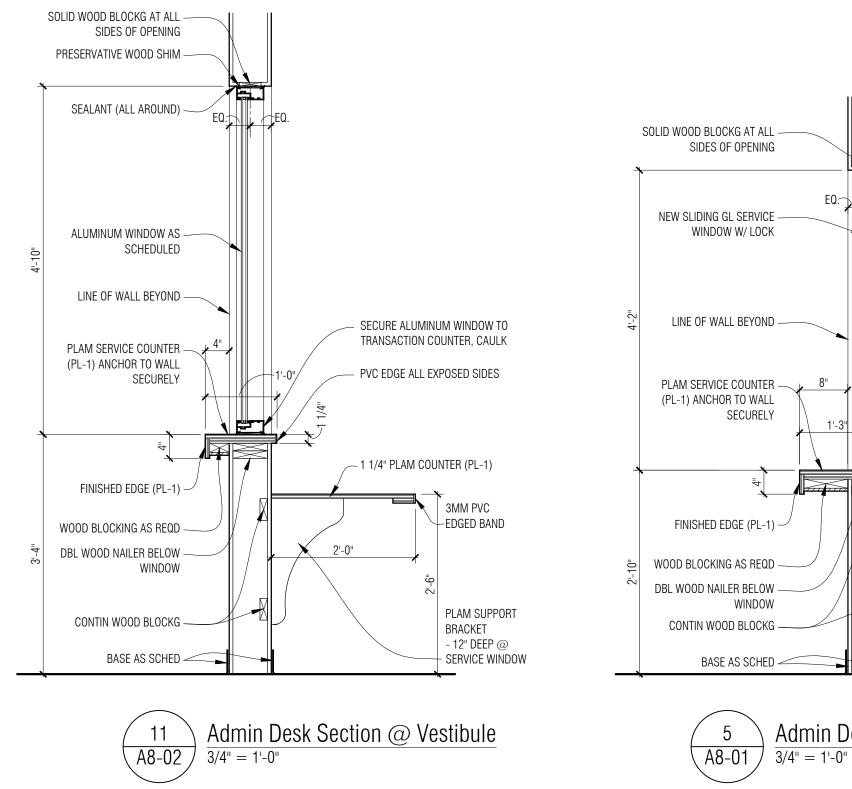
 $\overline{(A8-03)}$   $\overline{6'' = 1'-0''}$ 

- 12 36 61.A1 - EXTEND PLASTIC LAMINATE TO FRONT FACE OF NOSING & MITER EDGE - 12 36 61.B1 EDGING; REFER TO SPEC FOR TYPE

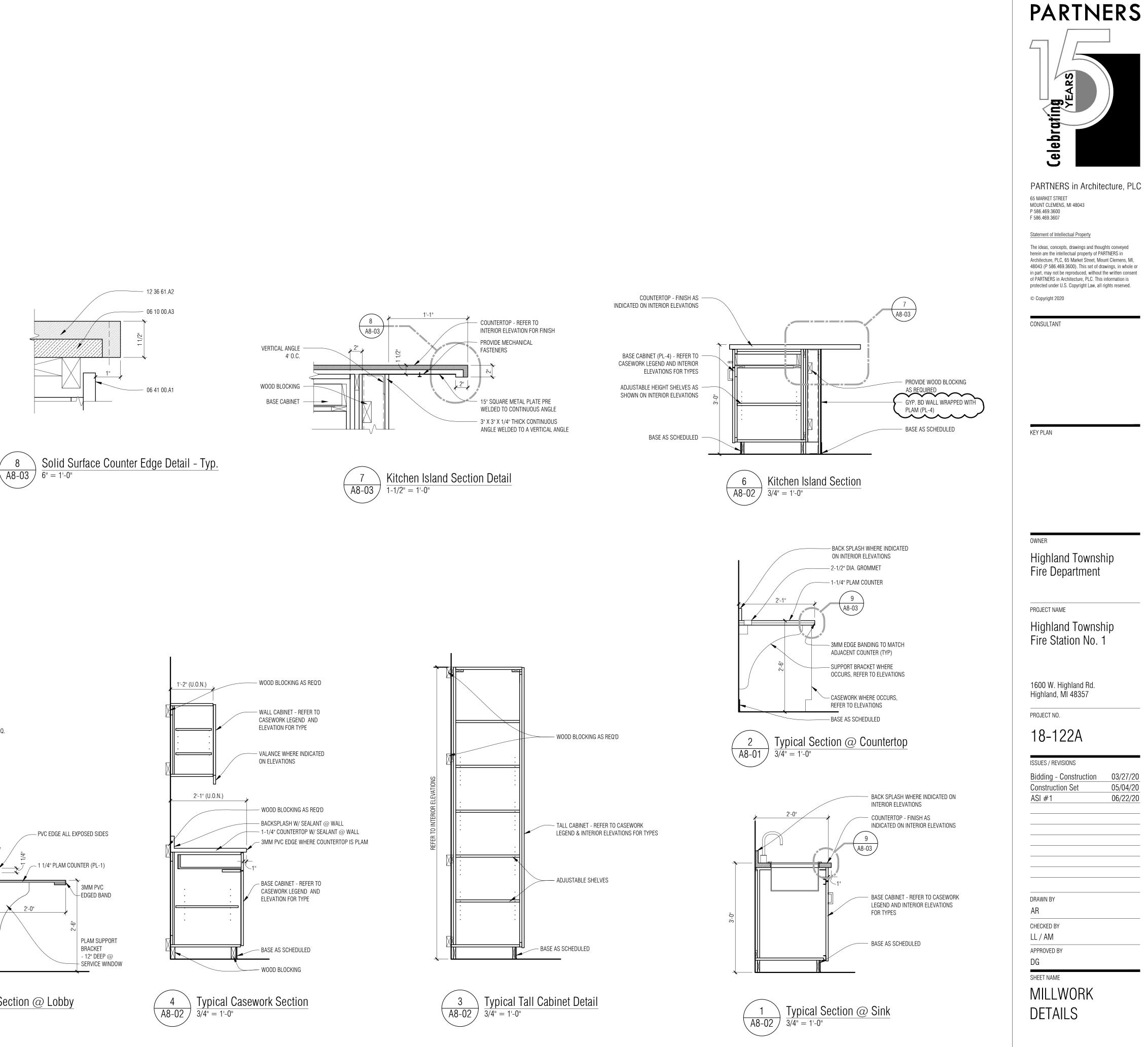
8 \

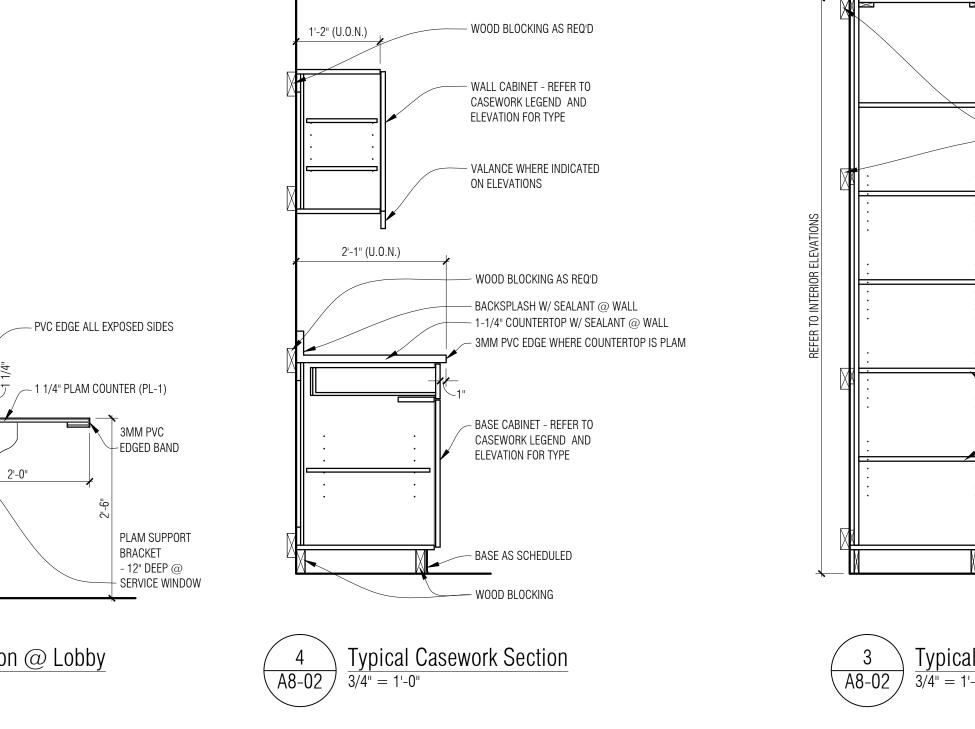
EQ.

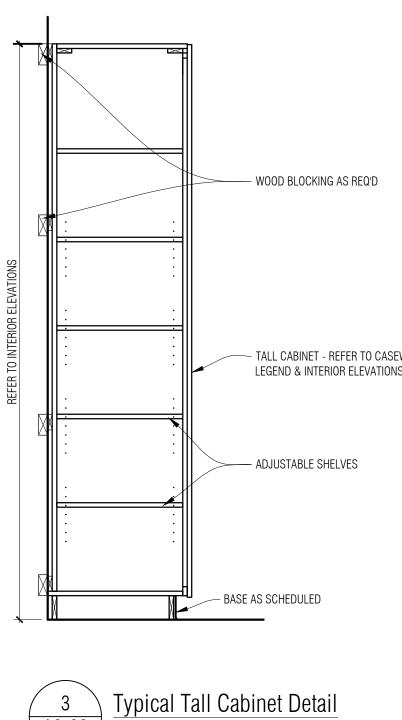
EQ



Admin Desk Section @ Lobby







SHEET NO. A8-03