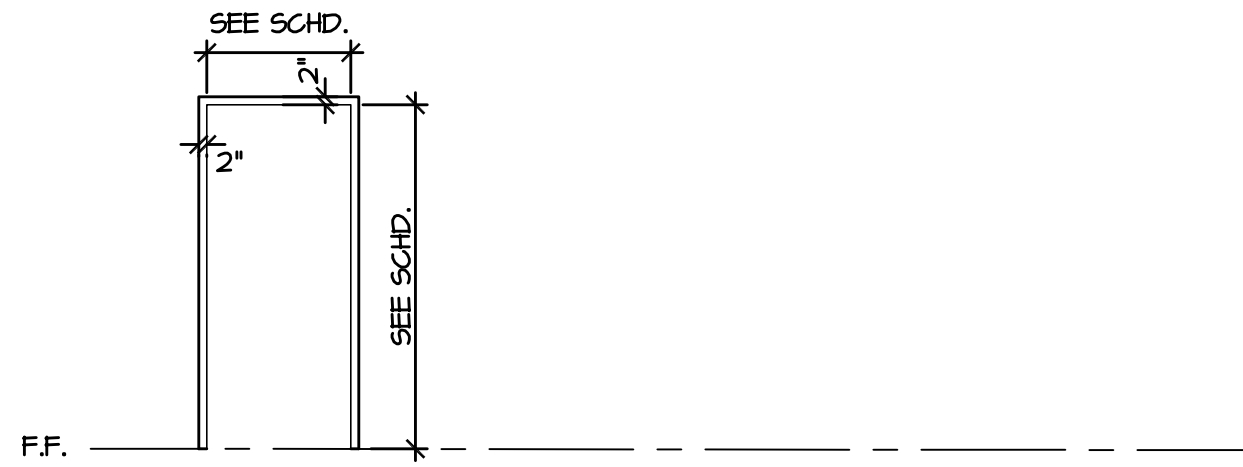


1 FIRST FLOOR PLAN - AREA 200 & 300  
SCALE: 1/16" = 1'-0"

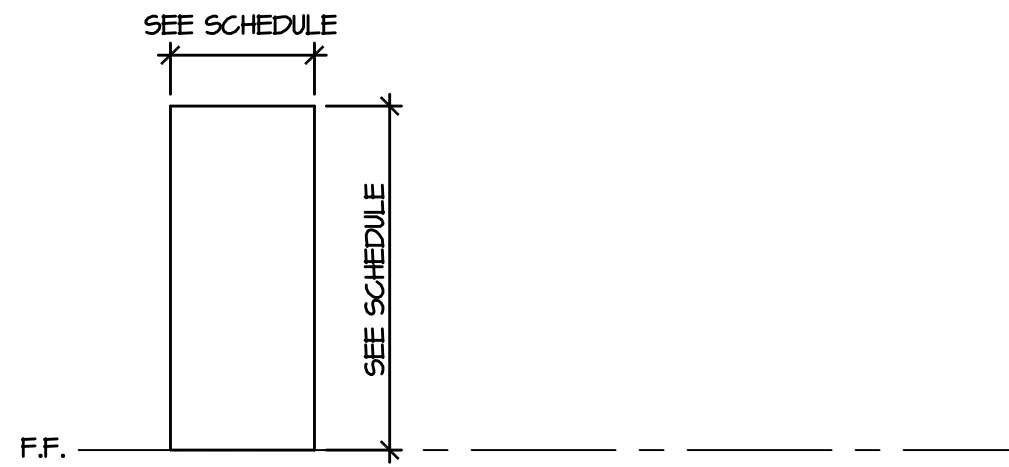
PARTIAL DOOR SCHEDULE-UNIT 500													
OPNG	DOOR				FRAME							LABEL	REMARKS
	SIZE	TYPE	MAT	GLASS	TYPE	MAT	GLASS	HEAD	JAMB	JAMB	SILL		
236	EXISTING	F	FRP	-	I	AL	-	8/HE-A11	-	6/HE-A11	2/HE-A11	-	-

NOTE: -REFER TO SPECIFICATIONS FOR HARDWARE  
-PROVIDE ADJUSTABLE DOOR BOTTOM



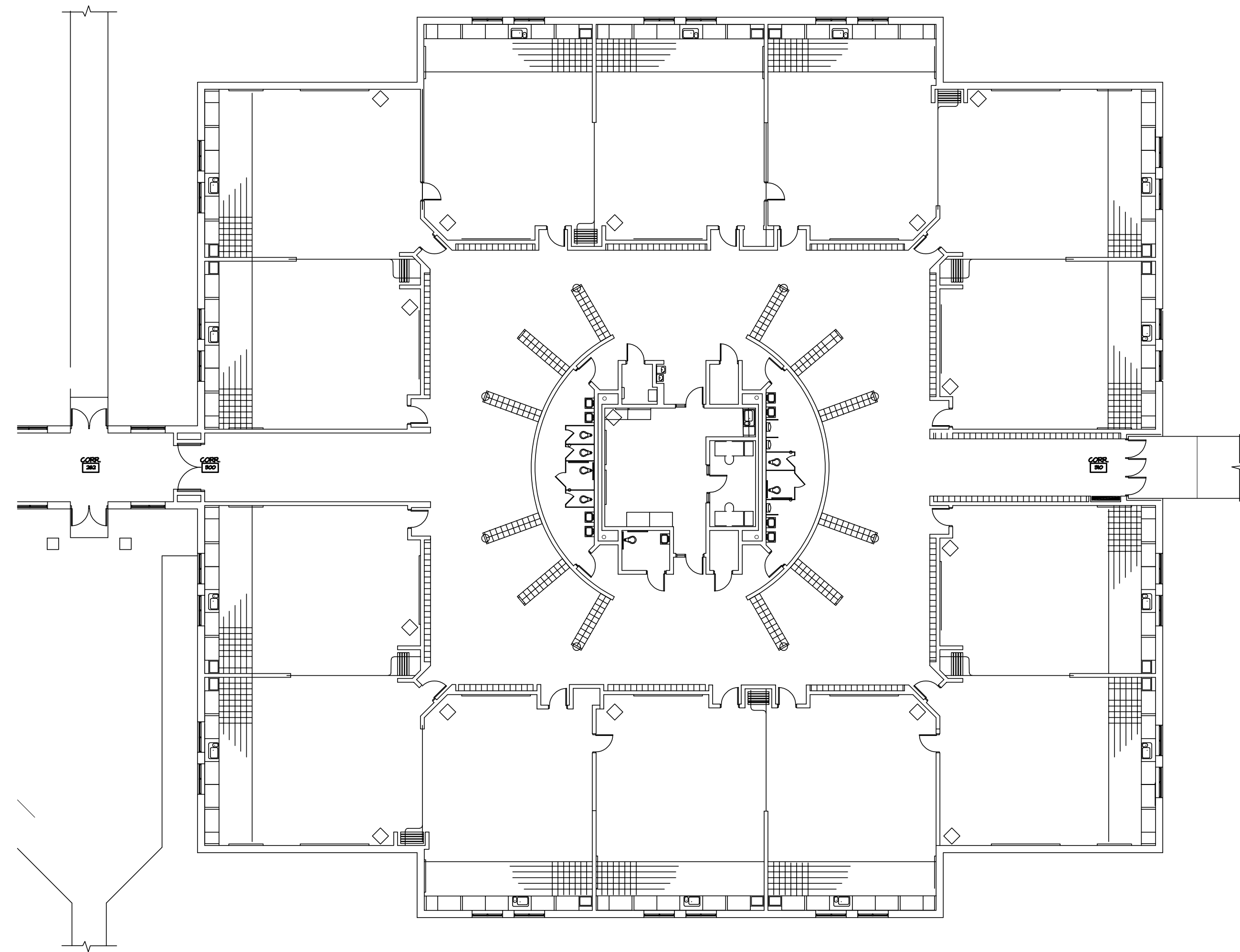
DOOR FRAME TYPES

NOTE: CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS IN FIELD PRIOR TO MANUFACTURE OF FRAMES.



DOOR TYPES:

NOTE: CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS IN FIELD PRIOR TO MANUFACTURE OF FRAMES.



1 FIRST FLOOR PLAN - AREA 100  
SCALE: 1/16" = 1'-0"

#### PROJECT DESCRIPTION

THE ORIGINAL SCHOOL BUILDING WAS CONSTRUCTED AS AN ELEMENTARY SCHOOL IN 1916. THE SCOPE OF WORK INCLUDES CASEWORK UPGRADES, WATER DAMAGED OR OTHERWISE COMPROMISED COUNTERTOPS WILL BE REPLACED THROUGHOUT THE BUILDING. ONE EXTERIOR DOOR WILL BE REPLACED WITH NEW DOOR AND FRAME IN EXISTING OPENING. NO SPATIAL ALTERATIONS OR OTHER REMODELING IS PART OF THIS PROJECT. WORK SHOWN IN THIS DOCUMENT DOES NOT IMPACT ANY EMERGENCY EGRESS OR ACCESS TO EGRESS.

#### PROJECT DATA

FIRE SUPPRESSION: EXISTING BUILDING IS FULLY SPRINKLED (INCLUDING CEILING SPACES EXCEPT AT STEEL FRAMING AND METAL DECK)

CODE REGULATION: 2012 MICHIGAN BUILDING CODE  
2012 NFPA 101 LIFE SAFETY CODE  
2012 MICHIGAN MECHANICAL CODE  
2012 MICHIGAN PLUMBING CODE  
2012 NATIONAL ELECTRICAL CODE  
MICHIGAN BUILDING CODE CHAPTER 11

Mechanical Code:  
Plumbing Code:  
Electrical Code:  
Barrier Free Design:  
Type of Construction:  
Occupancy:

(E) EDUCATIONAL  
EXISTING: MGC II-B  
T86

#### GENERAL NOTES

- ALL CORRIDOR, JANITOR AND STORAGE ROOM WALLS AND PENETRATIONS ARE CONSIDERED TO HAVE A 1-HOUR RATING. ALL WORK IN THESE AREAS SHALL BE PERFORMED IN A MANNER TO MAINTAIN THIS RATING EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS.

#### AREA CALCULATIONS

EXISTING BUILDING SQUARE FOOTAGE: 91,652 SF  
EXISTING 45,825 SF  
EXISTING (50%)

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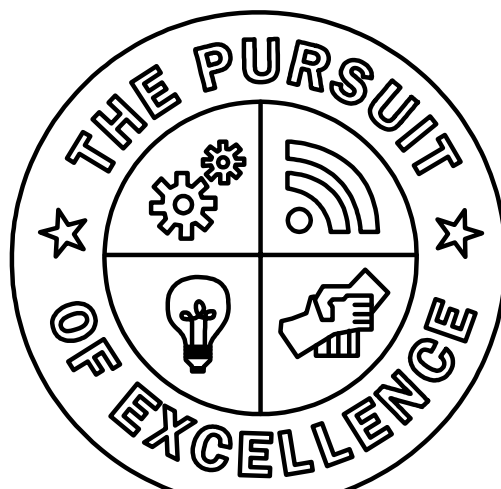
KALAMAZOO | GRAND RAPIDS | CHELSEA  
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www.kingscott.com



Strategic Energy Solutions  
4000 West Eleven Mile Road, Berley, MI 48072  
Phone 248.399.1900 Fax 248.399.1901  
www.seenet.com

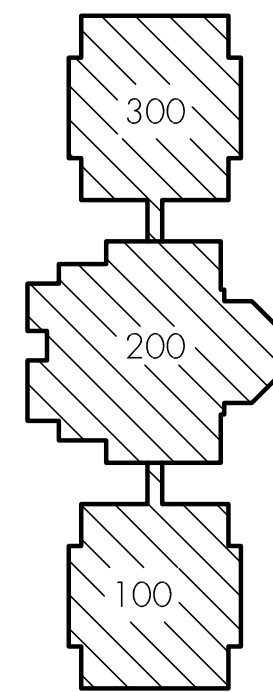
Barton  
Malow

Saline Area Schools  
2017 Projects  
Heritage Elementary  
Saline, Michigan



Saline  
Area Schools

REVISIONS/REVIEW DATE  
ISSUED FOR BID 01-06-2017



JOB NO. 2900-03

SHEET TITLE

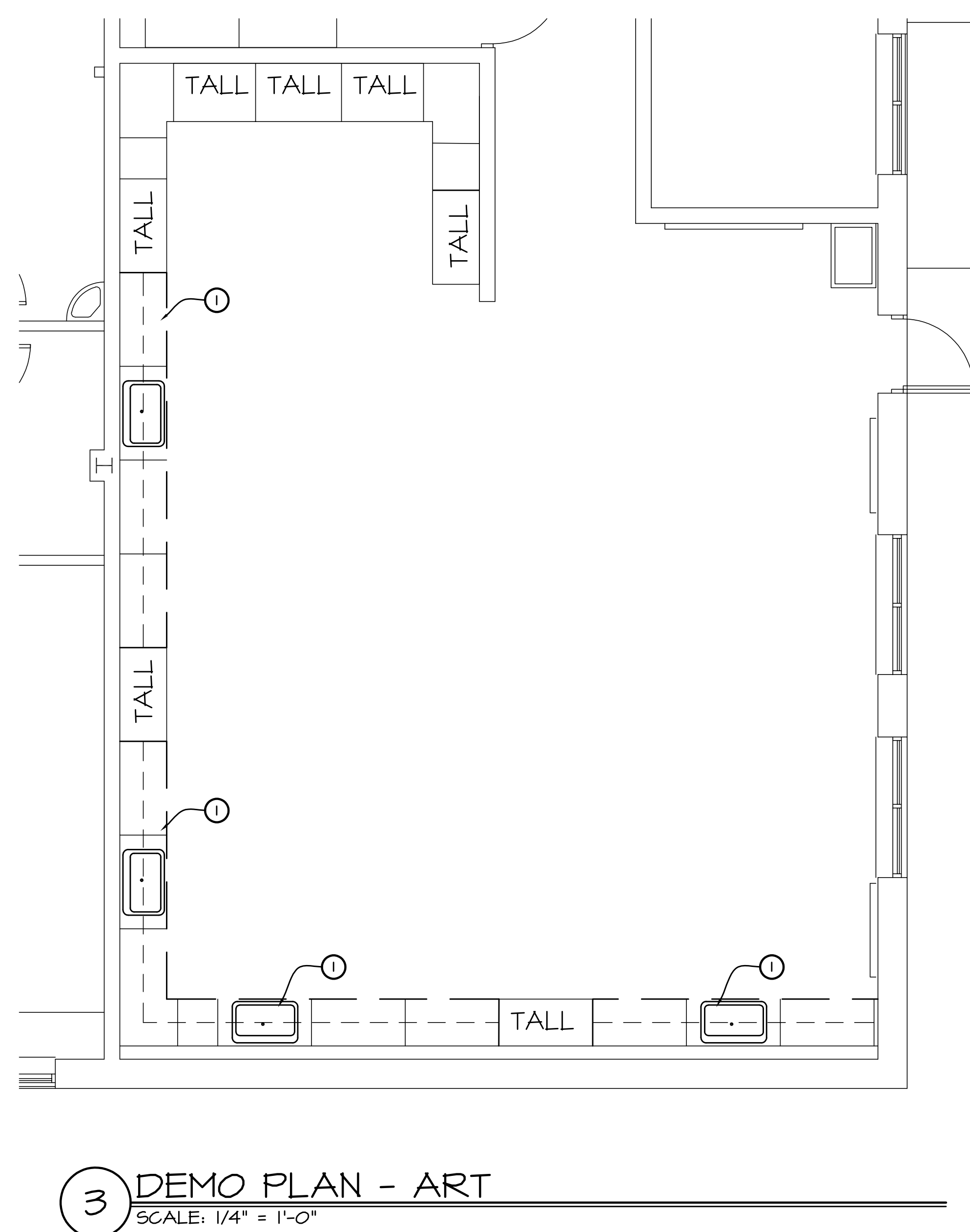
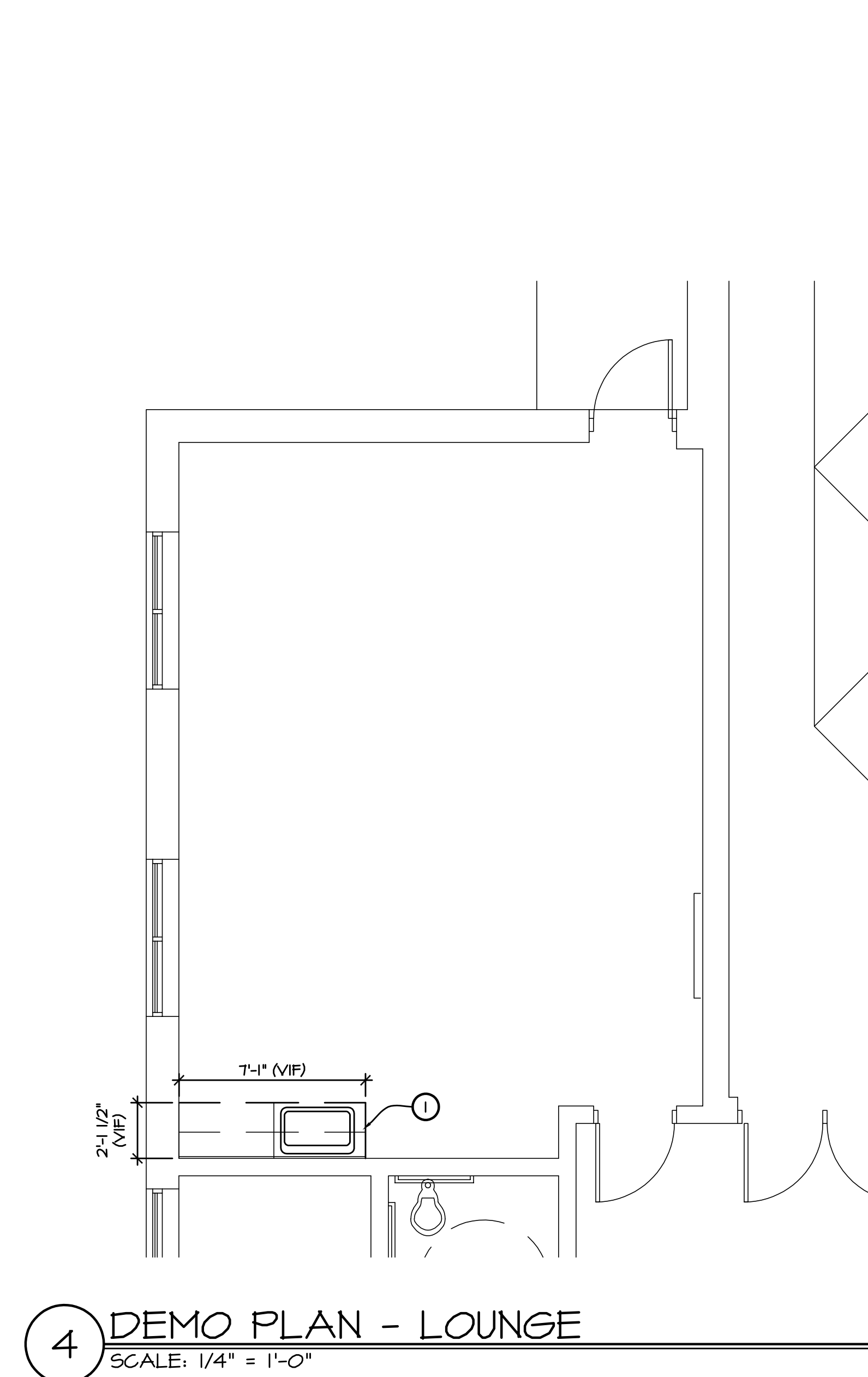
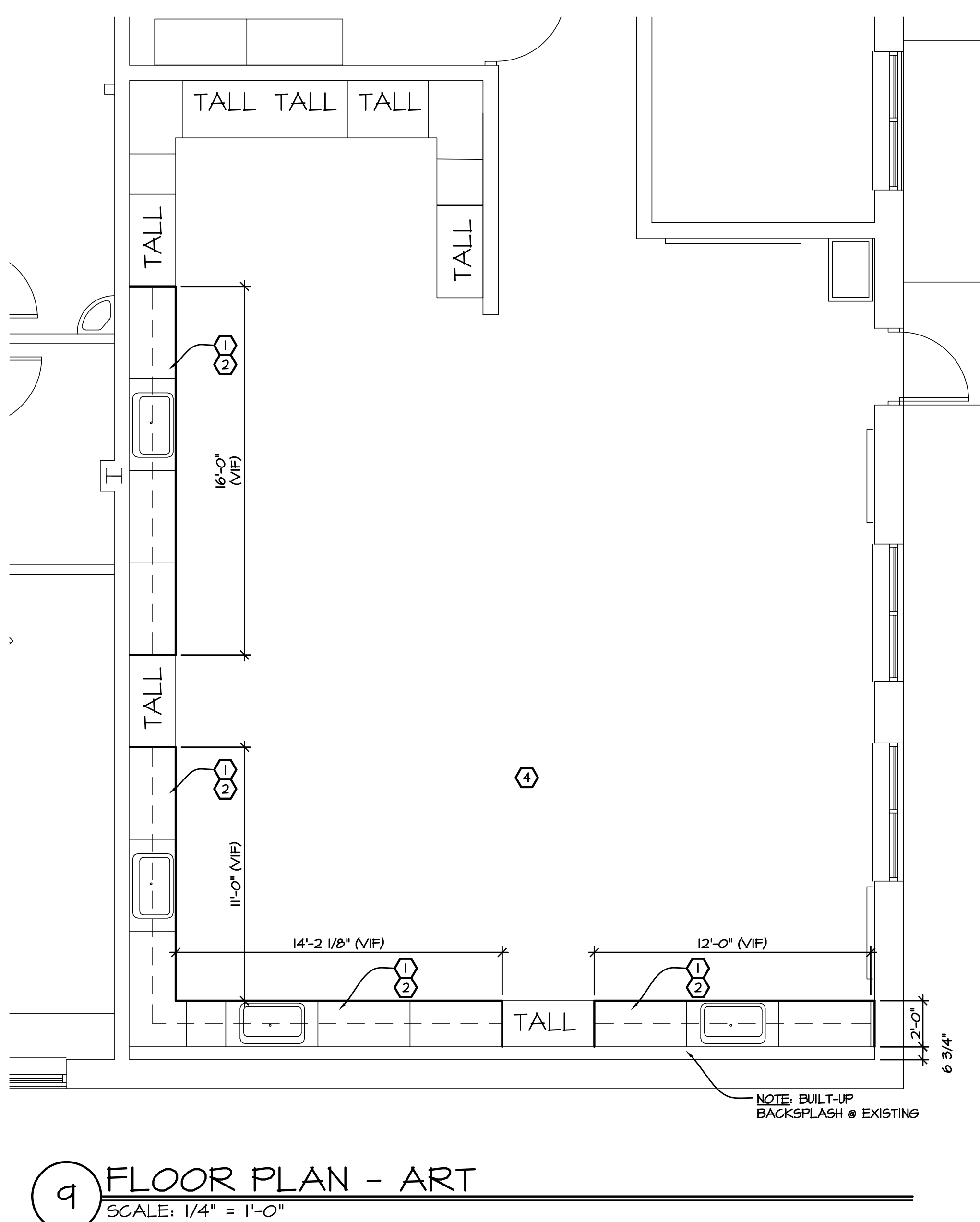
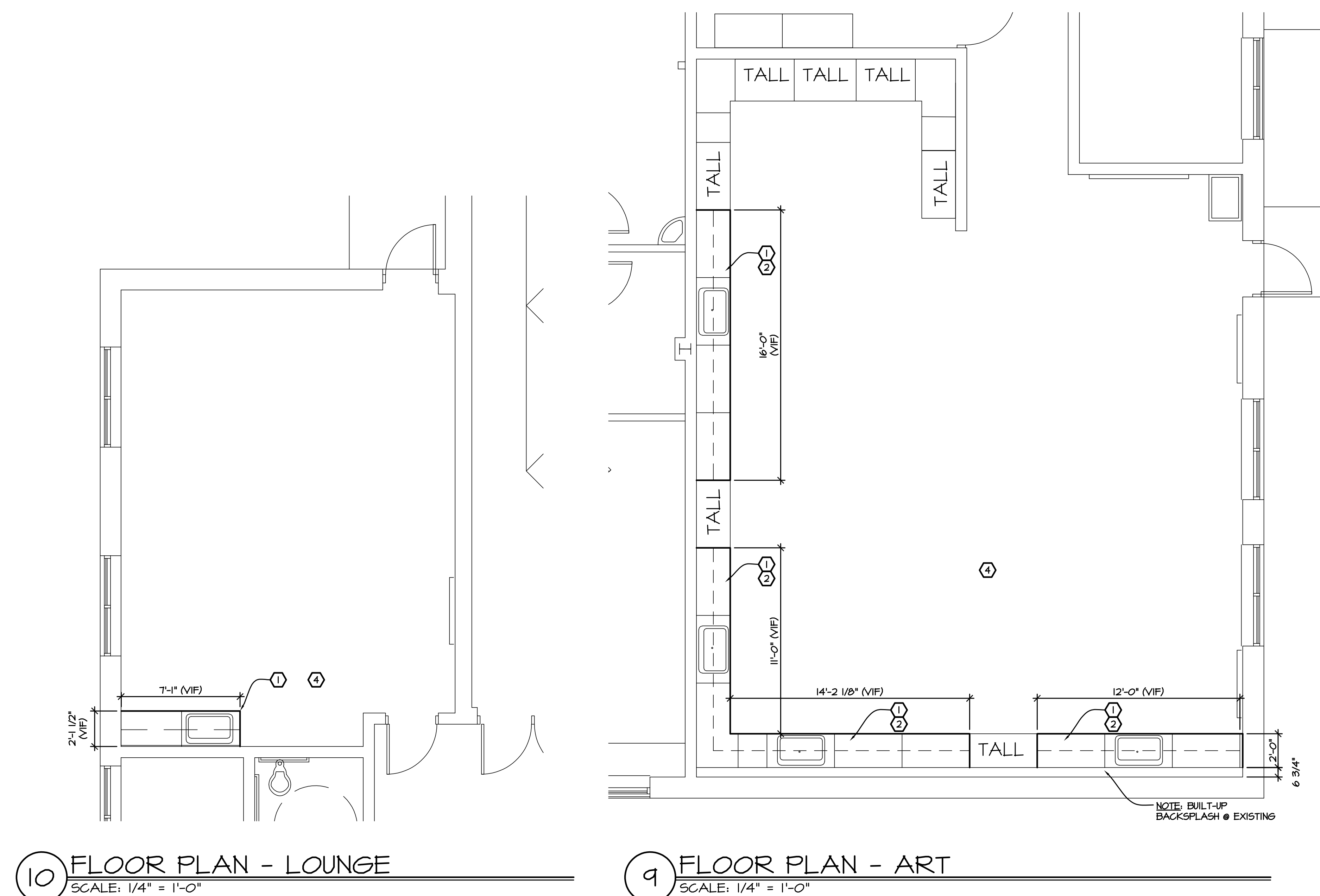
COMPOSITE FLOOR PLAN

SHEET NO.

HE-A0.1

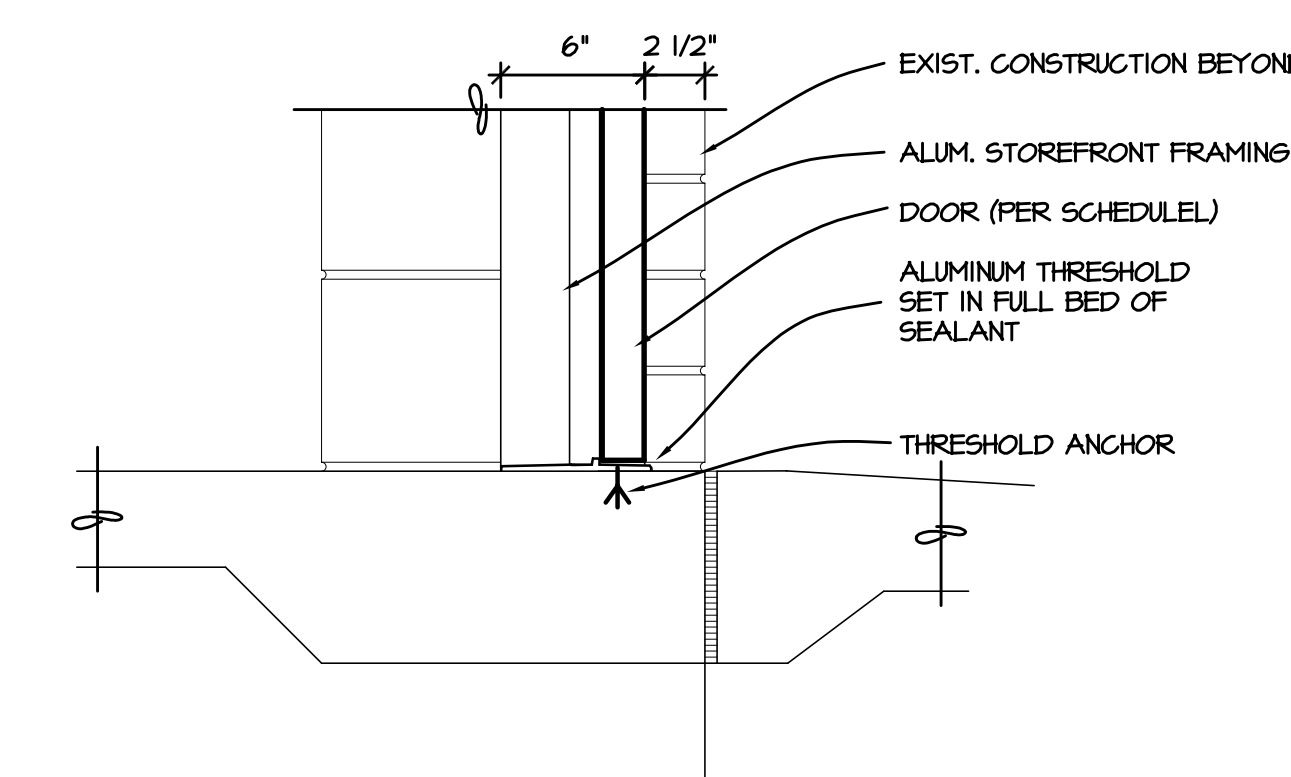
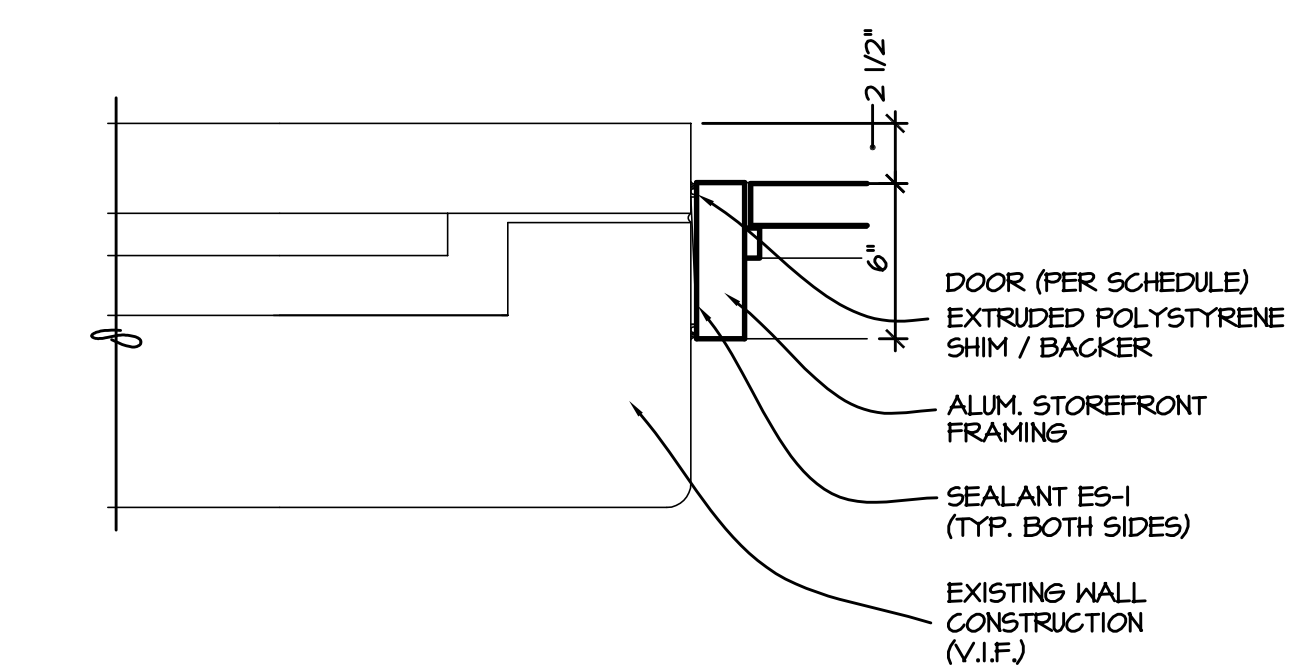
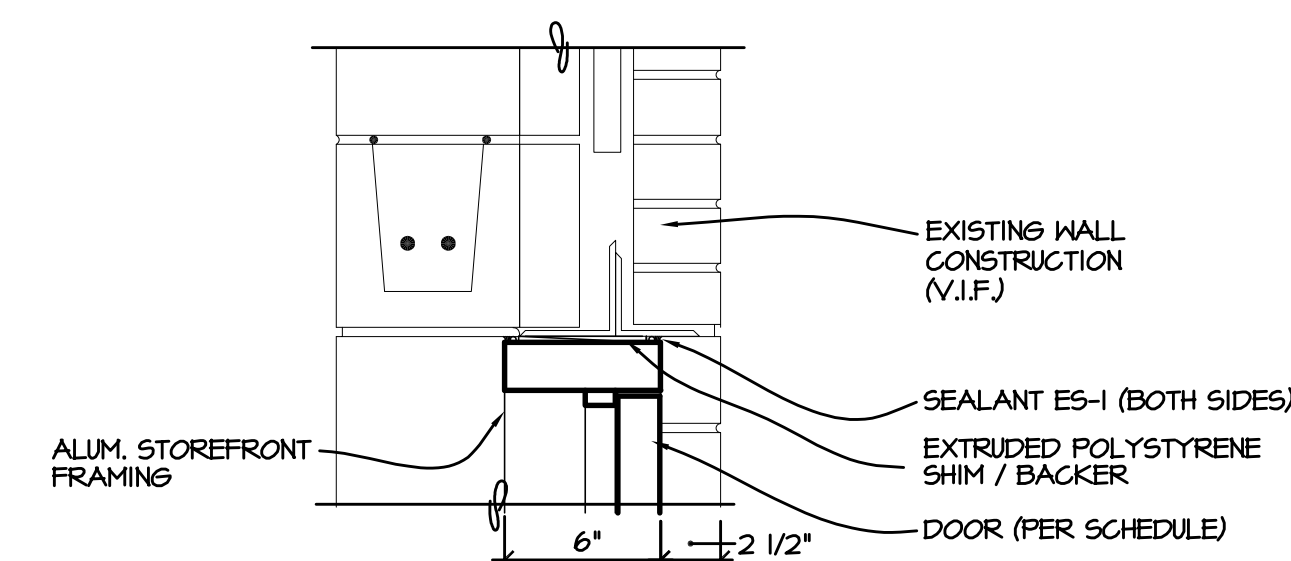
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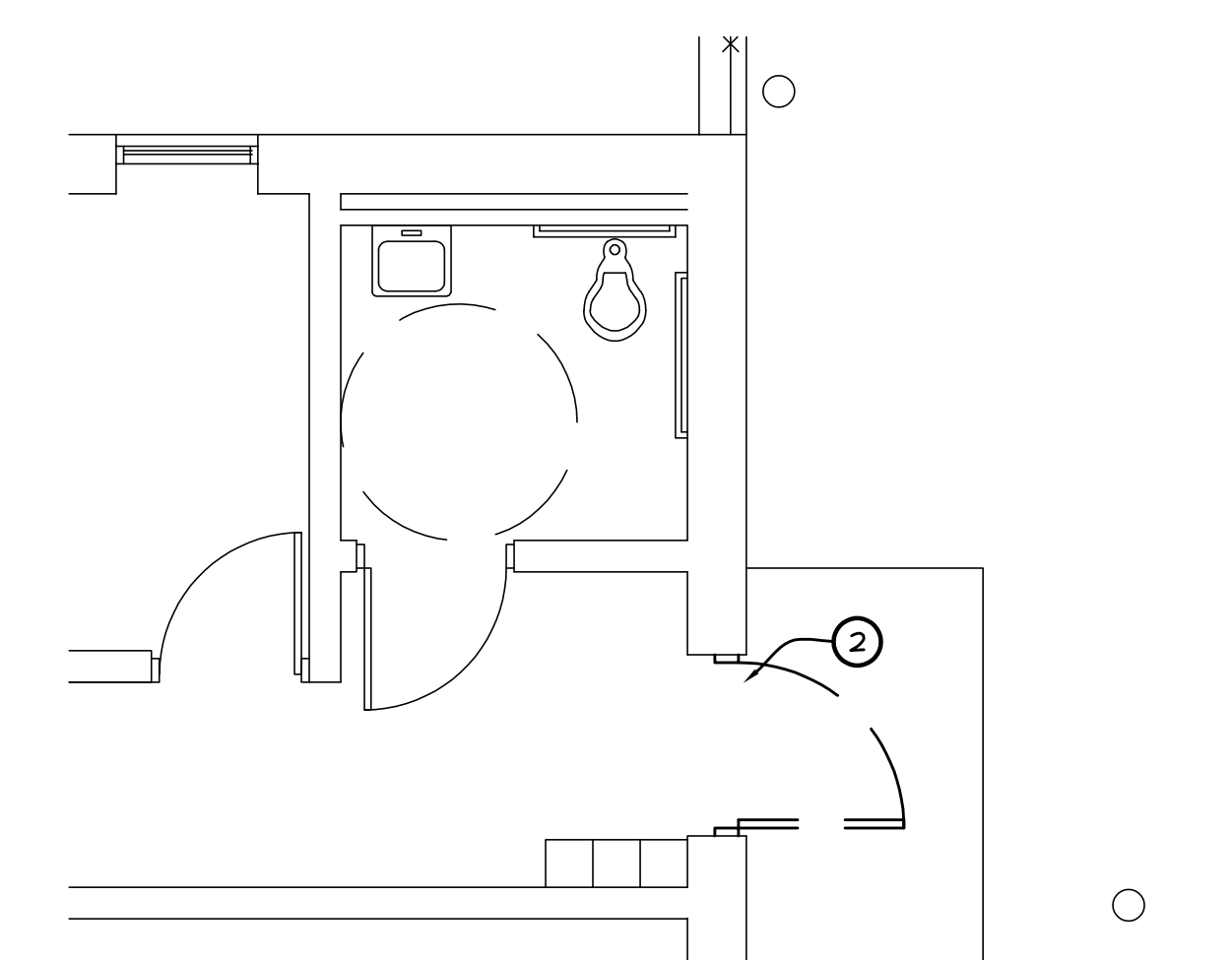
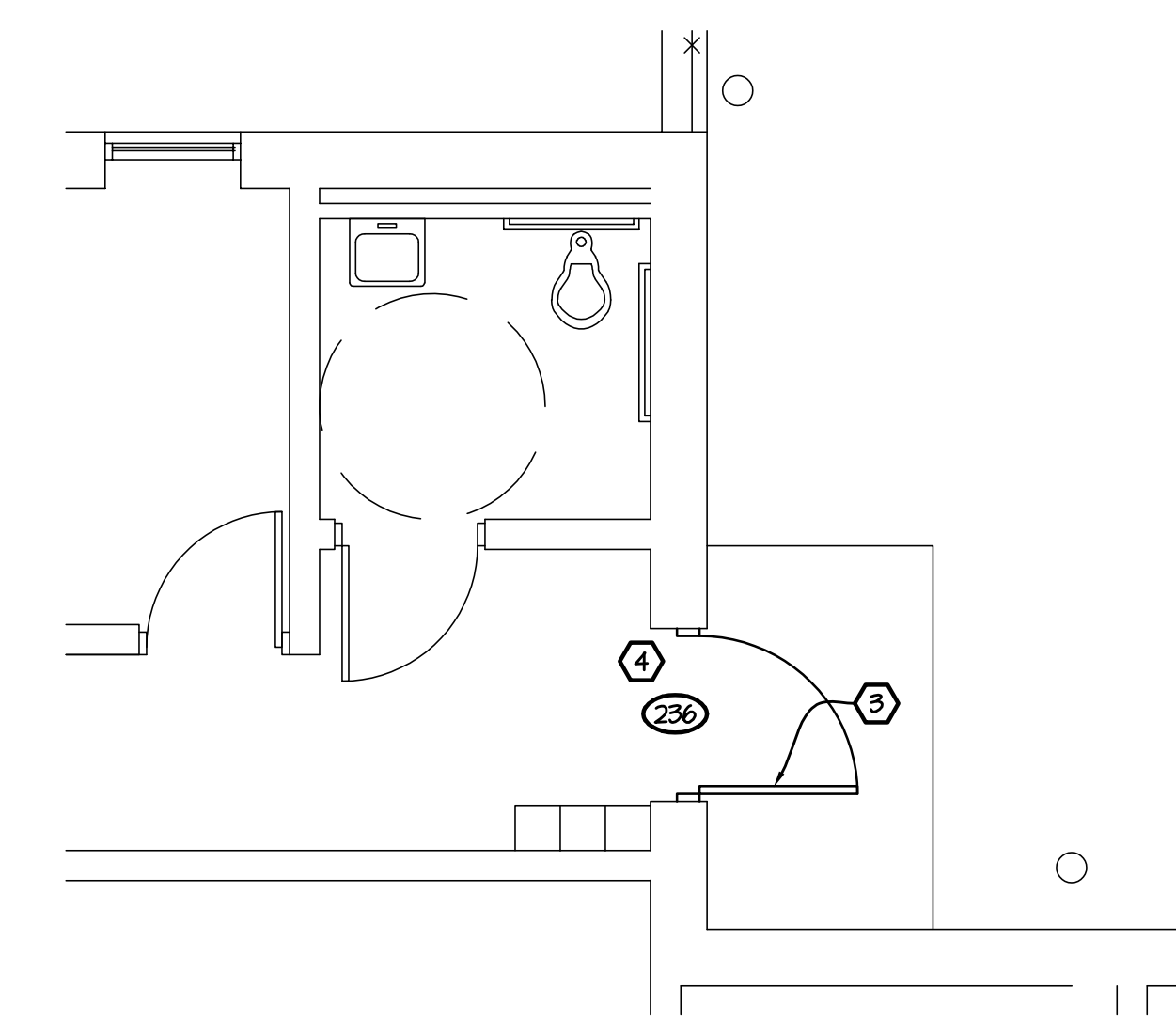
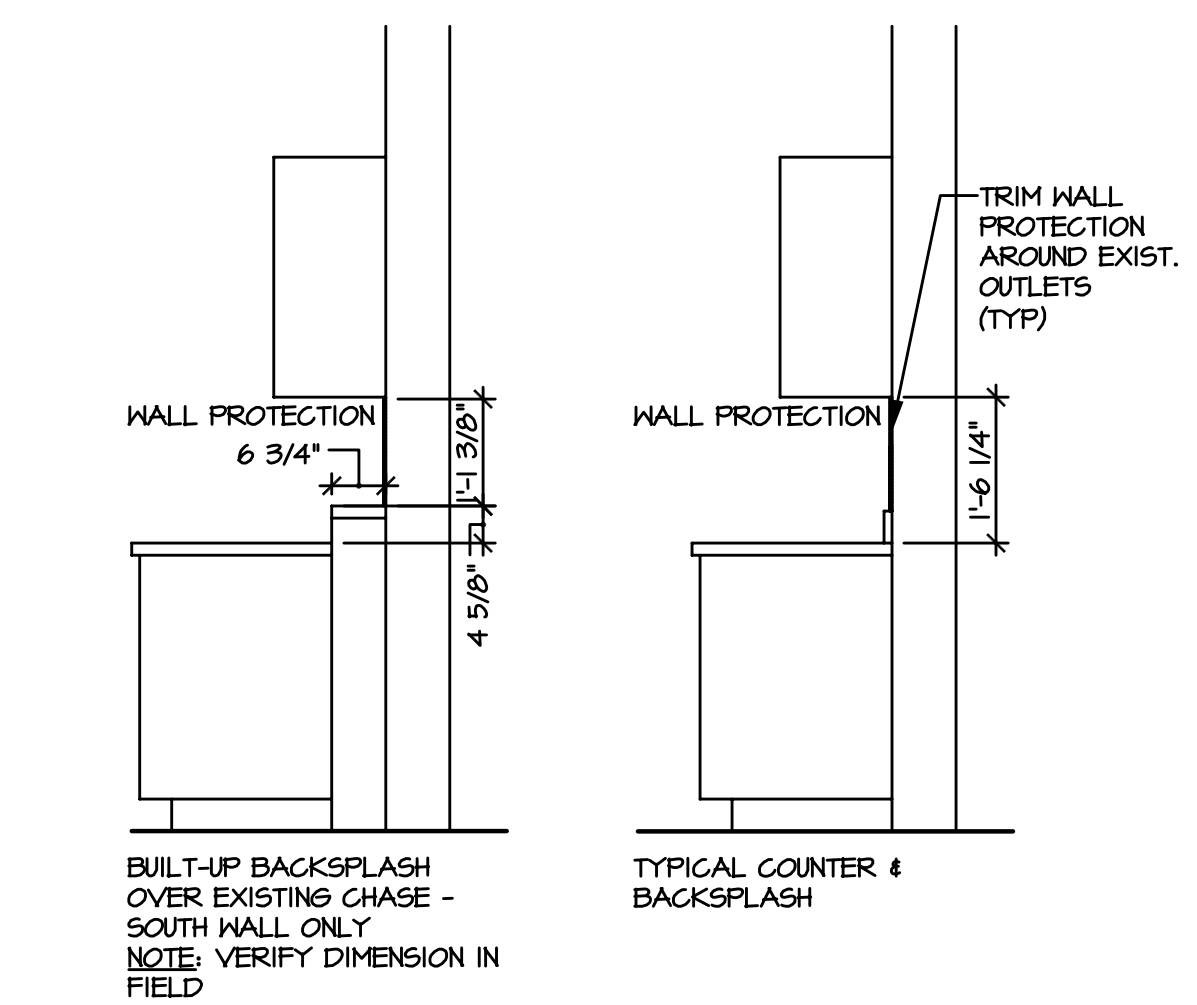
- ARCHITECTURAL GENERAL DEMOLITION NOTES

1. THE DEMOLITION PLANS GENERALLY INDICATE AREAS OF EXTENSIVE REMOVALS AND DO NOT INDICATE ALL OF THE WORK. CONTRACTOR SHALL PERFORM ALL THE DEMOLITION WHICH IS NECESSARY FOR THE PROPER EXECUTION OF THE PROJECT. WHETHER OR NOT SAID DEMOLITION IS SPECIFICALLY INDICATED WITHIN THE DOCUMENTS.
2. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL OTHER DRAWINGS AND SPECIFICATIONS FOR OTHER AREAS THAT WILL REQUIRE DEMOLITION NOT SHOWN ON THESE DOCUMENTS.
3. CONTRACTOR IS RESPONSIBLE TO INFILL, PATCH AND/OR REPAIR EXISTING WALLS, FLOORS AND CEILINGS TO MATCH EXISTING WHERE DEMOLITION OCCURS OTHER THAN AS DESCRIBED IN THESE DOCUMENTS.
4. IT IS THE INTENTION OF THESE DOCUMENTS THAT THE DEMOLITION OF PORTIONS OF MASONRY WALLS (BOTH INTERIOR AND EXTERIOR) ARE GENERALLY TO BE DONE ALONG JOINT AND CORUSING LINES.
5. PATCH AND REPAIR REMAINING ADJACENT SURFACES AT AREAS OF REMOVAL. DEMOLITION OPERATION SHALL PROVIDE A SOUND AND PROPER SUBSTRATE FOR NEW FINISH. COORDINATE WITH COLOR PLANS, WHERE A NEW FINISH IS NOT INDICATED, MATCH EXISTING ADJACENT FINISHES.
6. ALL DEMOLITION IS TO BE DONE WITH REASONABLE CARE AS TO MINIMIZE DAMAGE TO EXISTING REMAINING SURFACES. CONTRACTOR IS RESPONSIBLE TO PROPERLY DISPOSE OF ALL DEMOLISHED ITEMS NOT INDICATED TO BE RELOCATED OR TURNED OVER TO OWNER.
7. PRIOR TO DEMOLITION, CONTRACTOR SHALL COORDINATE ALL ITEMS TO BE SALVAGED FOR REUSE ON THE PROJECT AND/OR RETURNED TO THE OWNER THRU COORDINATION WITH ARCHITECT. DEMOLITION OF ITEMS SHALL BE COMPLETED BEFORE CONSTRUCTION BEGINS. ALL SUCH ITEMS SHALL BE REMOVED AND PROPERLY PACKED AND STORED TO MAINTAIN AS FOUND CONDITION.
8. COORDINATE DEMOLITION WORK FOR DOOR AND FRAMES WITH DOOR SCHEDULE.
9. CLEAN AND PREPARE ALL EXISTING SURFACES WHICH ARE TO BE PAINTED/ PATCHED. PREPARATION TO INCLUDE MINOR PATCHING. COORDINATE WITH ARCHITECT FOR LOGS AND TRIM.
10. PROVIDE TEMPORARY SHORING, BRACING, AND/OR SUPPORTS AS REQUIRED FOR HALL AND/OR ROOF AT AREAS OF REMOVAL AND ALTERNATION.
11. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR FURTHER DEMOLITION NOTES.
12. PAINT TO MATCH ADJACENT SURFACES AT AREAS DISTURBED BY MECHANICAL OR ELECTRICAL DEMOLITION UNO.
13. COORDINATE WITH TECHNOLOGY DRAWINGS FOR FURTHER DEMOLITION NOTES.



- ### GENERAL NOTES

1. XXXX INDICATES CONSTRUCTION DOCUMENTS ROOM NUMBERS.
2. XXXX INDICATES DOOR, REFER TO FRAME TYPES FOR EXTERIOR DOOR #4 STOREFRONT SIZES, REFER TO SHEET H-A-10, FOR DOOR SCHEDULE AND DETAILS.
3. REFER TO DEMOLITION PLANS FOR ADDITIONAL NOTES REGARDING PATCHING AT AREAS OF REMOVAL AND/OR ALTERATIONS. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS LISTED AS "MATCH EXISTING", "EXISTING", OR PLUS OR MINUS (").
5. REFER TO SHEET #12 FOR FLOOR PLAN SYMBOLS LEGEND.
6. FILL/SEAL ALL PENETRATIONS, INCLUDING OPENINGS WHERE PIPING AND MECHANICAL HAS BEEN REMOVED, WALLS AND VOIDS AT STRUCTURAL MEMBERS. USE FIRE RATED PATCHING MATERIALS IN RATED WALLS IDENTIFIED ON THE CODE COMPOSITE PLAN. USE CMU WHERE REQUIRED TO MATCH ADJACENT CONSTRUCTION.
7. ALL PARTITIONS TO RUN TIGHT TO DECK U/LD.
8. REFER TO EQUIPMENT PLANS FOR CASEWORK, DISPLAY DISPLAY BOARDS, LOCKERS, SHELVING, ETC.
9. ALL NEW MASONRY ABUTTING EXISTING MASONRY SHALL BE TOOTHED INTO EXISTING MASONRY.
10. WHERE THE NOTE "PREP SURFACES" IS ENCOUNTERED, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE ALL BULGES, RESIDUES, MAGTICS, PROTRUSIONS, FITTING, AND MISSING SUBSTRATE MATERIAL SHALL BE REMOVED



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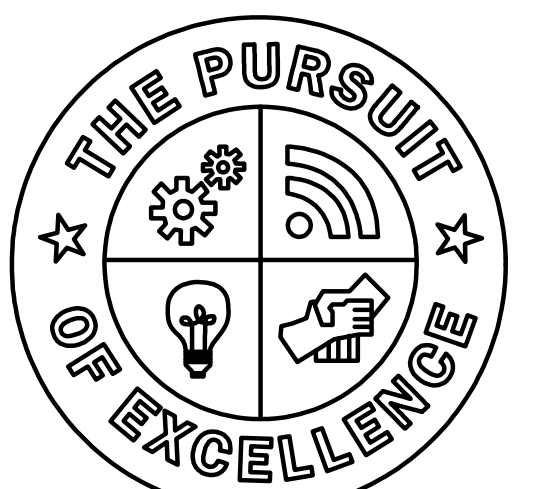
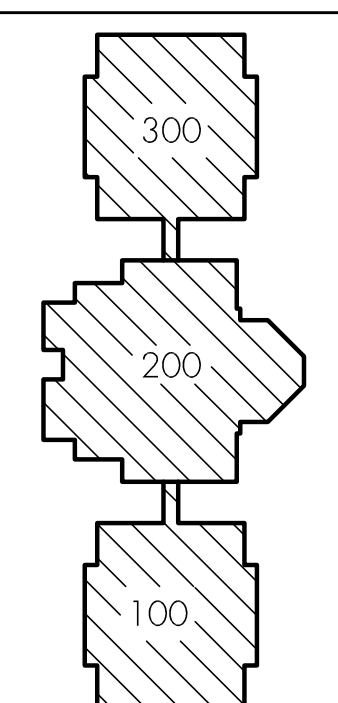
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Saline Area Schools  
2017 Projects  
Heritage Elementary  
Saline, Michigan

Saline  
Area Schools[illegible]

JOB NO. 2900-03

SHEET TITLE

### PARTIAL DEMO / FLOOR PLAN

SHEET NO.

HE-A1.1

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