SALINE AREA SCHOOLS SALINE, MICHIGAN

CONSTRUCTION DOCUMENTS

JANUARY 06, 2017

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Saline Middle School 7190 N. Maple Rd. Saline, MI 48176 P. 734-429-8000

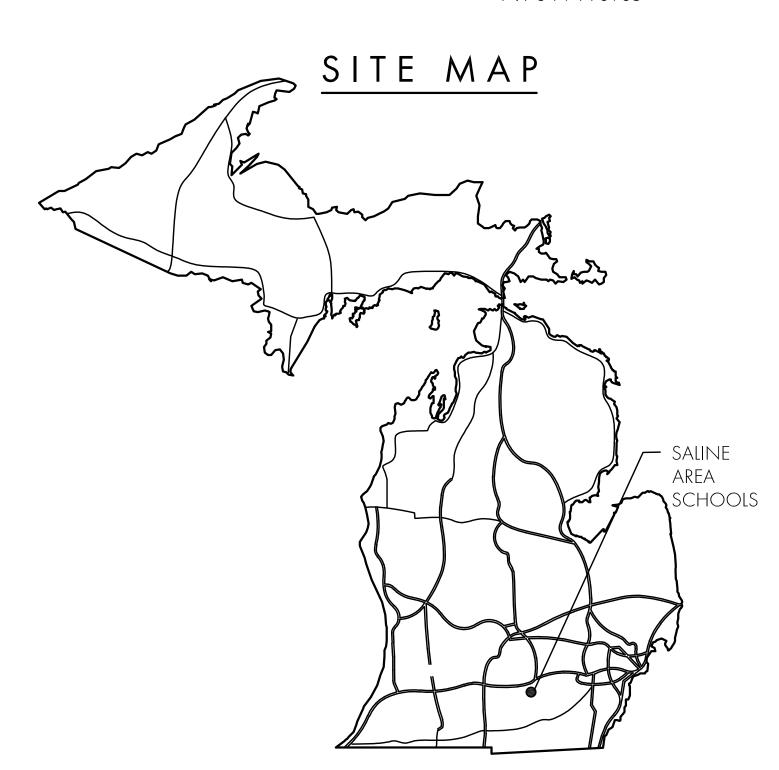
Saline Liberty School 7265 N. Ann Arbor St. Saline, MI 48176 P. 734-401-4000

Harvest Elementary 1155 Campus Pkwy. Saline, MI 48176 P. 734-944-8901

Heritage Elementary 290 E. Woodland Dr. Saline, MI 48176 P. 734-401-4100

Pleasant Ridge Elementary 229 Pleasant Ridge Dr. Saline, MI 48176 P. 734-401-4800

Woodland Meadows Elementary 350 Woodland Dr. Saline, MI 48176 P. 734-944-8985



SHEET INDEX

COVER PAGE DATA PAGE MOUNTING HEIGHTS

SALINE HIGH SCHOOL

HS-CI.O TOPO PLAN HS-C2.0 DEMO PLAN

HS-C3.0 SITE PLAN HS-C3.I SITE PLAN - CONNECTOR SIDEWALK

HS-C4.0 DETAIL SHEET

HS-C5.0 SOIL EROSION AND SEDIMENTATION CONTROL PLAN

HS-AO.I CODE COMPLIANCE & COMPOSITE FLR PLAN FIRST FLOOR PLAN - AREA E FIRST FLOOR REFL. CEILING PLAN -AREA E WALL SECTIONS AND DETAILS

HS-EO.O ELECTRICAL GENERAL INFORMATION HS-EO.I ELECTRICAL PARTIAL FIRST AND SECOND FLOOR PLANS

HS-MI.O PARTIAL MECHANICAL PLANS HS-M2.0 MECHANICAL DETAILS/SCHEDULES

HS-T4.0 TECH PLAN - COMPOSITE IST FLOOR HS-T4.0A TECH UNITS A,B,C,D,E,I - IST FLOOR HS-T4.0B TECH UNITS F.G - IST FLOOR HS-T4.I TECH PLAN - COMPOSITE 2ND FLOOR HS-T4.IA TECH UNITS A,B,C,D,E,I - 2ND FLOOR HS-T4.IB TECH UNITS F,G,H - 2ND FLOOR HS-T4.IC TECH UNITS J.K.L - 2ND FLOOR HS-T4.2 TECH PLAN - COMPOSITE 3RD FLOOR HS-T4.2A TECH UNITS A.B.C.D.E.I - 3RD FLOOR

SALINE MIDDLE SCHOOL MS-CI.O TOPO PLAN - EAST

MS-CI.I TOPO PLAN - WEST

MS-CI.2 TOPO PLAN THIBAULT LANE MS-C2.0 DEMO PLAN - EAST

HS-T4.2B TECH UNITS J,K,L - 3RD FLOOR

MS-C2.I DEMO PLAN - NORTHWEST MS-C2.2 DEMO PLAN - SOUTHWEST MS-C2.3 DEMO PLAN - THIBAULT LANE MS-C3.0 OVERALL SITE LAYOUT PLAN

MS-C3.I SITE LAYOUT PLAN - EAST MS-C3.2 SITE LAYOUT PLAN - NORTHWEST MS-C3.3 SITE LAYOUT PLAN - SOUTHEAST MS-C3.4 SITE GRADING AND UTILITY PLAN - EAST MS-C3.5 SITE GRADING AND UTILITY PLAN - NW MS-C3.6 SITE GRADING AND UTILITY PLAN - SW MS-C3.7 SITE PLAN - THIBAULT LANE

MS-C4.0 DETAIL SHEET MS-C4.I DETAIL SHEET

MS-C5.0 SOIL EROSION AND SEDIMENTATION CONTROL MS-C5.I SOIL EROSION AND SEDIMENTATION CONTROL MS-T4.IC TECHNOLOGY PLAN UNIT-C PLAN - THIBAULT LANE

MS-AO.I CODE COMPLIANCE & COMPOSITE FLR PLAN

MS-DI.IA DEMOLITION FLOOR PLAN - AREA A MS-DI.IB DEMOLITION FLOOR PLAN - AREA B MS-DI.IC DEMOLITION FLOOR PLAN - AREA C MS-DI.ID DEMOLITION FLOOR PLAN - AREA D & G MS-DI.IE DEMOLITION FLOOR PLAN - AREA E MS-DI.IF DEMOLITION FLOOR PLAN - AREA F MS-DI.IH DEMOLITION FLOOR PLAN - AREA H MS-DI.IL DEMOLITION FLOOR PLAN - AREA L

SALINE MIDDLE SCHOOL (CONT., MS-AI.IA FLOOR PLAN - AREA A

MS-AI.IB FLOOR PLAN - AREA B MS-AI.IC FLOOR PLAN - AREA C MS-AI.ID FLOOR PLAN - AREA D & G MS-AI.IE FLOOR PLAN - AREA E MS-AI.IF FLOOR PLAN - AREA F MS-AI.IH FLOOR PLAN - AREA H MS-AI.IL FLOOR PLAN - AREA L

MS-AI.IGYM FLOOR PLAN - GYMNASIUM

MS-A2.IC REFLECTED CEILING PLAN - AREA C MS-A2.IGYM REFLECTED CEIL. PLAN - GYMNASIUM

MS-A4.I WALL SECTIONS AND DETAILS MS-A4.2 WALL SECTIONS AND DETAILS

MS-A6.I DOOR SCHEDULE AND DOOR DETAILS

MS-AI.IIC EQUIPMENT PLAN - UNIT C MS-AI.IIF EQUIPMENT PLAN - UNIT F MS-AI.12F AUDITORIUM SEATING DETAILS MS-AI.13F AUDITORIUM SEATING DETAILS MS-AI.14F AUDITORIUM SEATING DETAILS

MS-A8.IA COLOR LAYOUT PLAN - UNIT A MS-A8.IB COLOR LAYOUT PLAN - UNIT B MS-A8.IC COLOR LAYOUT PLAN - UNIT C MS-A8.ID COLOR LAYOUT PLAN - UNIT D & G MS-A8.IE COLOR LAYOUT PLAN - UNIT E MS-A8.IF COLOR LAYOUT PLAN - UNIT F MS-A8.IH COLOR LAYOUT PLAN - UNIT H MS-A8.IK COLOR LAYOUT PLAN - UNIT K

MS-A9.1 SECTION, INTERIOR ELEV. & 3D IMAGES

MS-MI.I MECHANICAL PLAN - UNIT 'A' MS-MI.2 MECHANICAL PLAN - UNIT 'B' MS-MI.3 MECHANICAL PLAN - UNIT 'C' MS-MI.9 MECHANICAL PLAN - UNIT 'J' MS-MI.IO MECHANICAL PLAN - UNIT 'K'

MS-A8.IL COLOR LAYOUT PLAN - UNIT L

MS-M2.0 MECHANICAL/ELECTRICAL SCHEDULES AND MECHANICAL DETAILS

MS-EO.O ELECTRICAL GENERAL INFORMATION MS-ESDI.O ELECTRICAL DEMOLITION SITE PLAN ELECTRICAL DEMOLITION PLAN AREA C MS-EDI.2 ELECTRICAL DEMOLITION PLAN AREA F

MS-ESI.O ELECTRICAL NEW WORK SITE PLAN

MS-EDI.3 ELECTRICAL DEMOLITION PLAN-GYM

MS-EPI.O ELECTRICAL COMPOSITE PLAN MS-EPI.I POWER NEW WORK PLAN-AREA C

MS-ELI.I LIGHTING NEW WORK PLAN-AREA C MS-ELI.2 LIGHTING NEW WORK PLAN-AREA F MS-ELI.3 LIGHTING NEW WORK PLAN-GYMNASIUM MS-E5.0 ELEC. DETAILS AND ONE-LINE DIAGRAM MS-E6.0 ELECTRICAL PANEL SCHEDULES

MS-T4.I TECHNOLOGY PLAN-COMPOSITE

SALINE LIBERTY SCHOOL LS-CI.O TOPO PLAN

LS-C2.0 DEMO PLAN - WEST LS-C2.I DEMO PLAN -SOUTH LS-C2.2 DEMO PLAN - EAST

LS-C3.0 OVERALL SITE PLAN LS-C3.I SITE LAYOUT PLAN - WEST LS-C3.2 SITE LAYOUT PLAN - SOUTH LS-C3.3 SITE LAYOUT PLAN - EAST LS-C3.4 SITE GRADING AND UTILITY PLAN - WEST LS-C3.5 SITE GRADING AND UTILITY

PLAN - SOUTH LS-C3.6 SITE GRADING AND UTILITY PLAN - EAST LS-C3.7 SITE PLAN - NORTH

SALINE LIBERTY SCHOOL LS-C4.0 DETAIL SHEET

DETAIL SHEET LS-AI.O COMPOSITE PLAN DEMO PLAN - UNIT A LS-D.IB DEMO PLAN - UNIT B LS-D.IC DEMO PLAN - UNIT C LS-D.ID DEMO PLAN - UNIT D

LS-AI.IA FLOOR PLAN - UNIT A LS-AI.IB FLOOR PLAN - UNIT B LS-AI.IC FLOOR PLAN - UNIT C LS-AI.ID FLOOR PLAN - UNIT D

LS-AI.4 ENLARGED PLANS

LS-AI.6 COMPOSITE ROOF PLAN LS-AI.7 ROOF DETAILS

LS-AI.IIA EQUIPMENT PLAN AREA - A LS-AI.IIB EQUIPMENT PLAN AREA - B LS-AI.IIC EQUIPMENT PLAN AREA - C LS-AI.IID EQUIPMENT PLAN AREA - D

LS-A2.IA REFLECTED CEIL PLAN AREA - A LS-A2.IB REFLECTED CEIL PLAN AREA - B LS-A2.IC REFLECTED CEIL PLAN AREA - C LS-A2.ID REFLECTED CEIL PLAN AREA - D LS-A2.2 PARTITION TYPES AND DETAILS

LS-A3.I EXTERIOR ELEVATIONS LS-A3.2 EXTERIOR ELEVATIONS

LS-A5.I BUILDING DETAILS LS-A5.2 BUILDING DETAILS LS-6.I DOOR SCHEDULE & DOOR TYPES LS-6.2 WINDOW TYPES & DETAILS

LS-A8.IA COLOR PLAN - UNIT A LS-A8.IB COLOR PLAN - UNIT B LS-A8.IC COLOR PLAN - UNIT C LS-A8.ID COLOR PLAN - UNIT D

LS-MDI.IA MECHANICAL DEMO PLAN - UNIT A LS-MDI.IB MECHANICAL DEMO PLAN - UNIT B LS-MDI.IC MECHANICAL DEMO PLAN - UNIT C LS-MDI.ID MECHANICAL DEMO PLAN - UNIT D

LS-MI.IA MECHANICAL PLAN - UNIT A LS-MI.IB MECHANICAL PLAN - UNIT B LS-MI.IC MECHANICAL PLAN - UNIT C LS-MI.ID MECHANICAL PLAN - UNIT D

LS-M2.0 ENLARGED MECHANICAL PLAN LS-MEI.I MECHANICAL SCHEDULE & DETAILS

LS-PO.IB PLUMBING FOUNDATION PLAN - UNIT B LS-PO.ID PLUMBING FOUNDATION PLAN - UNIT D

LS-PDI.IA FIRST FLR PLUMB DEMO PLAN - UNIT A LS-PDI.IB FIRST FLR PLUMB DEMO PLAN - UNIT B LS-PDI.IC FIRST FLR PLUMB DEMO PLAN - UNIT C LS-PDI.ID FIRST FLR PLUMB DEMO PLAN - UNIT D

LS-PI.IB PLUMBING PLAN - UNIT B LS-PI.IC PLUMBING PLAN - UNIT C LS-PI.ID PLUMBING PLAN - UNIT D

LS-EO.O ELECTRICAL GENERAL INFORMATION LS-ESDI.O ELECTRICAL DEMO SITE PLAN LS-EDI.I FIRST FLR ELEC DEMO PLAN - AREA A LS-EDI.2 FIRST FLR ELEC DEMO PLAN - AREA B LS-EDI.3 FIRST FLR ELEC DEMO PLAN - AREA C LS-EDI.4 FIRST FLR ELEC DEMO PLAN - AREA D SALINE LIBERTY SCHOOL (CONT.)

LS-ESI.O ELECTRICAL NEW WORK SITE PLAN

LS-EPI.I FIRST FLOOR POWER PLAN - AREA A LS-EPI.2 FIRST FLOOR POWER PLAN - AREA B LS-EPI.3 FIRST FLOOR POWER PLAN - AREA C LS-EPI.4 FIRST FLOOR POWER PLAN - AREA D

LS-ELI.I FIRST FLR LIGHTING PLAN - AREA A LS-ELI.2 FIRST FLR LIGHTING PLAN - AREA B LS-ELI.3 FIRST FLR LIGHTING PLAN - AREA C LS-ELI.4 FIRST FLR LIGHTING PLAN - AREA D

LS-E5.0 ELECTRICAL DETAILS

LS-T4.I TECHNOLOGY PLAN COMPOSITE LS-T4.IA TECHNOLOGY PLAN - AREA A & D

HARVEST ELEMENTARY SCHOOL

HA-T4.I TECHNOLOGY COMP. PLAN FIRST FLR. HA-T4.2 TECHNOLOGY COMP. PLAN SECOND FLR.

HERITAGE ELEMENTARY

HE-AO.I COMPOSITE FIRST FLOOR PLAN ENLARGED FLOOR PLAN

HE-MI.O MECHANICAL ROOF PLAN HE-MI.I MECHANICAL PLAN - UNIT 100 HE-MI.2 MECHANICAL PLAN - UNIT 200 HE-MI.3 MECHANICAL PLAN - UNIT 300

HE-EO.O ELECTRICAL GENERAL INFORMATION HE-EO.2 ELECTRICAL COMP. ROOF PLAN

HE-T4.I TECHNOLOGY PLAN COMPOSITE

PLEASANT RIDGE

PR-T4.I TECHNOLOGY COMPOSITE PLAN

FLOOR PLAN - UNIT 400

WOODLAND MEADOWS

COMPOSITE FIRST FLOOR PLAN

DEMO PLAN - UNIT 400 DEMO PLAN - UNIT 500 DEMO PLAN - UNIT 600

WM-AI.2 FLOOR PLAN - UNIT 500 WM-AI.3 FLOOR PLAN - UNIT 600 WM-A8.1 COLOR PLAN - UNIT 400

WM-A8.2 COLOR PLAN - UNIT 500

WM-A8.3 COLOR PLAN - UNIT 600 WM-MI.O MECHANICAL ROOF PLAN

WM-M2.0 MECHANICAL PLAN - UNIT 600 WM-M2.1 MECHANICAL PLAN - UNIT 500 WM-M2.2 MECHANICAL PLAN - UNIT 400

WM-3.0 MECHANICAL/ELECTRICAL SCHEDULES

WM-EO.O ELECTRICAL GENERAL INFORMATION WM-EO.2 ELECTRICAL COMP ROOF PLAN

WM-T4.1 TECHNOLOGY COMPOSITE PLAN





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DATE revisions/review 01/06/2017 ADDENDUM 1 01/18/2017

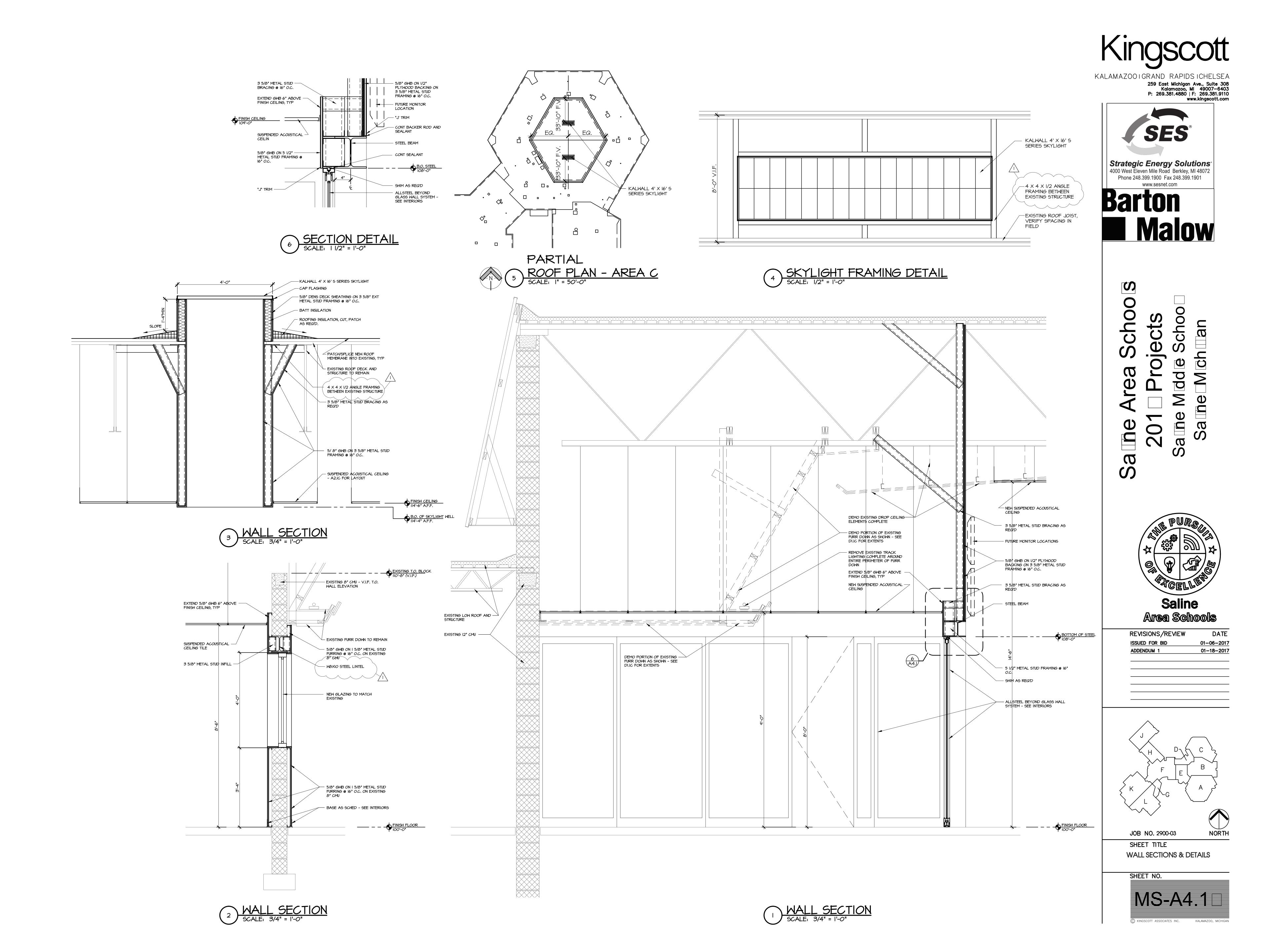
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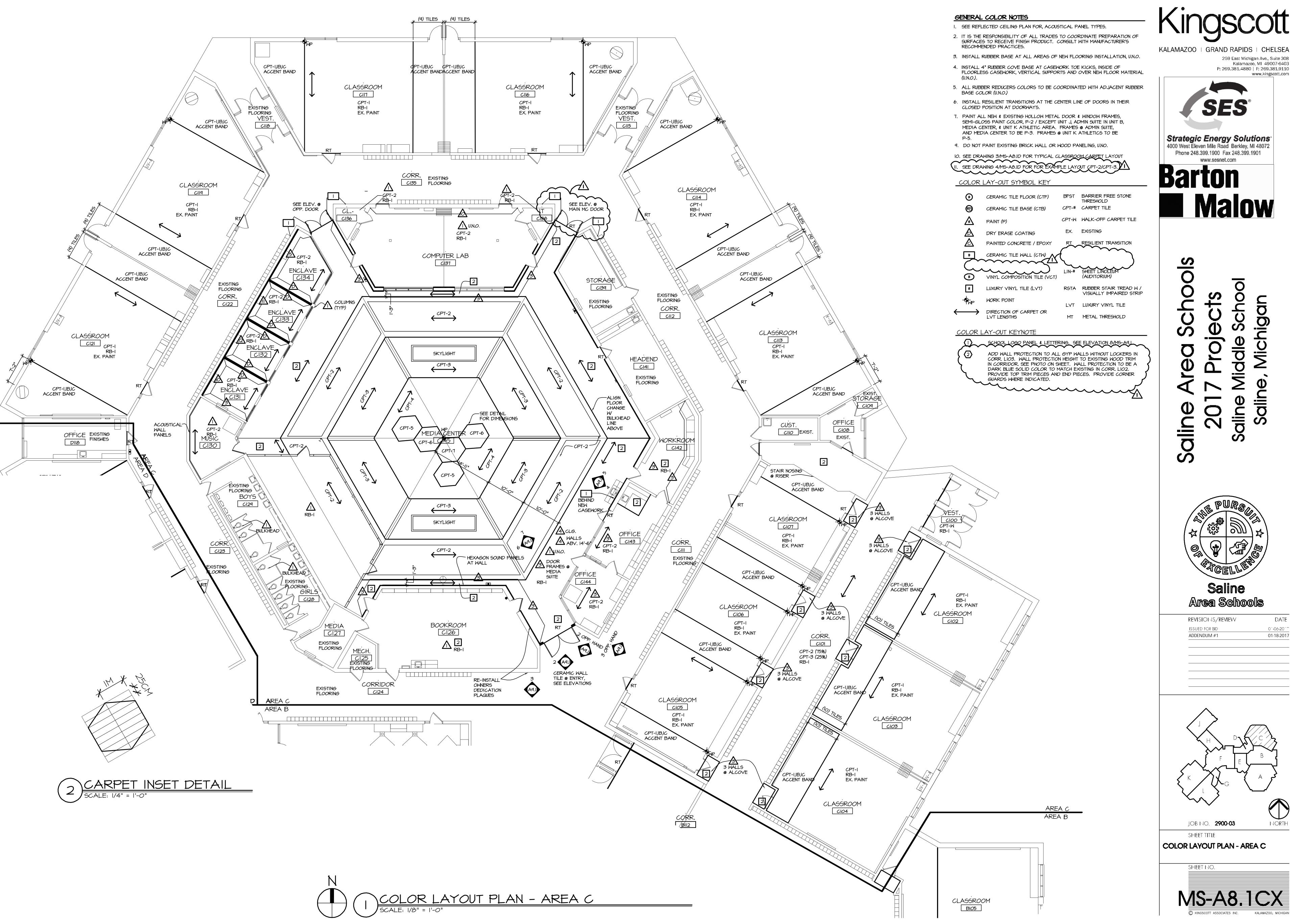
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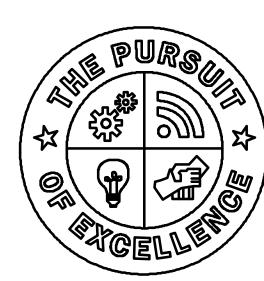


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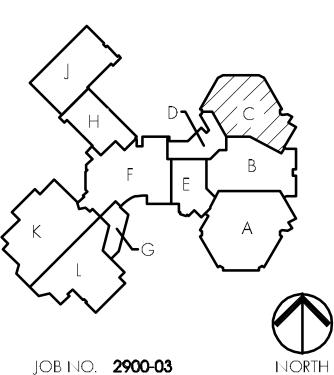


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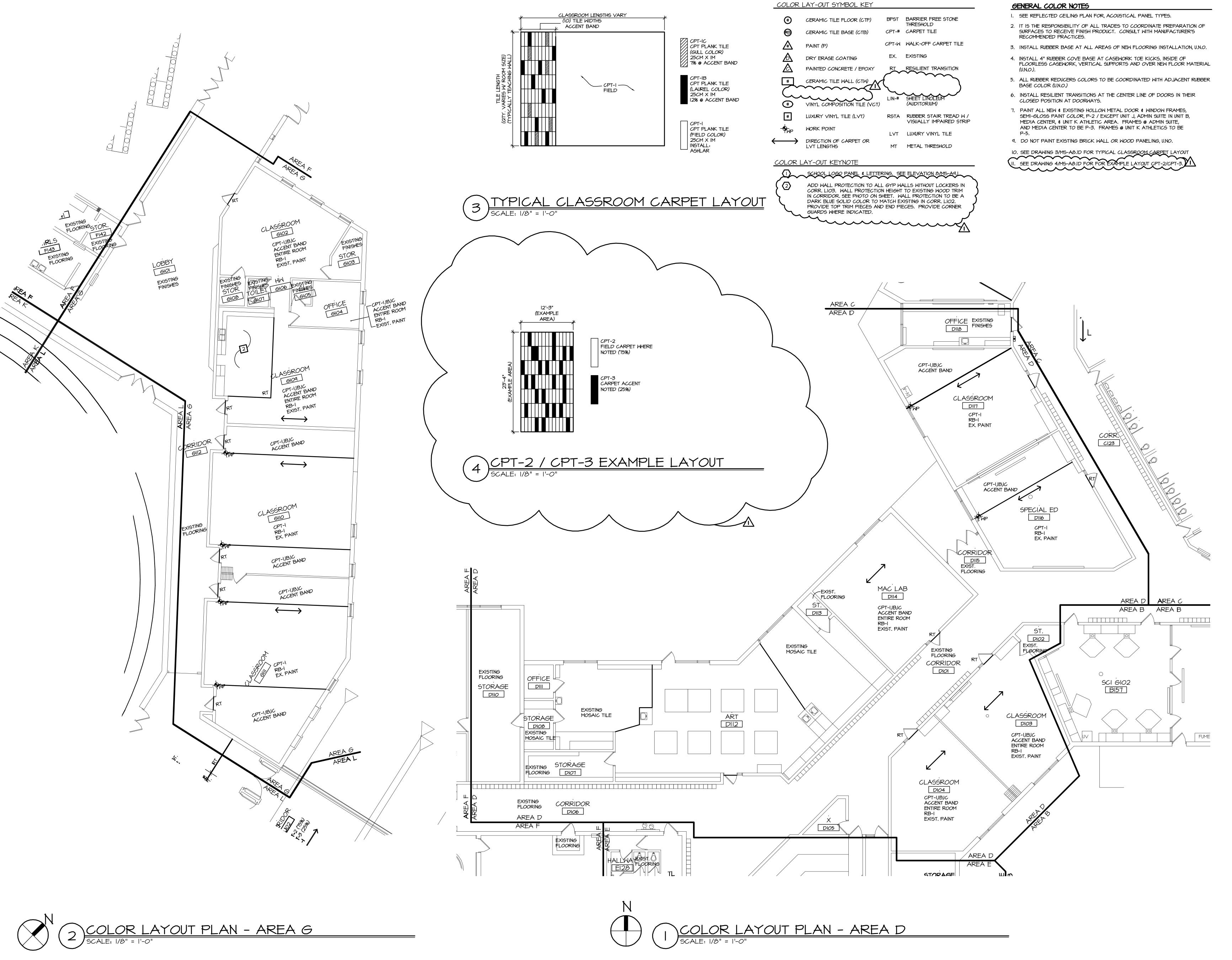
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COLOR LAYOUT PLAN - AREA C





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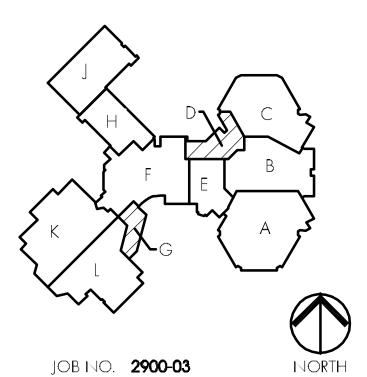
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Saline Middle School



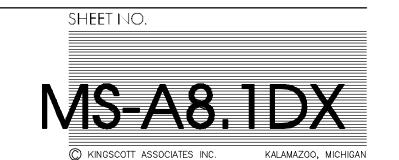
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COLOR LAYOUT PLAN - AREA D & G



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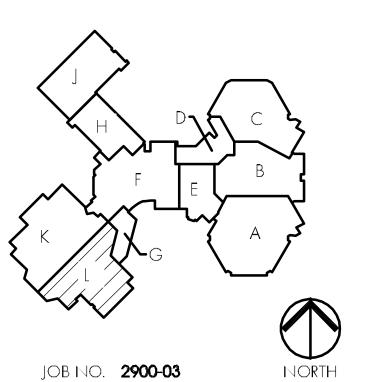
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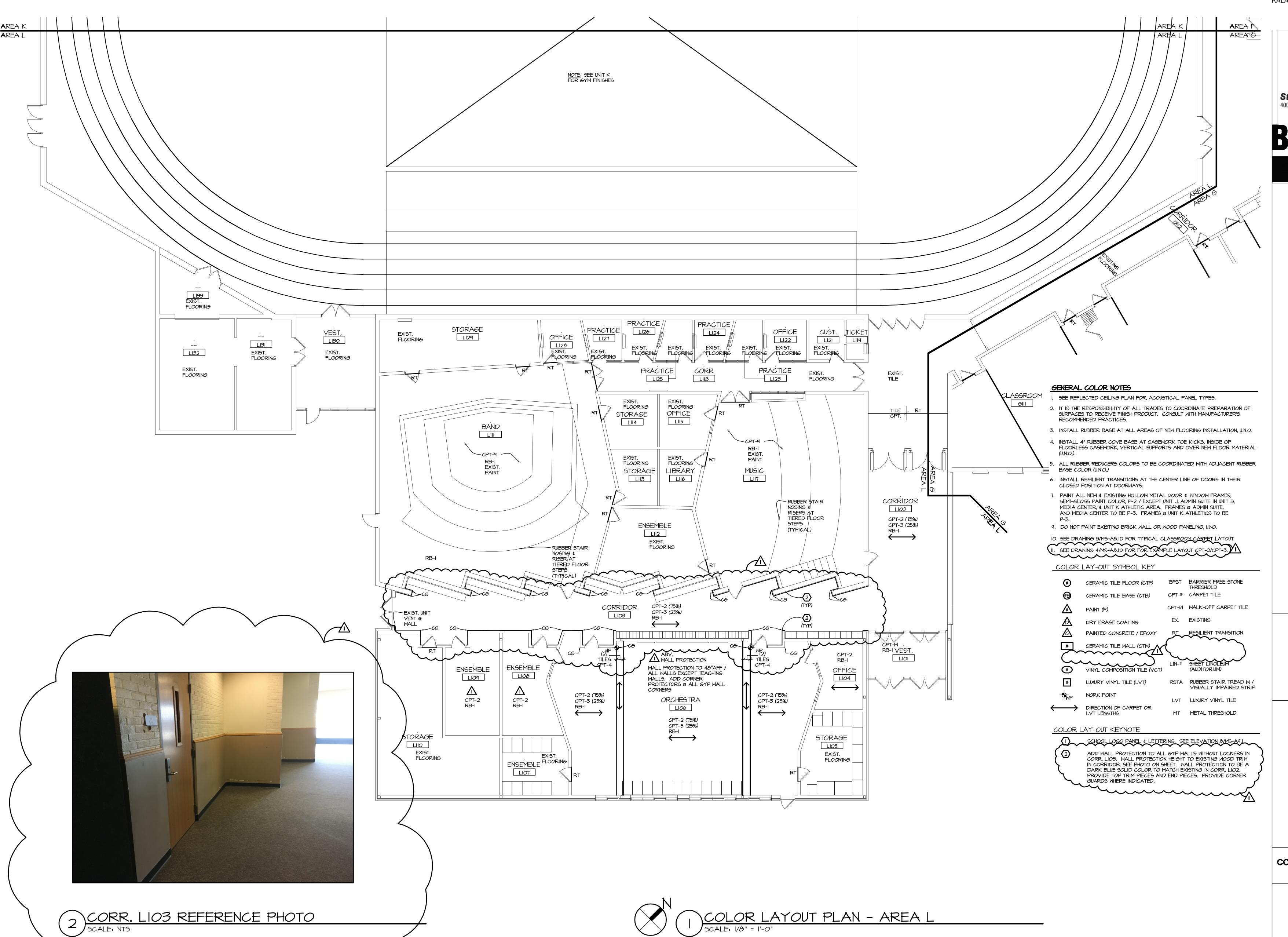
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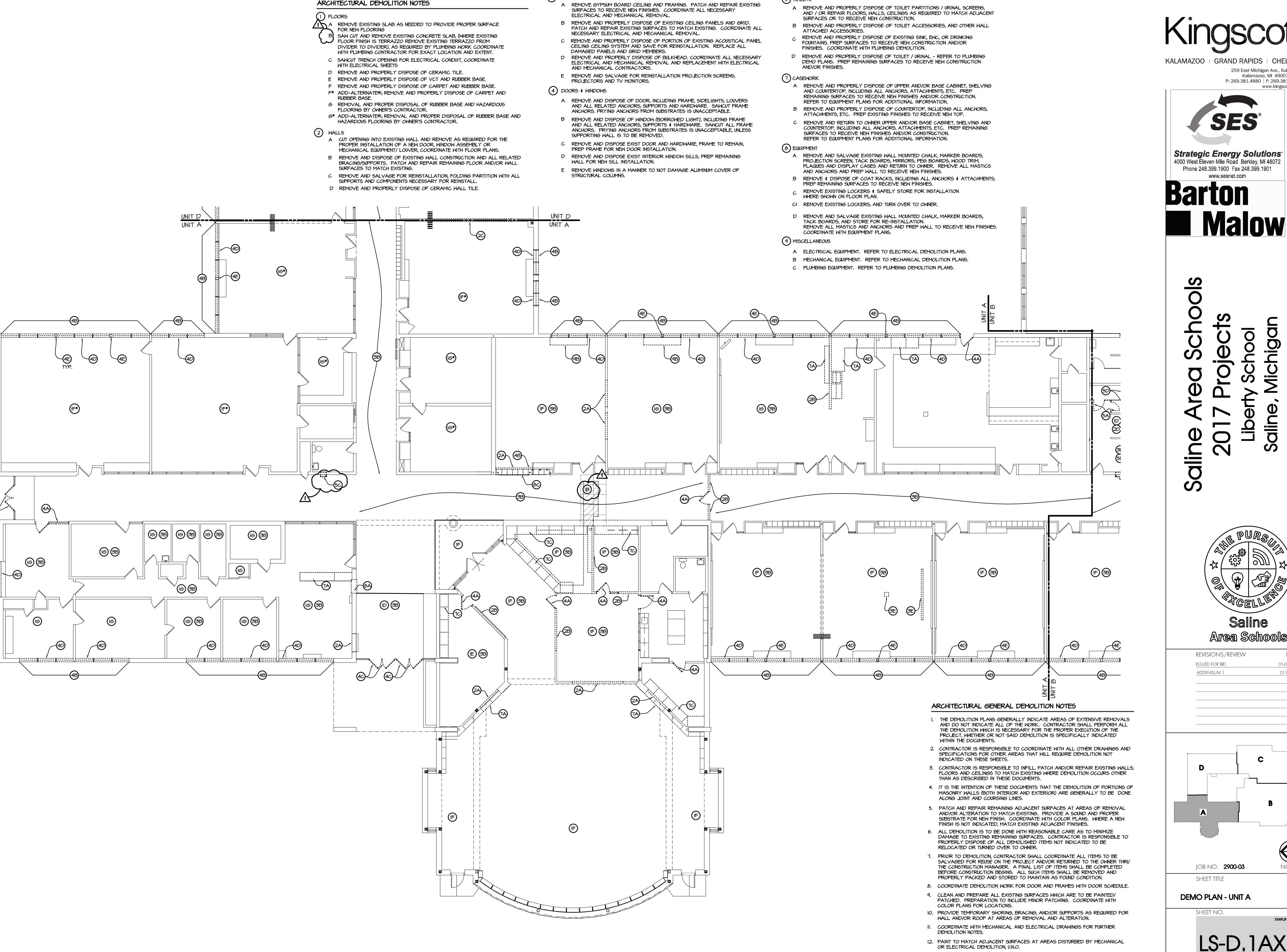
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(5) TOILETS

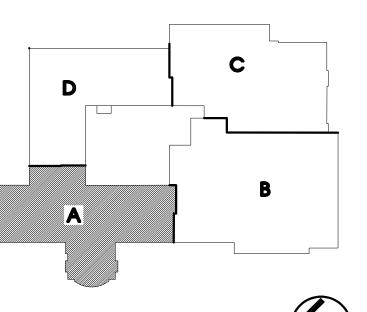
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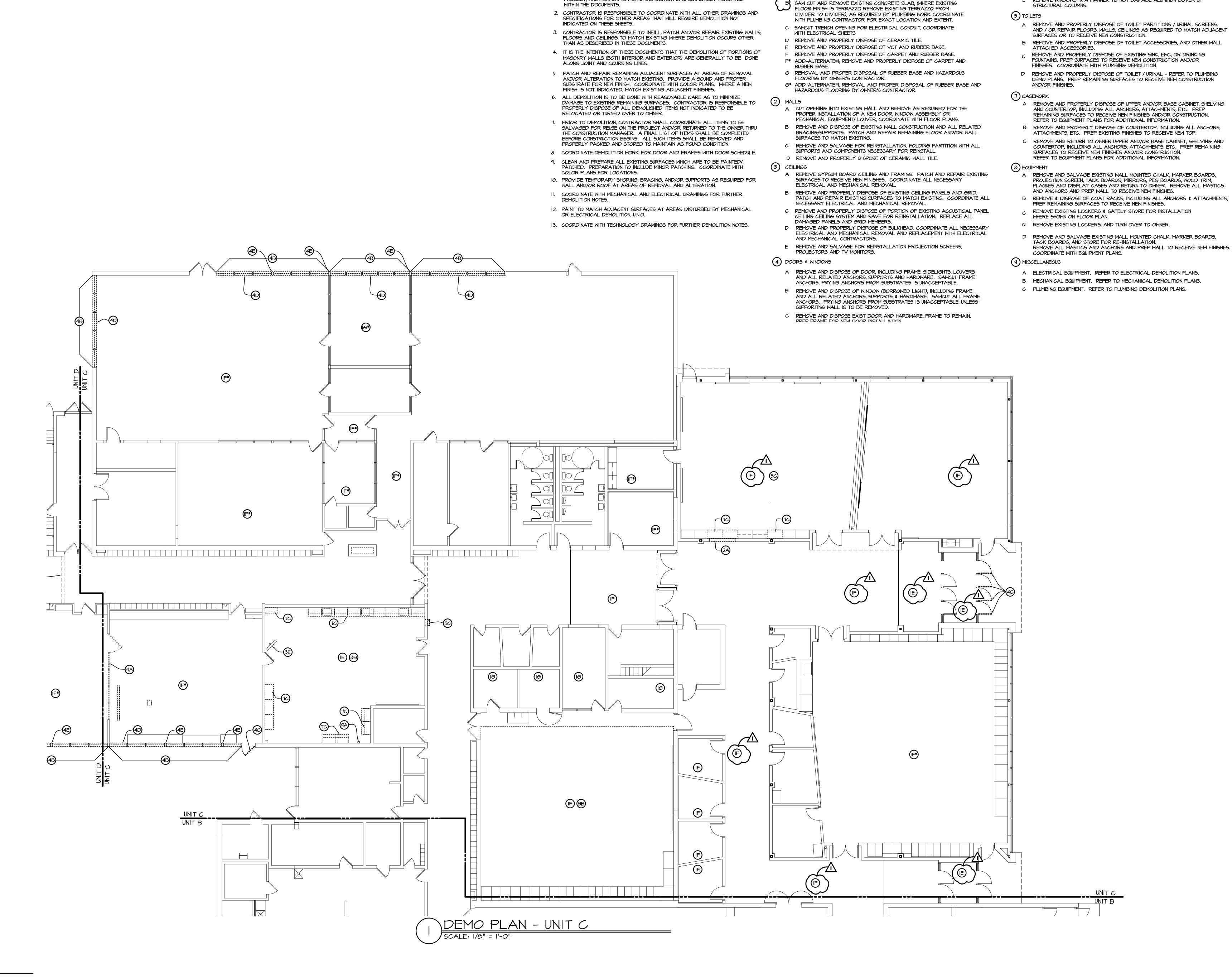


JOB NO. **2900-03**

13. COORDINATE WITH TECHNOLOGY DRAWINGS FOR FURTHER DEMOLITION NOTES.



NORTH



ARCHITECTURAL GENERAL DEMOLITION NOTES

I. THE DEMOLITION PLANS GENERALLY INDICATE AREAS OF EXTENSIVE REMOVALS

THE DEMOLITION WHICH IS NECESSARY FOR THE PROPER EXECUTION OF THE

PROJECT, WHETHER OR NOT SAID DEMOLITION IS SPECIFICALLY INDICATED

AND DO NOT INDICATE ALL OF THE WORK. CONTRACTOR SHALL PERFORM ALL

ARCHITECTURAL DEMOLITION NOTES

FOR NEW FLOORING

A REMOVE EXISTING SLAB AS NEEDED TO PROVIDE PROPER SURFACE

(I) FLOORS

PREP FRAME FOR NEW DOOR INSTALLATION. D. REMOVE AND DISPOSE EXIST INTERIOR WINDOW SILLS, PREP REMAINING WALL FOR NEW SILL INSTALLATION.

E REMOVE WINDOWS IN A MANNER TO NOT DAMAGE ALUMINUM COVER OF

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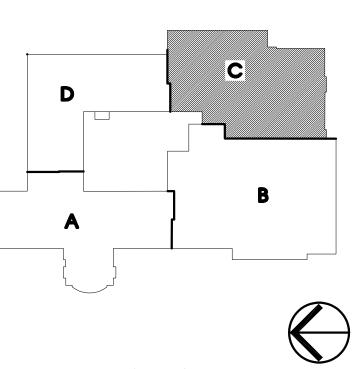
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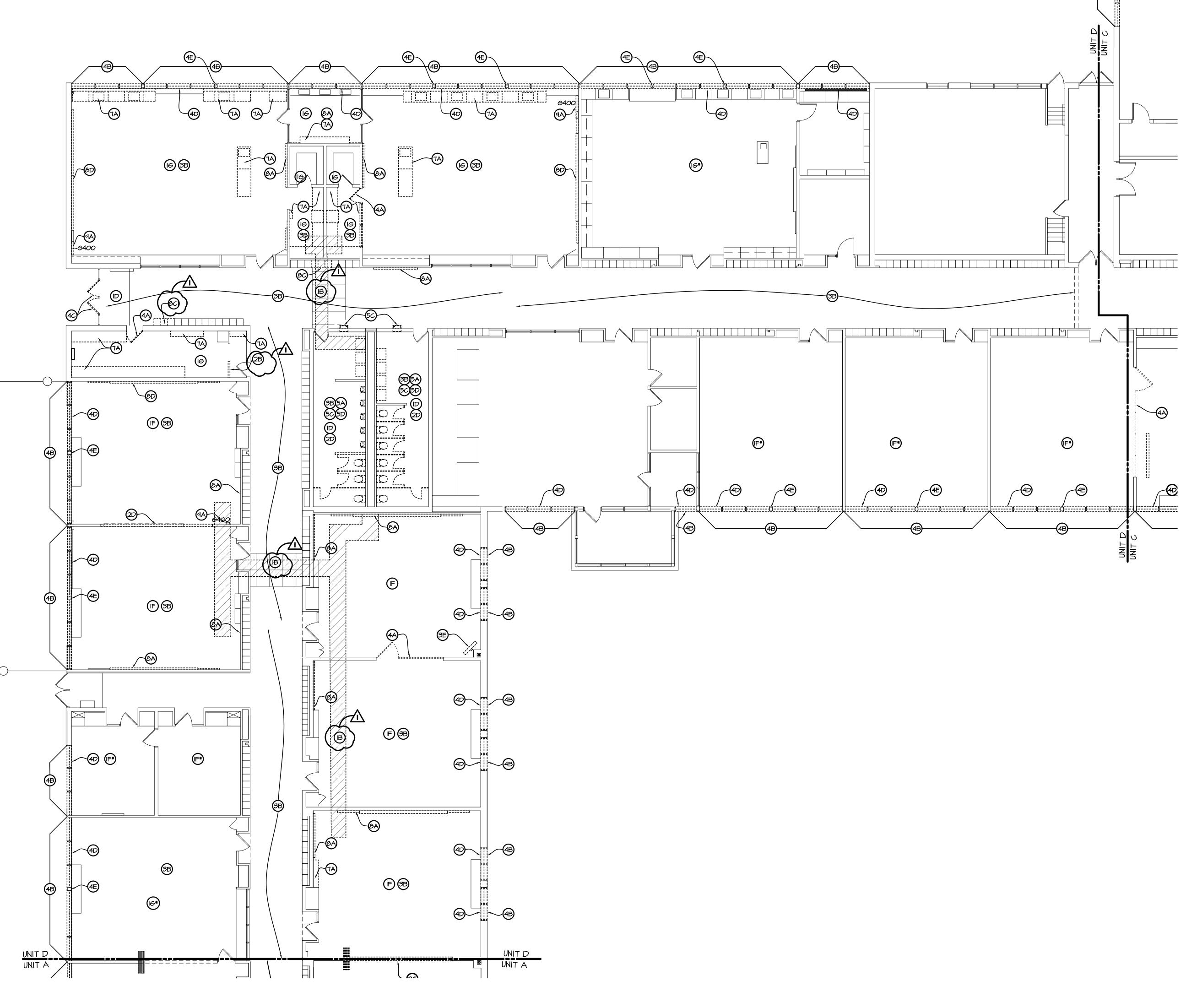
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addendum 1	0118-201 <i>7</i>



JOB NO. **2900-03** SHEET TITLE

DEMO PLAN - UNIT C





DEMO PLAN - UNIT D SCALE: 1/8" = 1'-0"

ARCHITECTURAL GENERAL DEMOLITION NOTES

THAN AS DESCRIBED IN THESE DOCUMENTS.

- I. THE DEMOLITION PLANS GENERALLY INDICATE AREAS OF EXTENSIVE REMOVALS AND DO NOT INDICATE ALL OF THE WORK. CONTRACTOR SHALL PERFORM ALL THE DEMOLITION WHICH IS NECESSARY FOR THE PROPER EXECUTION OF THE PROJECT, WHETHER OR NOT SAID DEMOLITION IS SPECIFICALLY INDICATED WITHIN THE DOCUMENTS.
- 2. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL OTHER DRAWINGS AND SPECIFICATIONS FOR OTHER AREAS THAT WILL REQUIRE DEMOLITION NOT
- INDICATED ON THESE SHEETS. 3. CONTRACTOR IS RESPONSIBLE TO INFILL, PATCH AND/OR REPAIR EXISTING WALLS, FLOORS AND CEILINGS TO MATCH EXISTING WHERE DEMOLITION OCCURS OTHER
- 4. IT IS THE INTENTION OF THESE DOCUMENTS THAT THE DEMOLITION OF PORTIONS OF MASONRY WALLS (BOTH INTERIOR AND EXTERIOR) ARE GENERALLY TO BE DONE ALONG JOINT AND COURSING LINES.
- PATCH AND REPAIR REMAINING ADJACENT SURFACES AT AREAS OF REMOVAL AND/OR ALTERATION TO MATCH EXISTING. PROVIDE A SOUND AND PROPER SUBSTRATE FOR NEW FINISH. COORDINATE WITH COLOR PLANS. WHERE A NEW FINISH IS NOT INDICATED, MATCH EXISTING ADJACENT FINISHES.
- ALL DEMOLITION IS TO BE DONE WITH REASONABLE CARE AS TO MINIMIZE DAMAGE TO EXISTING REMAINING SURFACES. CONTRACTOR IS RESPONSIBLE TO PROPERLY DISPOSE OF ALL DEMOLISHED ITEMS NOT INDICATED TO BE RELOCATED OR TURNED OVER TO OWNER.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL COORDINATE ALL ITEMS TO BE SALVAGED FOR REUSE ON THE PROJECT AND/OR RETURNED TO THE OWNER THRU THE CONSTRUCTION MANAGER. A FINAL LIST OF ITEMS SHALL BE COMPLETED BEFORE CONSTRUCTION BEGINS. ALL SUCH ITEMS SHALL BE REMOVED AND PROPERLY PACKED AND STORED TO MAINTAIN AS FOUND CONDITION.
- 8. COORDINATE DEMOLITION WORK FOR DOOR AND FRAMES WITH DOOR SCHEDULE. 9. CLEAN AND PREPARE ALL EXISTING SURFACES WHICH ARE TO BE PAINTED/
- PATCHED. PREPARATION TO INCLUDE MINOR PATCHING. COORDINATE WITH COLOR PLANS FOR LOCATIONS.
- 10. PROVIDE TEMPORARY SHORING, BRACING, AND/OR SUPPORTS AS REQUIRED FOR WALL AND/OR ROOF AT AREAS OF REMOVAL AND ALTERATION.
- II. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR FURTHER DEMOLITION NOTES.
- 12. PAINT TO MATCH ADJACENT SURFACES AT AREAS DISTURBED BY MECHANICAL OR ELECTRICAL DEMOLITION, U.N.O.
- 13. COORDINATE WITH TECHNOLOGY DRAWINGS FOR FURTHER DEMOLITION NOTES.

ARCHITECTURAL DEMOLITION NOTES

A REMOVE EXISTING SLAB AS NEEDED TO PROVIDE PROPER SURFACE FOR NEW FLOORING SAW CUT AND REMOVE EXISTING CONCRETE SLAB, (WHERE EXISTING

- FLOOR FINISH IS TERRAZZO REMOVE EXISTING TERRAZZO FROM DIVIDER TO DIVIDER), AS REQUIRED BY PLUMBING WORK COORDINATE WITH PLUMBING CONTRACTOR FOR EXACT LOCATION AND EXTENT. C SAWCUT TRENCH OPENING FOR ELECTRICAL CONDUIT, COORDINATE
- WITH ELECTRICAL SHEETS D REMOVE AND PROPERLY DISPOSE OF CERAMIC TILE.
- E REMOVE AND PROPERLY DISPOSE OF VCT AND RUBBER BASE.
- F REMOVE AND PROPERLY DISPOSE OF CARPET AND RUBBER BASE.
- F* ADD-ALTERNATE#I; REMOVE AND PROPERLY DISPOSE OF CARPET AND RUBBER BASE. REMOVAL AND PROPER DISPOSAL OF RUBBER BASE AND HAZARDOUS
- FLOORING BY OWNER'S CONTRACTOR. G* ADD-ALTERNATE#I; REMOVAL AND PROPER DISPOSAL OF RUBBER BASE AND
- HAZARDOUS FLOORING BY OWNER'S CONTRACTOR.

- A CUT OPENING INTO EXISTING WALL AND REMOVE AS REQUIRED FOR THE PROPER INSTALLATION OF A NEW DOOR, WINDOW ASSEMBLY OR MECHANICAL EQUIPMENT/ LOUVER, COORDINATE WITH FLOOR PLANS.
- REMOVE AND DISPOSE OF EXISTING WALL CONSTRUCTION AND ALL RELATED BRACING/SUPPORTS. PATCH AND REPAIR REMAINING FLOOR AND/OR WALL SURFACES TO MATCH EXISTING.
- C REMOVE AND SALVAGE FOR REINSTALLATION, FOLDING PARTITION WITH ALL SUPPORTS AND COMPONENTS NECESSARY FOR REINSTALL. D REMOVE AND PROPERLY DISPOSE OF CERAMIC WALL TILE.

3 CEILINGS

- A REMOVE GYPSUM BOARD CEILING AND FRAMING. PATCH AND REPAIR EXISTING SURFACES TO RECEIVE NEW FINISHES. COORDINATE ALL NECESSARY ELECTRICAL AND MECHANICAL REMOVAL.
- B REMOVE AND PROPERLY DISPOSE OF EXISTING CEILING PANELS AND GRID. PATCH AND REPAIR EXISTING SURFACES TO MATCH EXISTING. COORDINATE ALL NECESSARY ELECTRICAL AND MECHANICAL REMOVAL
- REMOVE AND PROPERLY DISPOSE OF PORTION OF EXISTING ACOUSTICAL PANEL CEILING CEILING SYSTEM AND SAVE FOR REINSTALLATION. REPLACE ALL DAMAGED PANELS AND GRID MEMBERS.
- D REMOVE AND PROPERLY DISPOSE OF BULKHEAD. COORDINATE ALL NECESSARY ELECTRICAL AND MECHANICAL REMOVAL AND REPLACEMENT WITH ELECTRICAL AND MECHANICAL CONTRACTORS.
- REMOVE AND SALVAGE FOR REINSTALLATION PROJECTION SCREENS, PROJECTORS AND TV MONITORS.

4 DOORS & WINDOWS

- A REMOVE AND DISPOSE OF DOOR, INCLUDING FRAME, SIDELIGHTS, LOUVERS AND ALL RELATED ANCHORS, SUPPORTS AND HARDWARE. SAWCUT FRAME ANCHORS. PRYING ANCHORS FROM SUBSTRATES IS UNACCEPTABLE.
- B REMOVE AND DISPOSE OF WINDOW (BORROWED LIGHT), INCLUDING FRAME AND ALL RELATED ANCHORS, SUPPORTS & HARDWARE. SAWCUT ALL FRAME ANCHORS. PRYING ANCHORS FROM SUBSTRATES IS UNACCEPTABLE, UNLESS SUPPORTING WALL IS TO BE REMOVED.
- REMOVE AND DISPOSE EXIST DOOR AND HARDWARE, FRAME TO REMAIN, PREP FRAME FOR NEW DOOR INSTALLATION.
- D REMOVE AND DISPOSE EXIST INTERIOR WINDOW SILLS, PREP REMAINING WALL FOR NEW SILL INSTALLATION.
- E REMOVE WINDOWS IN A MANNER TO NOT DAMAGE ALUMINUM COVER OF STRUCTURAL COLUMNS.

- REMOVE AND PROPERLY DISPOSE OF TOILET PARTITIONS / URINAL SCREENS, AND / OR REPAIR FLOORS, WALLS, CEILINGS AS REQUIRED TO MATCH ADJACENT SURFACES OR TO RECEIVE NEW CONSTRUCTION.
- B REMOVE AND PROPERLY DISPOSE OF TOILET ACCESSORIES, AND OTHER WALL ATTACHED ACCESSORIES.
- REMOVE AND PROPERLY DISPOSE OF EXISTING SINK, EWC, OR DRINKING FOUNTAINS. PREP SURFACES TO RECEIVE NEW CONSTRUCTION AND/OR
- FINISHES. COORDINATE WITH PLUMBING DEMOLITION. D REMOVE AND PROPERLY DISPOSE OF TOILET / URINAL - REFER TO PLUMBING DEMO PLANS. PREP REMAINING SURFACES TO RECEIVE NEW CONSTRUCTION

AND/OR FINISHES. 7 CASEMORK

- A REMOVE AND PROPERLY DISPOSE OF UPPER AND/OR BASE CABINET, SHELVING AND COUNTERTOP, INCLUDING ALL ANCHORS, ATTACHMENTS, ETC. PREP REMAINING SURFACES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION. REFER TO EQUIPMENT PLANS FOR ADDITIONAL INFORMATION.
- B REMOVE AND PROPERLY DISPOSE OF COUNTERTOP, INCLUDING ALL ANCHORS, ATTACHMENTS, ETC. PREP EXISTING FINISHES TO RECEIVE NEW TOP.
- C REMOVE AND RETURN TO OWNER UPPER AND/OR BASE CABINET, SHELVING AND COUNTERTOP, INCLUDING ALL ANCHORS, ATTACHMENTS, ETC. PREP REMAINING SURFACES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION. REFER TO EQUIPMENT PLANS FOR ADDITIONAL INFORMATION.

8 EQUIPMENT

- A REMOVE AND SALVAGE EXISTING WALL MOUNTED CHALK, MARKER BOARDS, PROJECTION SCREEN, TACK BOARDS, MIRRORS, PEG BOARDS, WOOD TRIM, PLAQUES AND DISPLAY CASES AND RETURN TO OWNER. REMOVE ALL MASTICS AND ANCHORS AND PREP WALL TO RECEIVE NEW FINISHES.
- B REMOVE & DISPOSE OF COAT RACKS, INCLUDING ALL ANCHORS & ATTACHMENTS,
- PREP REMAINING SURFACES TO RECEIVE NEW FINISHES. REMOVE EXISTING LOCKERS & SAFELY STORE FOR INSTALLATION
- WHERE SHOWN ON FLOOR PLAN.
- CI REMOVE EXISTING LOCKERS, AND TURN OVER TO OWNER.
- D REMOVE AND SALVAGE EXISTING WALL MOUNTED CHALK, MARKER BOARDS, TACK BOARDS, AND STORE FOR RE-INSTALLATION. REMOVE ALL MASTICS AND ANCHORS AND PREP WALL TO RECEIVE NEW FINISHES. COORDINATE WITH EQUIPMENT PLANS.

(9) MISCELLANEOUS

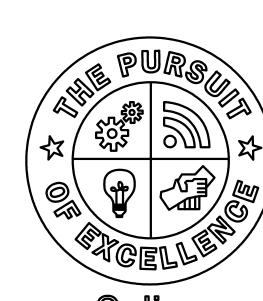
- A ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DEMOLITION PLANS.
- B MECHANICAL EQUIPMENT. REFER TO MECHANICAL DEMOLITION PLANS. C PLUMBING EQUIPMENT. REFER TO PLUMBING DEMOLITION PLANS.



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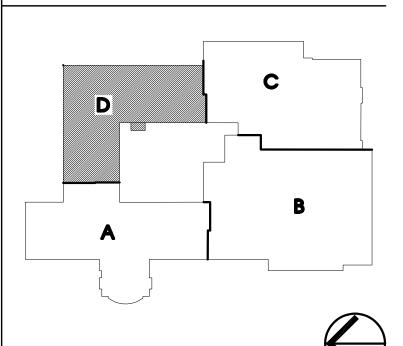






Area Schools

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addendum 1	0118-2017



JOB NO. **2900-03**

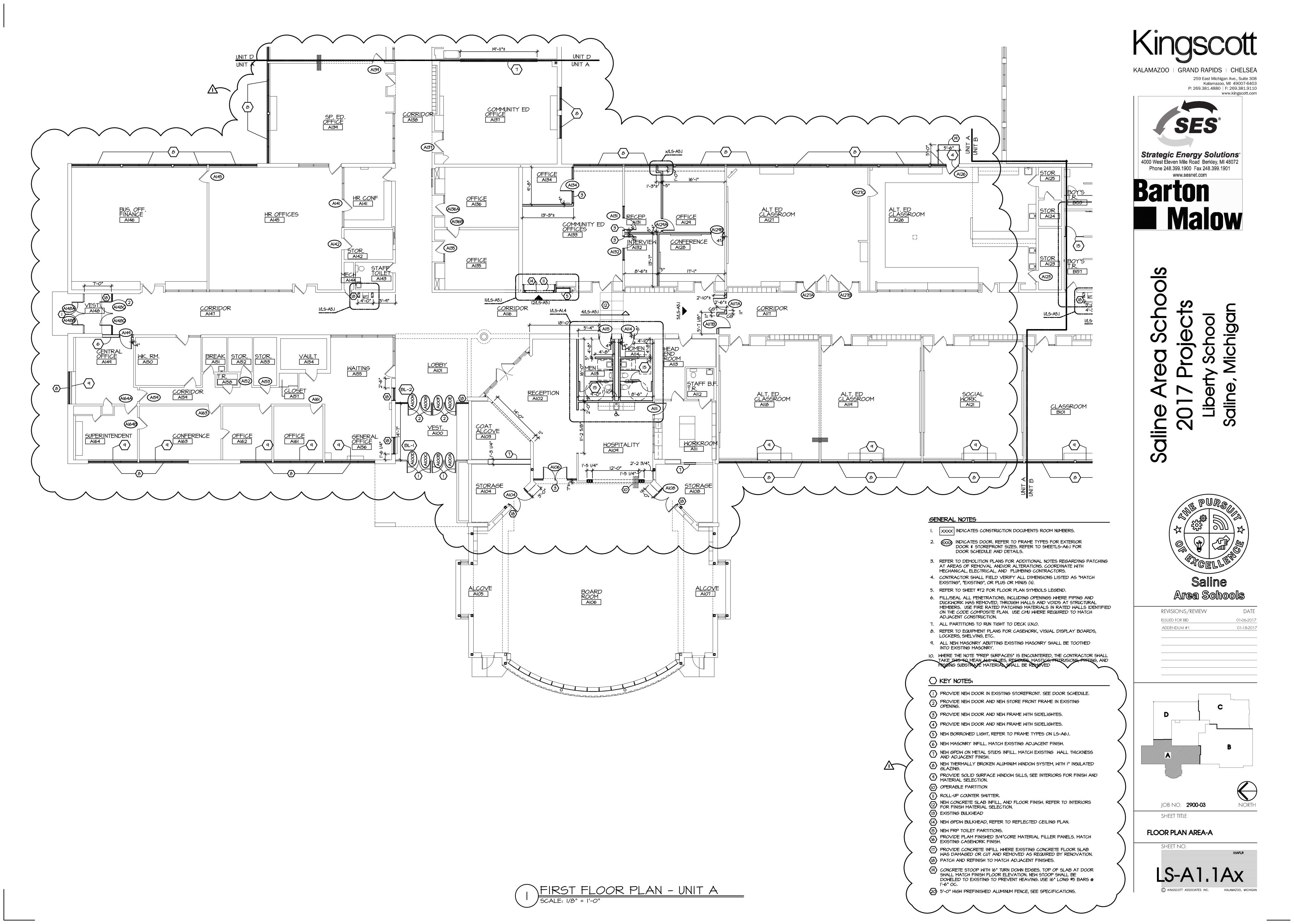
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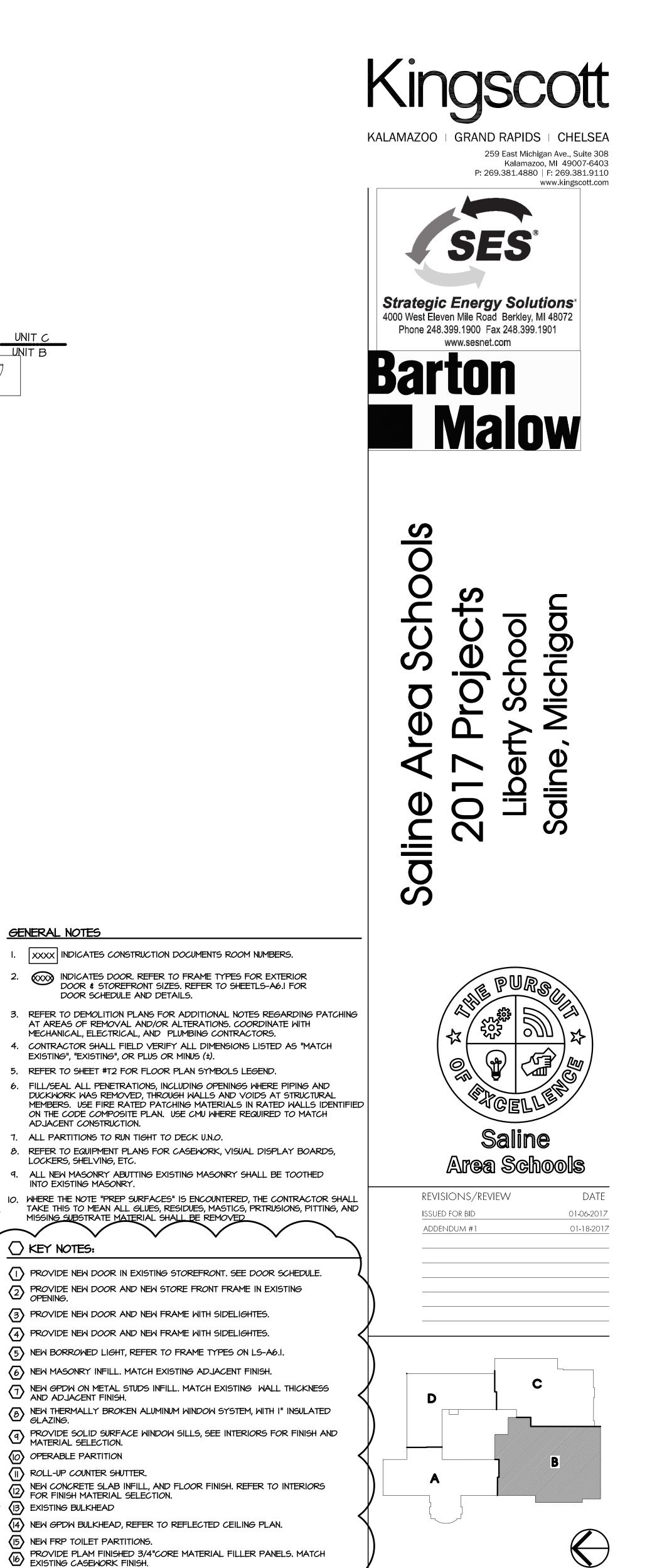
DEMO PLAN - UNIT D



(C) KINGSCOTT ASSOCIATES INC.

NORTH





JOB NO. **2900-03**

FLOOR PLAN AREA-B

(C) KINGSCOTT ASSOCIATES INC.

SHEET TITLE

SHEET NO.

NORTH

(IO) OPERABLE PARTITION

EXISTING BULKHEAD

PASSAGE BIOB

MECH BIO9

BIII

ROLL-UP COUNTER SHUTTER.

(15) NEW FRP TOILET PARTITIONS.

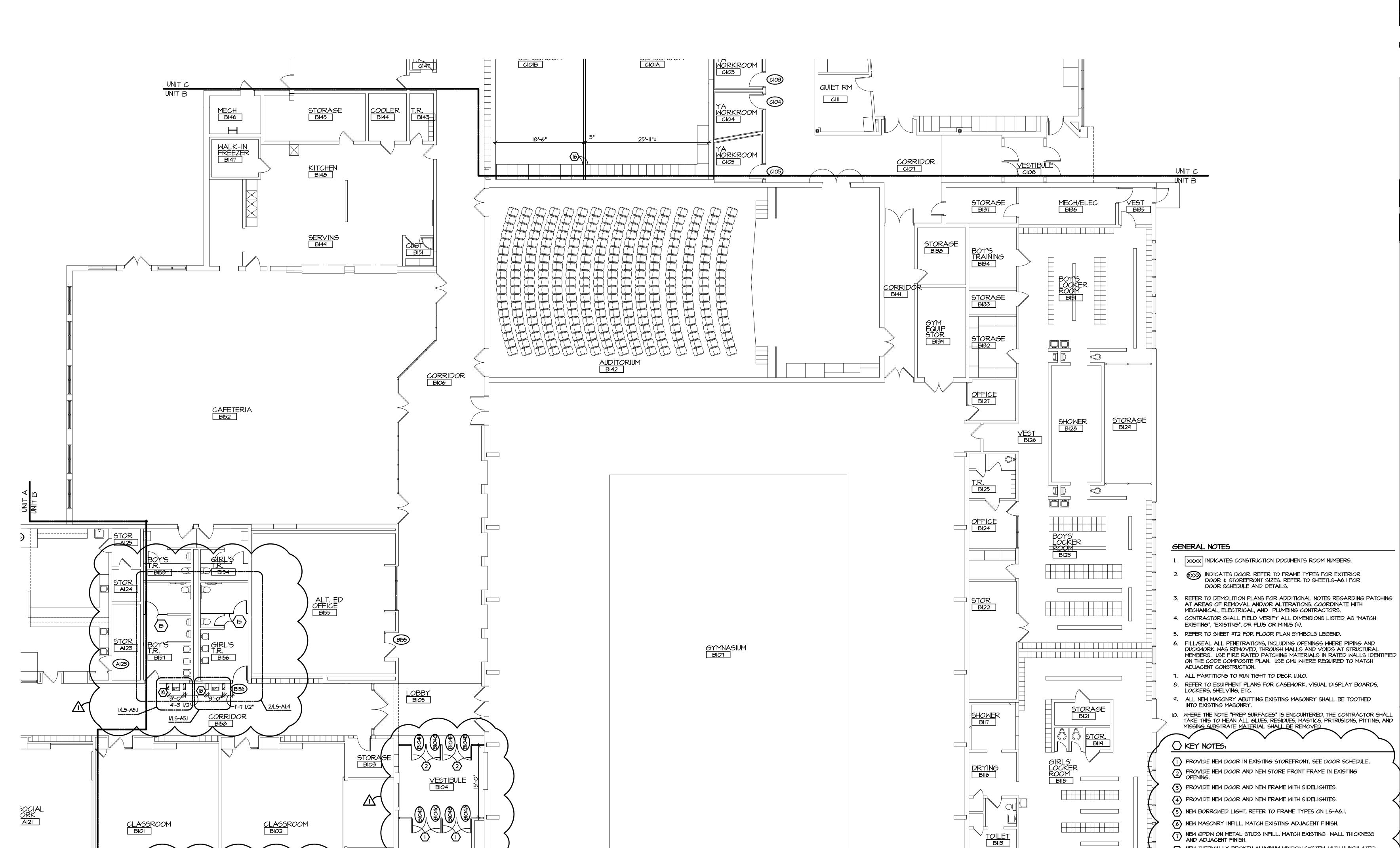
PROVIDE CONCRETE INFILL WHERE EXISTING CONCRETE FLOOR SLAB WAS DAMAGED OR CUT AND REMOVED AS REQUIRED BY RENOVATION.

CONCRETE STOOP WITH 16" TURN DOWN EDGES. TOP OF SLAB AT DOOR SHALL MATCH FINISH FLOOR ELEVATION. NEW STOOP SHALL BE

5'-0" HIGH PREFINISHED ALUMINUM FENCE, SEE SPECIFICATIONS.

DOWELED TO EXISTING TO PREVENT HEAVING. USE 16" LONG #5 BARS @

(18) PATCH AND REFINISH TO MATCH ADJACENT FINISHES.



FIRST FLOOR PLAN - UNIT B

SCALE: 1/8" = 1'-0"

GENERAL NOTES

- I. XXXX INDICATES CONSTRUCTION DOCUMENTS ROOM NUMBERS.
- 2. INDICATES DOOR, REFER TO FRAME TYPES FOR EXTERIOR DOOR & STOREFRONT SIZES. REFER TO SHEETLS-A6.I FOR DOOR SCHEDULE AND DETAILS.
- 3. REFER TO DEMOLITION PLANS FOR ADDITIONAL NOTES REGARDING PATCHING AT AREAS OF REMOVAL AND/OR ALTERATIONS. COORDINATE WITH
- MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS. 4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS LISTED AS "MATCH
- EXISTING", "EXISTING", OR PLUS OR MINUS (±).
- 5. REFER TO SHEET #T2 FOR FLOOR PLAN SYMBOLS LEGEND. 6. FILL/SEAL ALL PENETRATIONS, INCLUDING OPENINGS WHERE PIPING AND DUCKWORK WAS REMOVED, THROUGH WALLS AND VOIDS AT STRUCTURAL MEMBERS. USE FIRE RATED PATCHING MATERIALS IN RATED WALLS IDENTIFIED ON THE CODE COMPOSITE PLAN. USE CMU WHERE REQUIRED TO MATCH
- ADJACENT CONSTRUCTION. 7. ALL PARTITIONS TO RUN TIGHT TO DECK U.N.O.
- 8. REFER TO EQUIPMENT PLANS FOR CASEWORK, VISUAL DISPLAY BOARDS,
- LOCKERS, SHELVING, ETC. 9. ALL NEW MASONRY ABUTTING EXISTING MASONRY SHALL BE TOOTHED
- INTO EXISTING MASONRY.
- 10. WHERE THE NOTE "PREP SURFACES" IS ENCOUNTERED, THE CONTRACTOR SHALL TAKE THIS TO MEAN ALL GLUES, RESIDUES, MASTICS, PRTRUSIONS, PITTING, AND MISSING SUBSTRATE MATERIAL SHALL BE REMOVED

- KEY NOTES:
- PROVIDE NEW DOOR IN EXISTING STOREFRONT. SEE DOOR SCHEDULE.
- PROVIDE NEW DOOR AND NEW STORE FRONT FRAME IN EXISTING OPENING.

- PROVIDE NEW DOOR AND NEW FRAME WITH SIDELIGHTES.
- PROVIDE NEW DOOR AND NEW FRAME WITH SIDELIGHTES.
- (5) NEW BORROWED LIGHT, REFER TO FRAME TYPES ON LS-A6.1.
- (6) NEW MASONRY INFILL. MATCH EXISTING ADJACENT FINISH. NEW GPDW ON METAL STUDS INFILL. MATCH EXISTING WALL THICKNESS AND ADJACENT FINISH.
- NEW THERMALLY BROKEN ALUMINUM WINDOW SYSTEM, WITH I" INSULATED GLAZING.
- PROVIDE SOLID SURFACE WINDOW SILLS, SEE INTERIORS FOR FINISH AND MATERIAL SELECTION.
- (IO) OPERABLE PARTITION
- (II) ROLL-UP COUNTER SHUTTER.
- NEW CONCRETE SLAB INFILL, AND FLOOR FINISH. REFER TO INTERIORS FOR FINISH MATERIAL SELECTION. (13) EXISTING BULKHEAD
- (14) NEW GPDW BULKHEAD, REFER TO REFLECTED CEILING PLAN.
- (15) NEW FRP TOILET PARTITIONS.
- PROVIDE PLAM FINISHED 3/4"CORE MATERIAL FILLER PANELS. MATCH EXISTING CASEMORK FINISH.
- PROVIDE CONCRETE INFILL WHERE EXISTING CONCRETE FLOOR SLAB
- (B) PATCH AND REFINISH TO MATCH ADJACENT FINISHES.

WAS DAMAGED OR CUT AND REMOVED AS REQUIRED BY RENOVATION.

- (9) CONCRETE STOOP WITH 16" TURN DOWN EDGES. TOP OF SLAB AT DOOR SHALL MATCH FINISH FLOOR ELEVATION. NEW STOOP SHALL BE DOWELED TO EXISTING TO PREVENT HEAVING. USE 16" LONG #5 BARS @
- 5'-0" HIGH PREFINISHED ALUMINUM FENCE, SEE SPECIFICATIONS.



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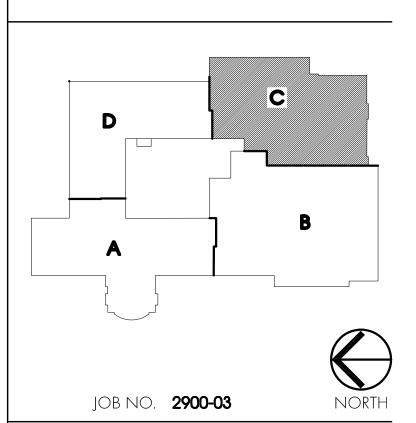
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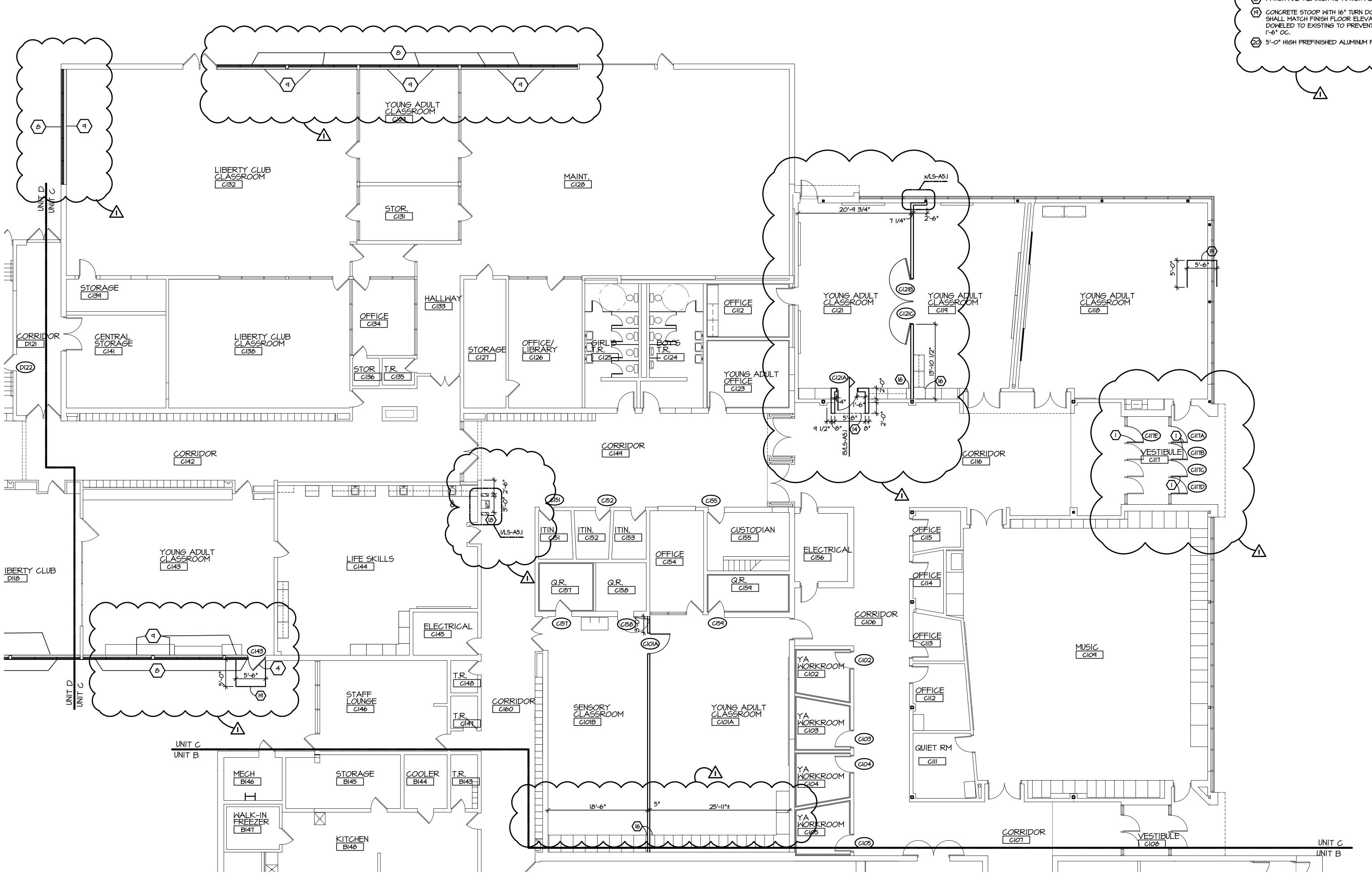


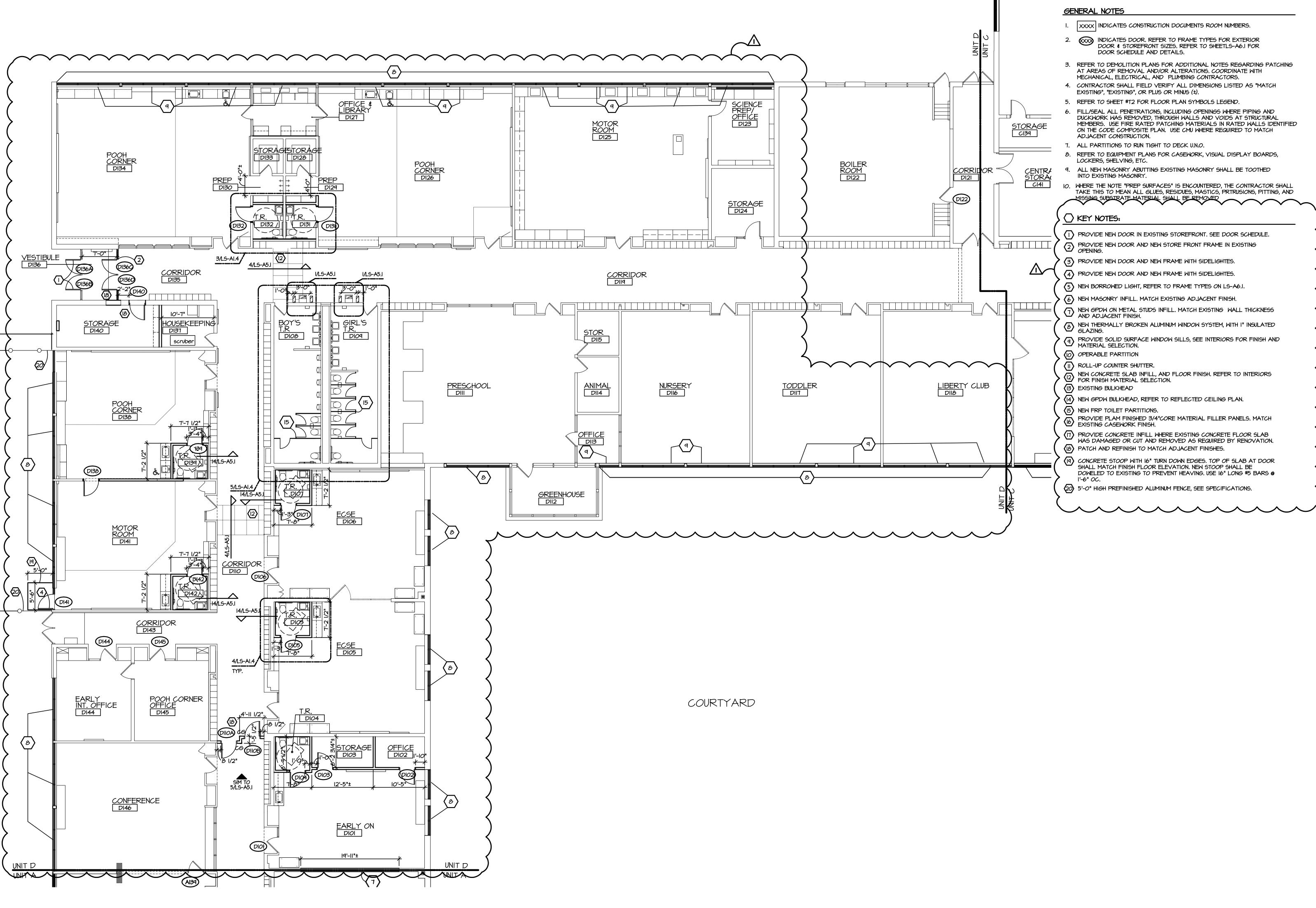
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SHEET TITLE

FLOOR PLAN AREA-C





FIRST FLOOR PLAN - UNIT D

SCALE: 1/8" = 1'-0"

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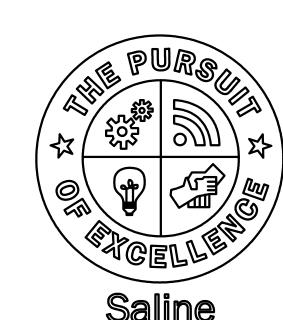
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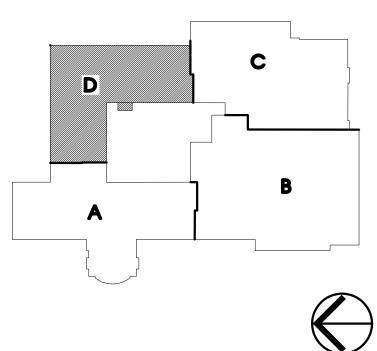
Barton Malow

Saline, Michigan



Saline Area Schools

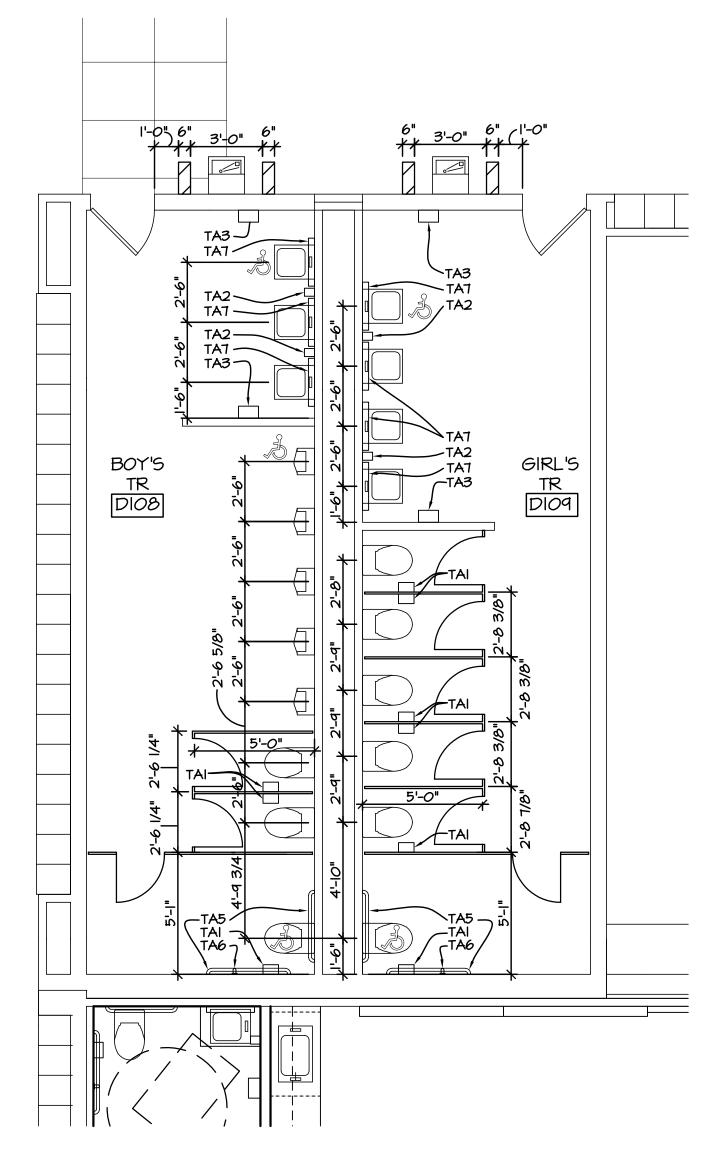
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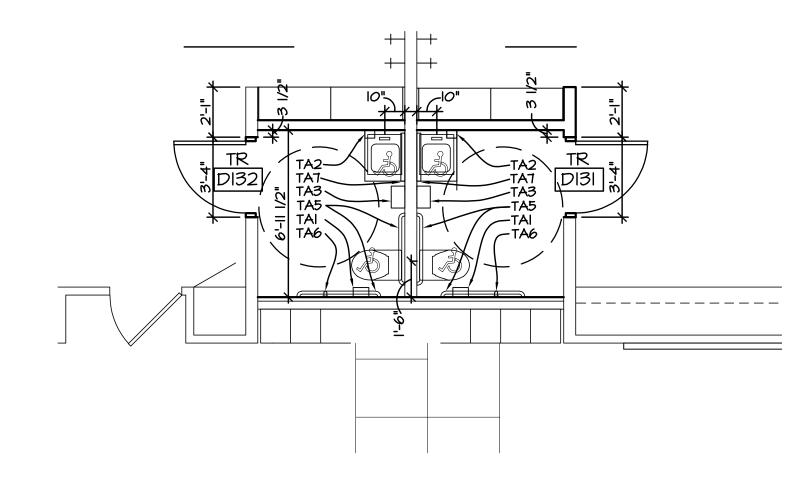
JOB NO. **2900-03**SHEET TITLE

FLOOR PLAN - UNIT D





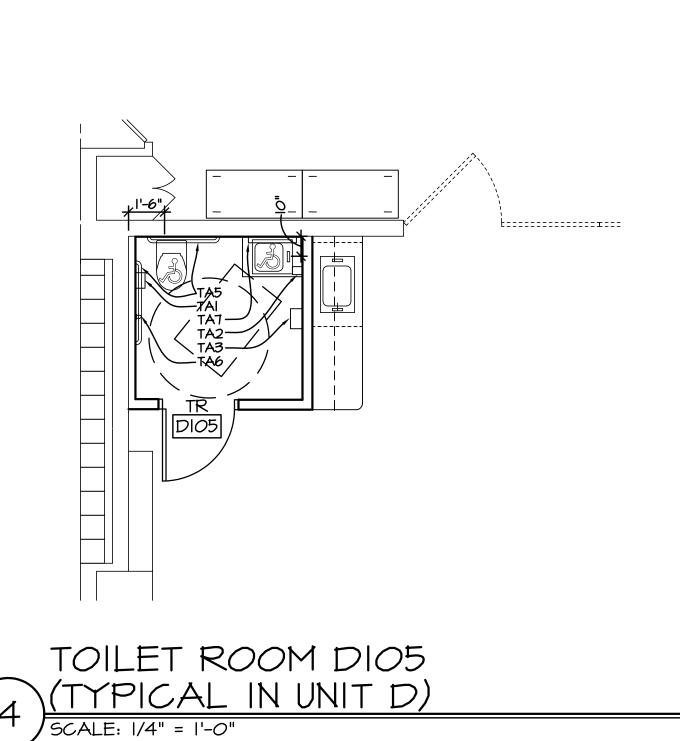


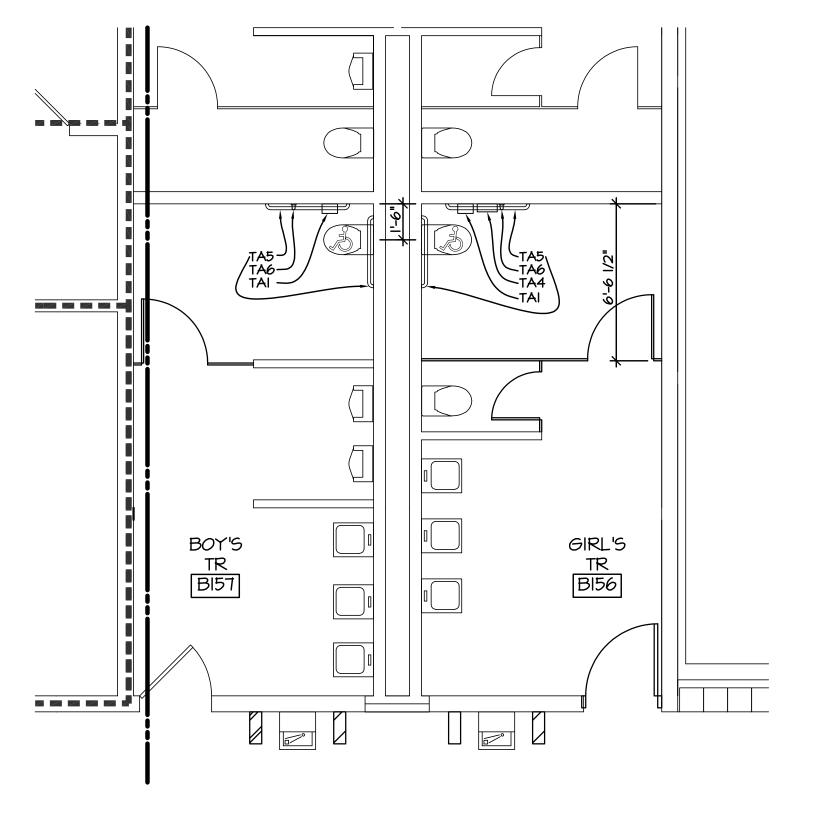


TOILET ROOM DI31

TOILET ROOM DI32

SCALE: 1/4" = 1'-0"





BOY'S TOILET ROOM BI57 &

Output

Output

Discrete Boy's Toiler Room BI57 &

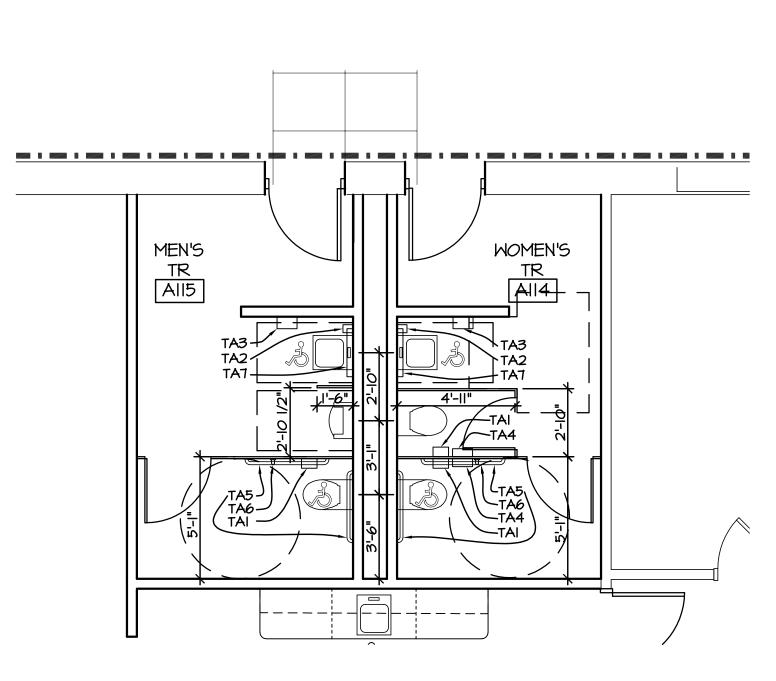
Scale: 1/4" = 1'-0"

MARK	DESCRIPTION
TAI	TOILET TISSUE DISPENSER - BY OWNER
TA2	SOAP DISPENSER - BY OWNER
TA3	PAPER TOWEL DISPENSER - BY OWNER
TA4	SANITARY NAPKIN DISPOSAL - BY OWNER
TA5	GRAB BARS (HORIZONTAL) 36" AND 42"
TA6	GRAB BAR (VERTICAL) 18"
TA7	24"W x 36"H BARRIER FREE MIRROR

NOTES

- I. REFER TO SPECIFICATION SECTION 102800.
- TOILET ACCESSORIES NOTED "BY OWNER" SHALL BE CONTRACTOR INSTALLED. REFER TO SHEET T3 FOR TYPICAL MOUNTING HEIGHTS.
- 3. SEE EQUIPMENT PLANS FOR ADDITIONAL ITEM LOCATIONS.
- PLUMBING FIXTURE TO MEET ALL ADA & STATE BARRIER FREE CODES.

 4.
 SLOPE FLOOR MIN. 1/8" PER FOOT MIN. TO DRAIN. U.N.O.



MEN'S TOILET ROOM All5 &

| MOMEN'S TOILET ROOM All4 | SCALE: 1/4" = 1'-0"

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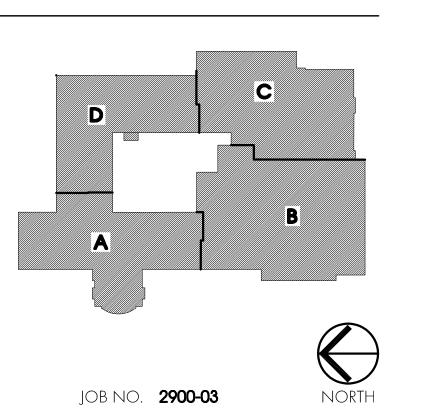


Barton Malow

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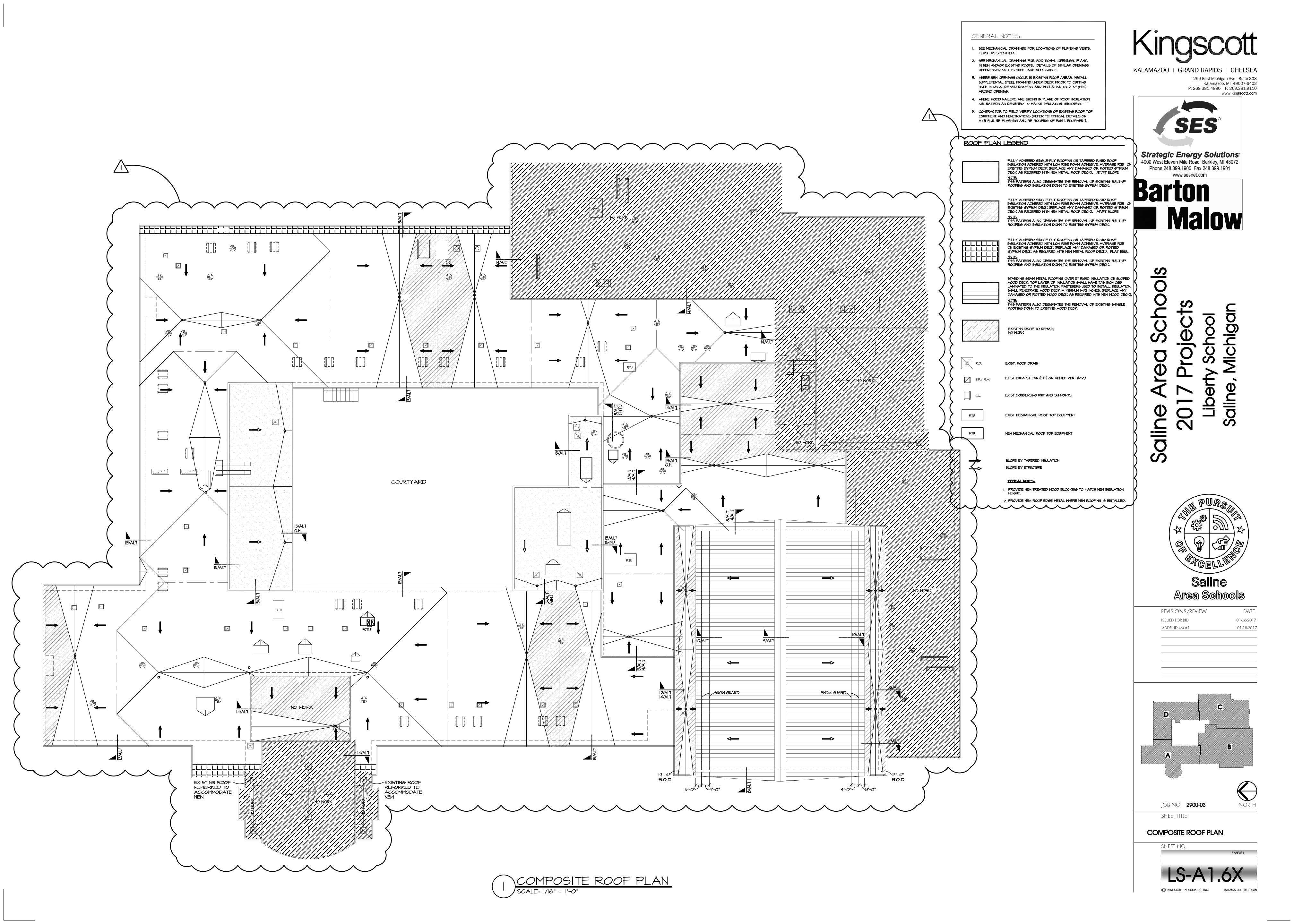
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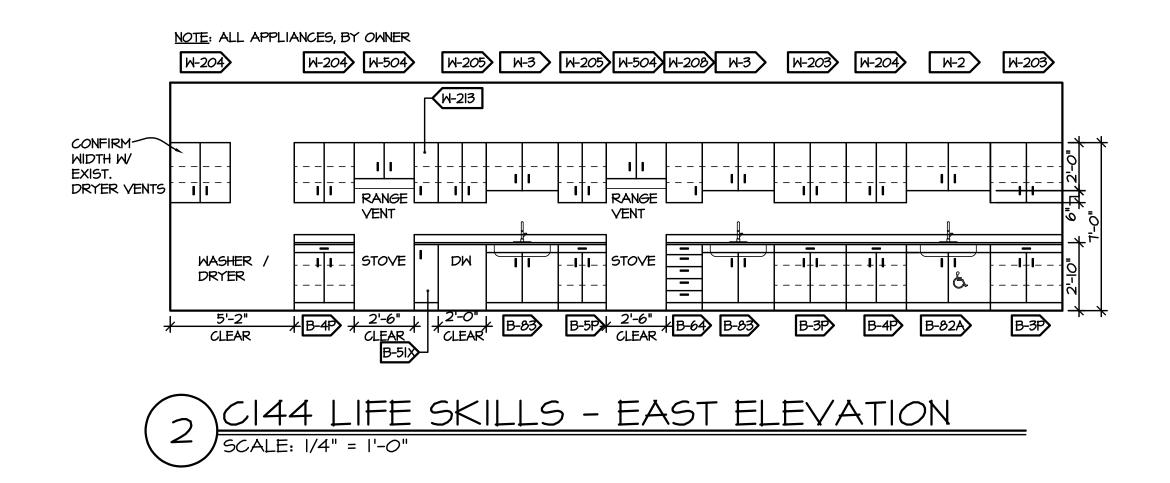


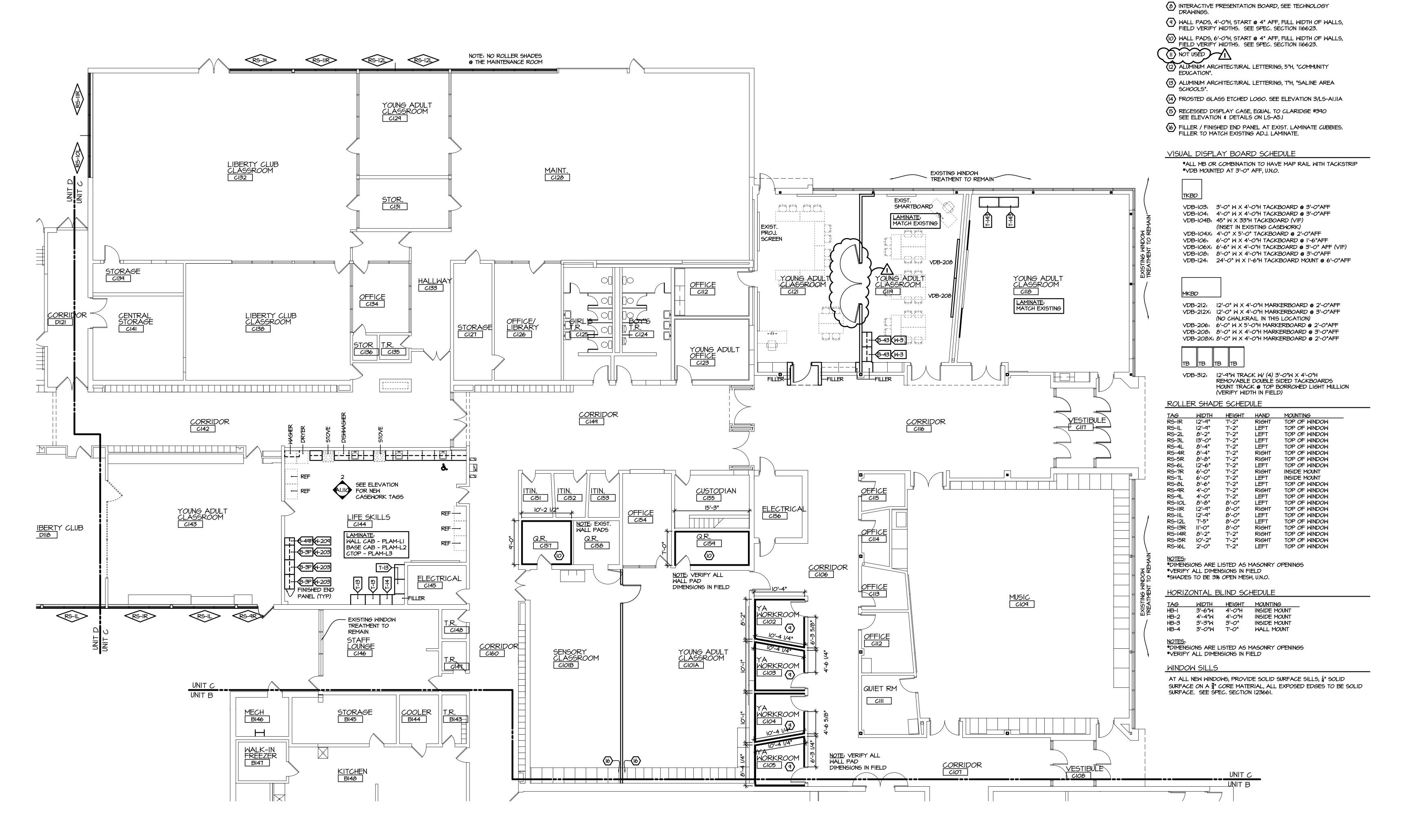
SHEET TITLE

ENLARGED PLANS









\FIRST FLOOR EQUIPMENT PLAN - UNIT C



EQUIPMENT SYMBOL KEY

B-X = BASE CABINET W-X = WALL CABINET

T-X = TALL CABINET KS-X = KNEESPACE

DEMO-X = DEMO TABLE

TC = TECHNOLOGY CABINET

RS-# MANUAL ROLLER SHADE, SEE SPEC. 122413

HB-# HORIZONTAL BLIND, SEE SPEC. 122413

(I) RELOCATED 4'-0"W TACKBOARD @ I'-6"AFF

(2) RELOCATED 12'-O"W MARKERBOARD @ 1'-6"AFF

(3) RELOCATED 16'-O"W MARKERBOARD @ 1'-6"AFF

(5) FINISHED SIDE AT COUNTERTOP HEIGHT CHANGE.

TO BOBRICK #232-24. MOUNT @ 60"AFF

3 COAT HOOKS ON A 4"H MOUNT, STAINLESS STEEL. EQUAL

(6) RADIUS CORNER @ COUNTERTOP.

TBL-X = TABLE

SV-X = SHELVING

EQUIPMENT NOTES:

 $\langle 4 \rangle$ NOT USED.

BASE BID CASEWORK TAG. REFER TO SPEC. SECTION 123216 FOR SCHEDULE, PLASTIC LAMINATE SPECIFICATIONS

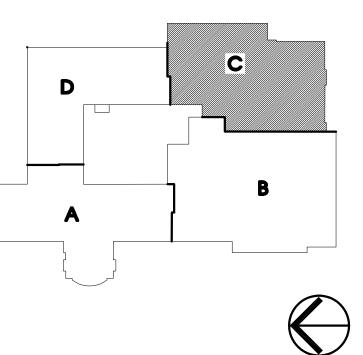
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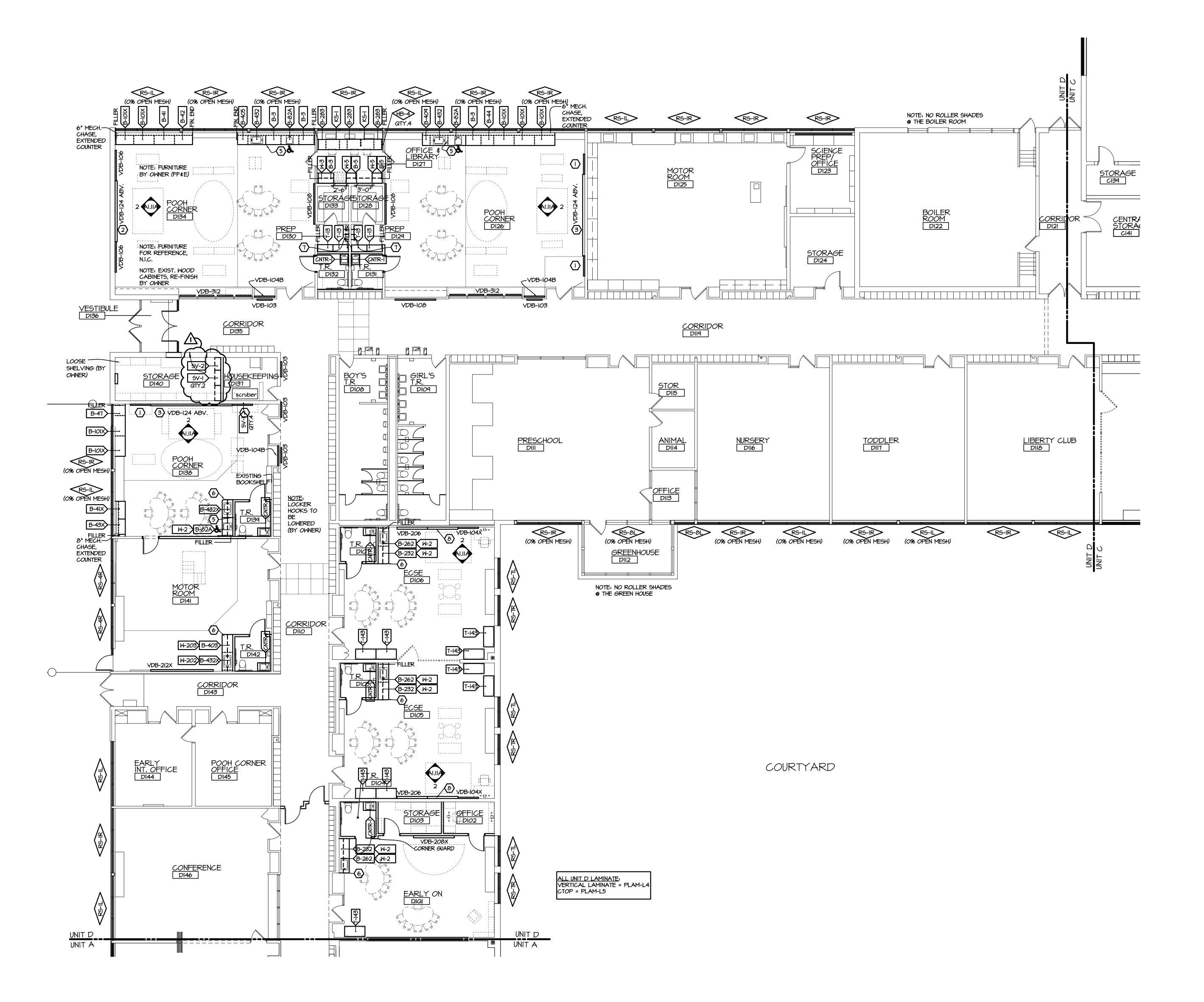
DATE revisions/review 01-06-2017 ADDENDUM #1 01-18-2017



JOB NO. **2900-03** SHEET TITLE

EQUIPMENT PLAN - UNIT C





FIRST FLOOR EQUIPMENT PLAN - UNIT D

SCALE: 1/8" = 1'-0"

EQUIPMENT SYMBOL KEY

BASE BID CASEWORK TAG. REFER TO SPEC. SECTION
123216 FOR SCHEDULE, PLASTIC LAMINATE SPECIFICATIONS
B-X = BASE CABINET
W-X = WALL CABINET
T-X = TALL CABINET
KS-X = KNEESPACE
TBL-X = TABLE
DEMO-X = DEMO TABLE
SV-X = SHELVING

RS-# MANUAL ROLLER SHADE, SEE SPEC. 122413

TC = TECHNOLOGY CABINET

HB-# HORIZONTAL BLIND, SEE SPEC. 122413

EQUIPMENT NOTES:

- RELOCATED 4'-0"W TACKBOARD @ I'-6"AFF
- 2 RELOCATED 12'-0"W MARKERBOARD @ 1'-6"AFF
- (3) RELOCATED 16'-0"W MARKERBOARD @ 1'-6"AFF
- 4 NOT USED.
- 5) FINISHED SIDE AT COUNTERTOP HEIGHT CHANGE.
- 6 RADIUS CORNER @ COUNTERTOP.
- 3 COAT HOOKS ON A 4"H MOUNT, STAINLESS STEEL. EQUAL TO BOBRICK #232-24. MOUNT @ 60"AFF
- (B) INTERACTIVE PRESENTATION BOARD, SEE TECHNOLOGY DRAWINGS.
- WALL PADS, 4'-0"H, START @ 4" AFF, FULL WIDTH OF WALLS, FIELD VERIFY WIDTHS. SEE SPEC. SECTION 116623.
- WALL PADS, 6'-0"H, START @ 4" AFF, FULL WIDTH OF WALLS, FIELD VERIFY WIDTHS. SEE SPEC. SECTION 116623.
- RELOCATED OPERABLE PARTITION.
- ALUMINUM ARCHITECTURAL LETTERING, 5"H, "COMMUNITY EDUCATION".
- ALUMINUM ARCHITECTURAL LETTERING, 7"H, "SALINE AREA SCHOOLS".

 (4) FROSTED GLASS ETCHED LOGO. SEE ELEVATION 3/LS-AI.IIA
- RECESSED DISPLAY CASE, EQUAL TO CLARIDGE #390 SEE ELEVATION & DETAILS ON LS-A5.I
- FILLER / FINISHED END PANEL AT EXIST. LAMINATE CUBBIES. FILLER TO MATCH EXISTING ADJ. LAMINATE.

VISUAL DISPLAY BOARD SCHEDULE

*ALL MB OR COMBINATION TO HAVE MAP RAIL WITH TACKSTRIP *VDB MOUNTED AT 3'-O" AFF, U.N.O.

TKBD

VDB-IO3: 3'-O" W X 4'-O"H TACKBOARD @ 3'-O"AFF
VDB-IO4: 4'-O" W X 4'-O"H TACKBOARD @ 3'-O"AFF
VDB-IO4B: 45" W X 33"H TACKBOARD (VIF)
(INSET IN EXISTING CASEWORK)
VDB-IO4X: 4'-O" X 5'-O" TACKBOARD @ 2'-O"AFF

 VDB-I06:
 6'-0" W X 4'-0"H TACKBOARD @ I'-6"AFF

 VDB-I06X:
 6'-6" W X 4'-0"H TACKBOARD @ 3'-0" AFF (VIF)

 VDB-I08:
 8'-0" W X 4'-0"H TACKBOARD @ 3'-0"AFF

 VDB-I24:
 24'-0" W X I'-6"H TACKBOARD MOUNT @ 6'-0"AFF

MKBD

VDB-2|2: |2'-0" W X 4'-0"H MARKERBOARD @ 2'-0"AFF
VDB-2|2X: |2'-0" W X 4'-0"H MARKERBOARD @ 3'-0"AFF
(NO CHALKRAIL IN THIS LOCATION)

VDB-206: 6'-0" W X 5'-0"H MARKERBOARD @ 2'-0"AFF
VDB-208: 8'-0" W X 4'-0"H MARKERBOARD @ 3'-0"AFF
VDB-208X: 8'-0" W X 4'-0"H MARKERBOARD @ 2'-0"AFF

тв тв тв

VDB-312: 12'-9"M TRACK W/ (4) 3'-0"M X 4'-0"H
REMOVABLE DOUBLE SIDED TACKBOARDS
MOUNT TRACK @ TOP BORROWED LIGHT MULLION
(VERIFY WIDTH IN FIELD)

ROLLER SHADE SCHEDULE

TAG	WIDTH	HEIGHT	HAND	MOUNTING
RS-IR	12'-9"	7'-2"	RIGHT	TOP OF WINDOW
RS-IL	12'-9"	7'-2"	LEFT	TOP OF WINDOW
RS-2L	<i>8</i> '-2"	7'-2"	LEFT	TOP OF WINDOW
RS-3L	13'-0"	7'-2"	LEFT	TOP OF WINDOW
RS-4L	8'-4"	7'-2"	LEFT	TOP OF WINDOW
RS-4R	8'-4"	7'-2"	RIGHT	TOP OF WINDOW
RS-5R	&'-&"	7'-2"	RI <i>G</i> HT	TOP OF WINDOW
RS-6L	12'-6"	7'-2"	LEFT	TOP OF WINDOW
RS-TR	6'-0"	7'-2"	RI <i>G</i> HT	INSIDE MOUNT
RS-7L	6'-0"	7'-2"	LEFT	INSIDE MOUNT
RS-8L	8'-6"	7'-2"	LEFT	TOP OF WINDOW
RS-9R	4'-0"	7'-2"	RI <i>G</i> HT	TOP OF WINDOW
RS-9L	4'-0"	7'-2"	LEFT	TOP OF WINDOW
RS-IOL	&'-8"	8'-O"	LEFT	TOP OF WINDOW
RS-IIR	12'-9"	8'-O"	RI <i>G</i> HT	TOP OF WINDOW
RS-IIL	12'-9"	8'-O"	LEFT	TOP OF WINDOW
RS-I2L	7'-5"	8'-O"	LEFT	TOP OF WINDOW
RS-I3R	II'-0"	8'-O"	RIGHT	TOP OF WINDOW
RS-14R	8'-2"	7'-2"	RIGHT	TOP OF WINDOW
RS-15R	10'-2"	7'-2"	RIGHT	TOP OF WINDOW

NOTES:
*DIMENSIONS ARE LISTED AS MASONRY OPENINGS
*VERIFY ALL DIMENSIONS IN FIELD
*SHADES TO BE 3% OPEN MESH, U.N.O.

RS-16L 2'-O" 7'-2" LEFT TOP OF WINDOW

HORIZONTAL BLIND SCHEDULE

TAG	MIDTH	HEIGHT	MOUNTING
HB-I	3'-6"W	4'-0"H	INSIDE MOUNT
HB-2	4'-4"W	4'-0"H	INSIDE MOUNT
HB-3	3'-3"W	3'-O"	INSIDE MOUNT
HB-4	3'-0"W	7'-0"	WALL MOUNT

NOTES: *DIMENSIONS ARE LISTED AS MASONRY OPENINGS *VERIFY ALL DIMENSIONS IN FIELD

MINDOM SILLS

AT ALL NEW WINDOWS, PROVIDE SOLID SURFACE SILLS, \$\frac{1}{4}\" SOLID SURFACE ON A \$\frac{3}{4}\" CORE MATERIAL, ALL EXPOSED EDGES TO BE SOLID SURFACE. SEE SPEC. SECTION 123661.

Kingsco

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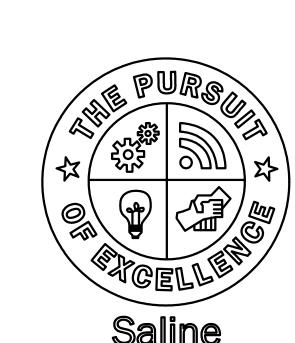
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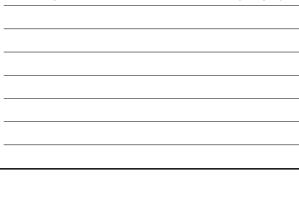
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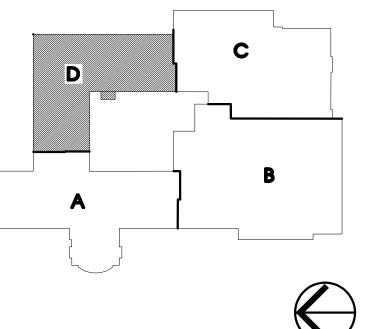
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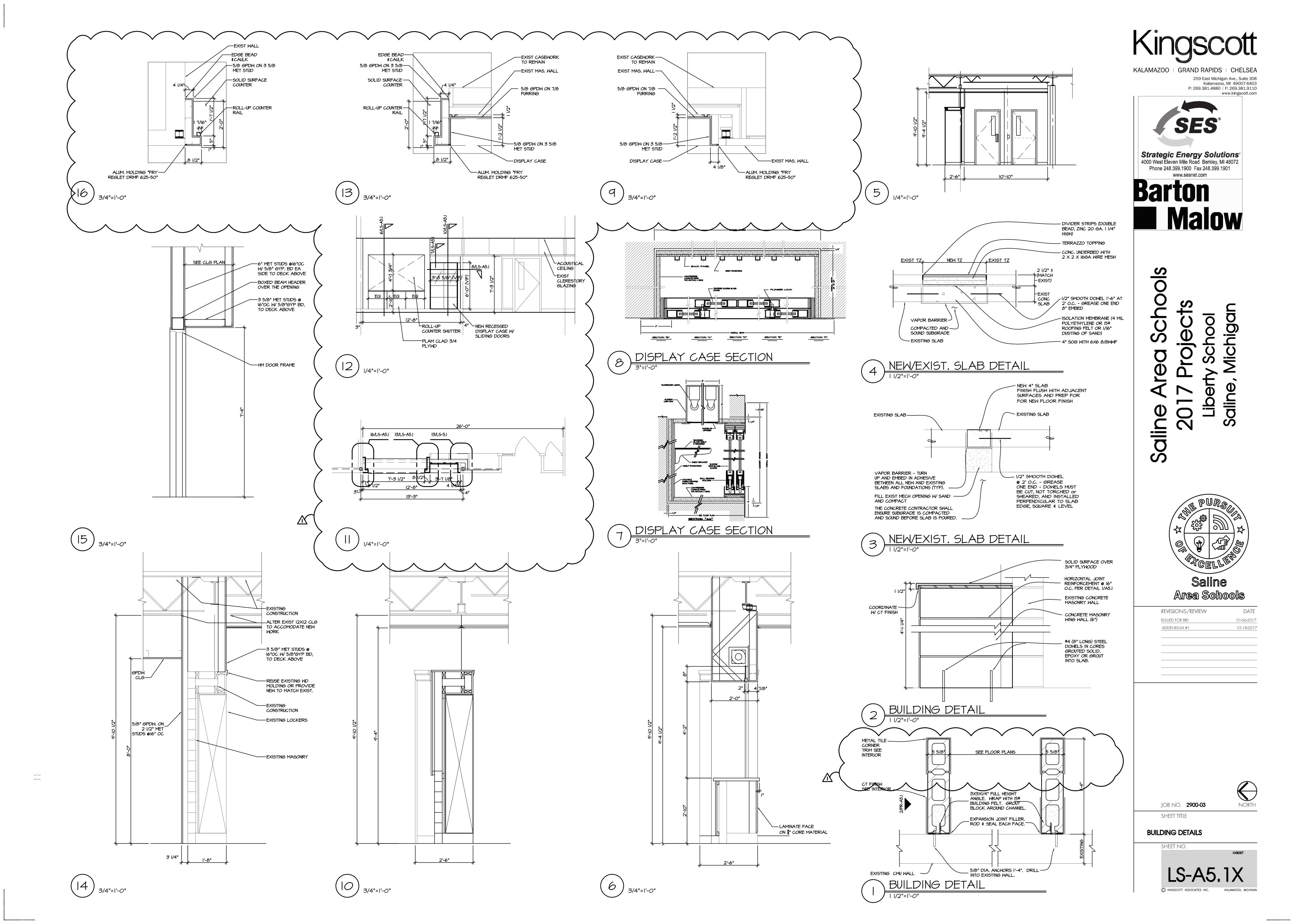




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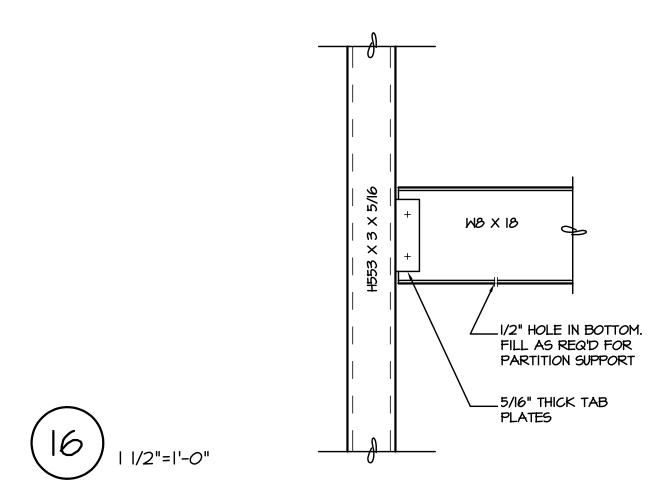
EQUIPMENT PLAN - UNIT D

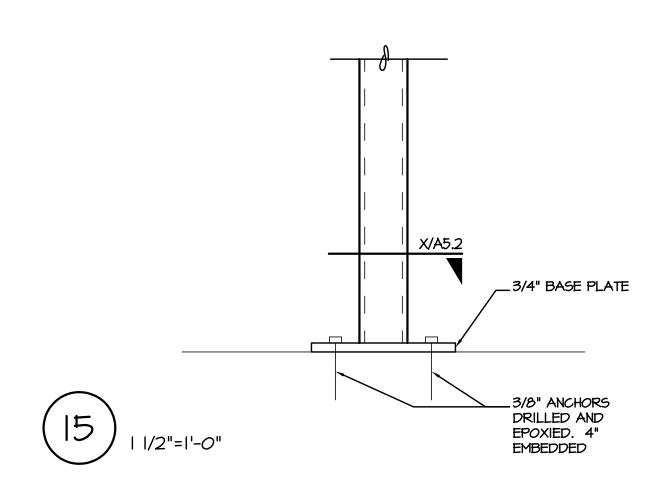


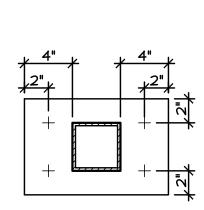


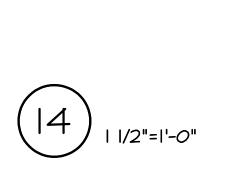
3/16" ROOF DECK L2 X 2 X 1/4 3/16"

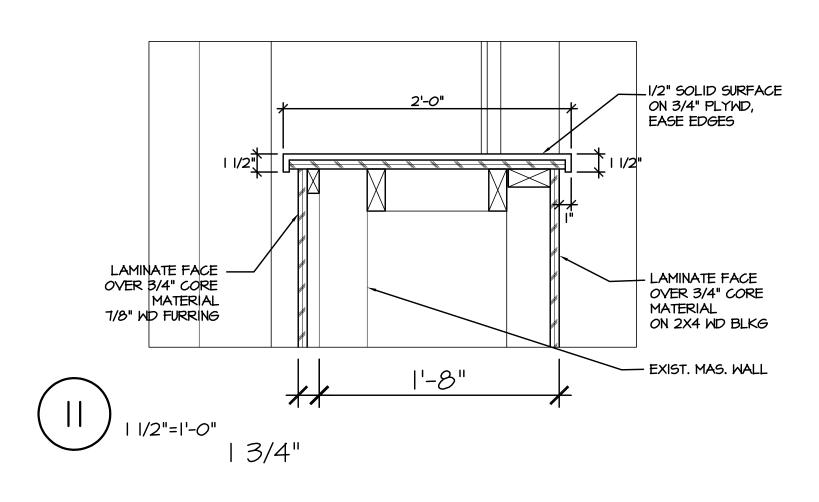
(17) | 1/2"=|'-0"











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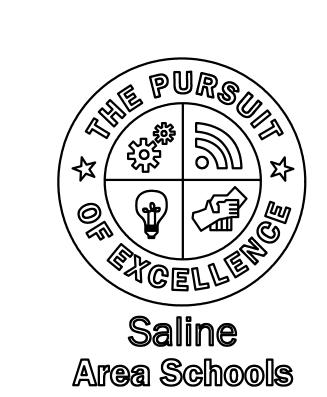
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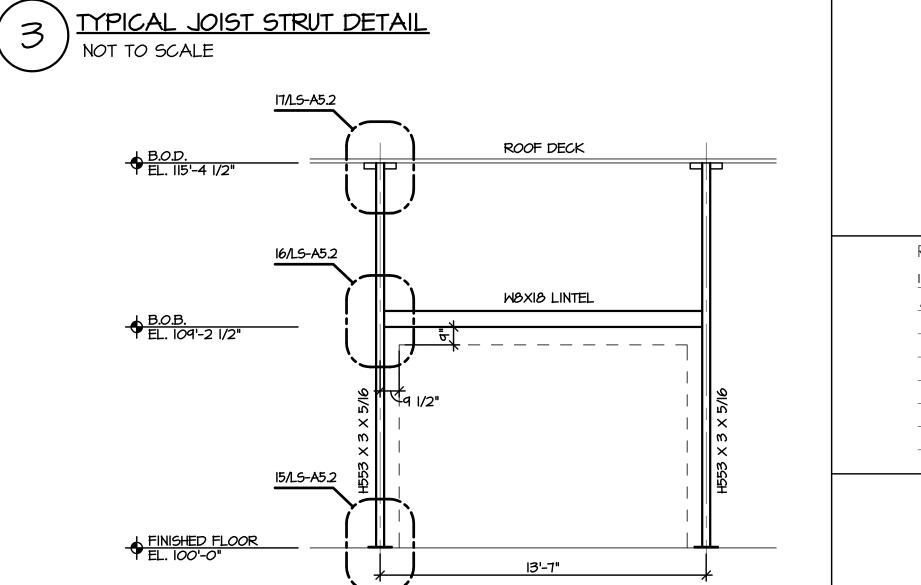


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Saline Area School 2017 Projects



DATE
01-06-2017
01-18-2017



LOAD "A"

STEEL JOIST SEE PLAN

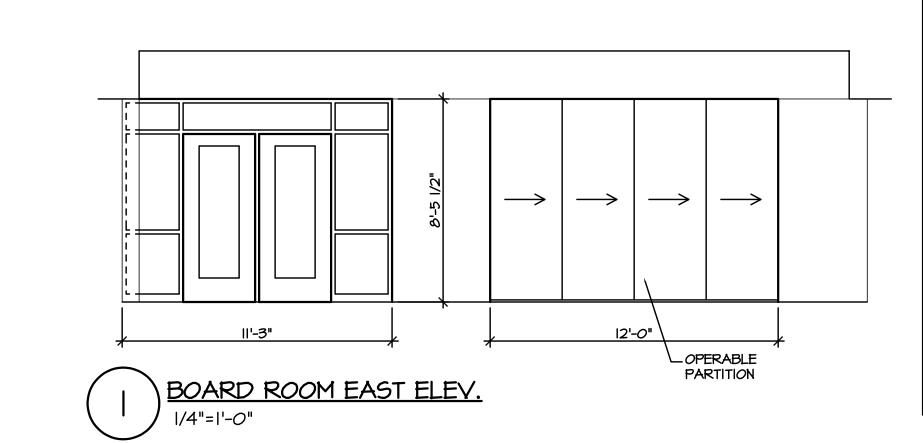
OPERABLE PARTITION

STRUCT SUPPORT ELEV.

1/4"=1'-0"

NOTE: LOAD
THIS DETAIL APPLIES TO
ALL HANGING OR TOP CHORD
LOADS WHERE "A" > 2"

WHERE DIM "A" IS EQUAL TO OR GREATER THAN 2" FIELD INSTALL L2x2x1/4 AS SHOWN

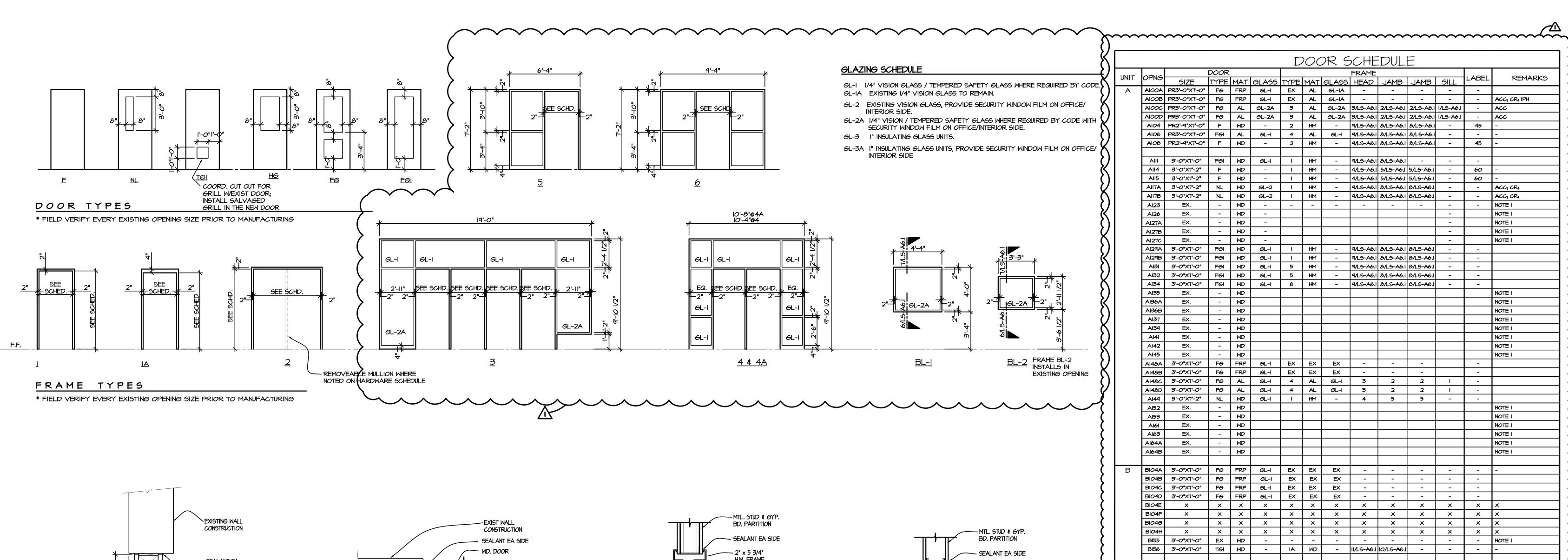




BUILDING DETAILS



NORTH



EXIST. C.M.U. WALL

STEEL LINTEL (SEE SPEC.)

(SEE SCHED.)

NEW C.M.U. COURSE AT LINTEL

- BACKER ROD AND SEALANT. BOTH SIDES. ALL AROUND.

- H.M. FRAME - GROUT SOLID.

SEE SCHED. FOR GLASS TYPE

_ SEE SCHED. FOR GLASS TYPE

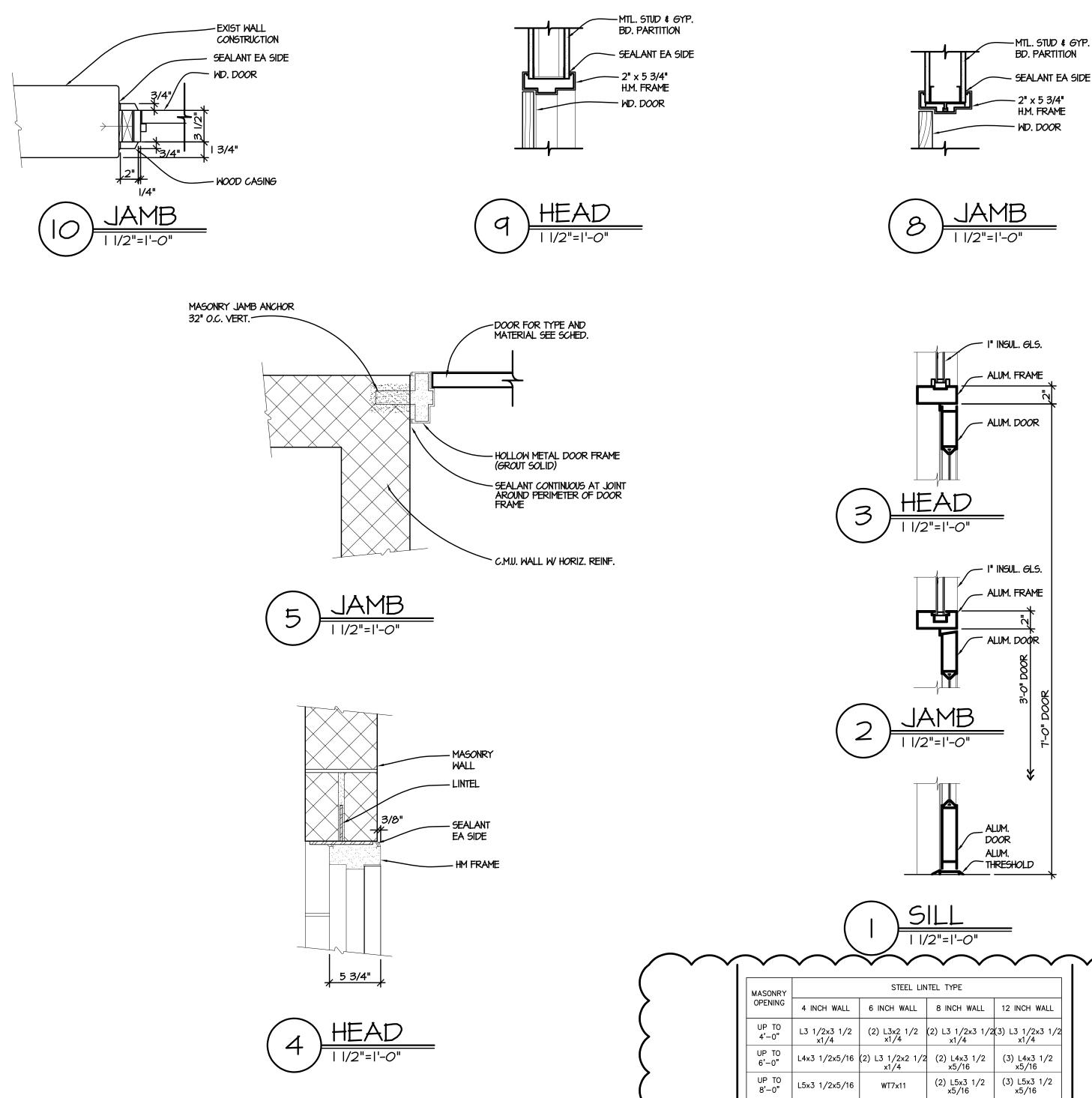
BACKER ROD AND SEALANT. BOTH SIDES. ALL AROUND.

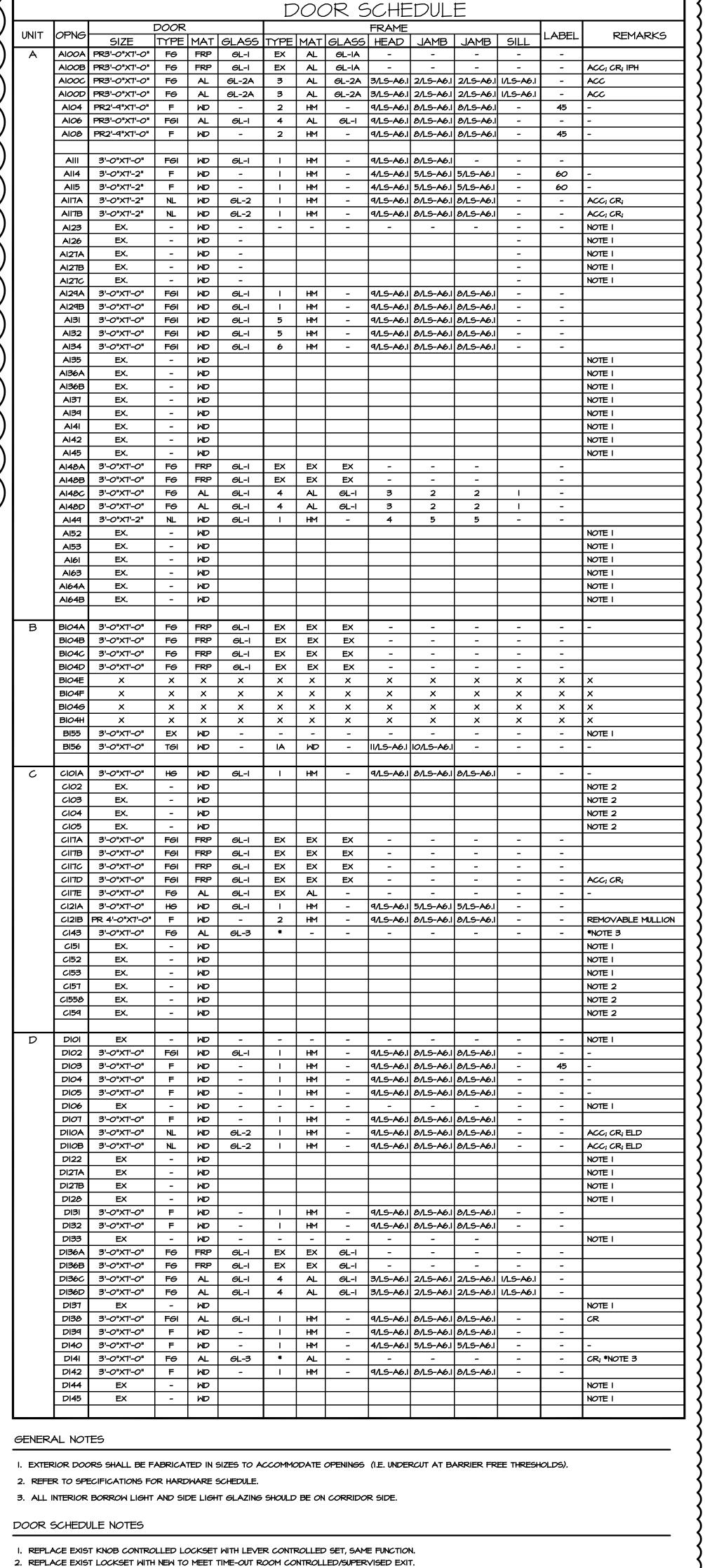
AND THICKNESS

H.M. FRAME - GROUT SOLID.

ON 3/4" PLYWD

(SEE SCHED.)





3. STOREFRONT FRAME B2 - SEE FRAME TYPE ON LS-A6.2.

COORDINATE ACCESS CONTROL FEATURES WITH TECHNOLOGY DRAWINGS.

CR - CARD READER

IPH - INTERPHONE

L6x3 1/2x3/8 WT8x13 W8x10 + 1/4"x7" PL

NOTES:

1. ALL ANGLES ARE TO BE LONG LEG VERTICAL UNO.

2. PROVIDE MINIMUM 4" OF SOLID BEARING EACH END OF LINTEL, 8" OVER

6" SPANS.
3. SEE ARCHITECTURAL DRAWINGS FOR ALL MASONRY OPENINGS AND LINTEL CONFIGURATIONS.

4. TACK WELD ANGLES TOGETHER - EACH SIDE, 12" OC.

--- W8x10 + W8x13 + 1/4"x11" PL

TYPICAL NON-LOAD BEARING LOOSE LINTEL SCHEDULE

NOT TO SCALE

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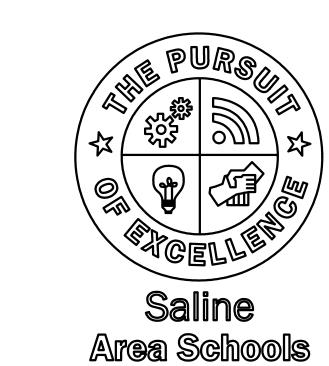
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ISSUED FOR BID	01-06-20
ADDENDUM #1	01-18-2

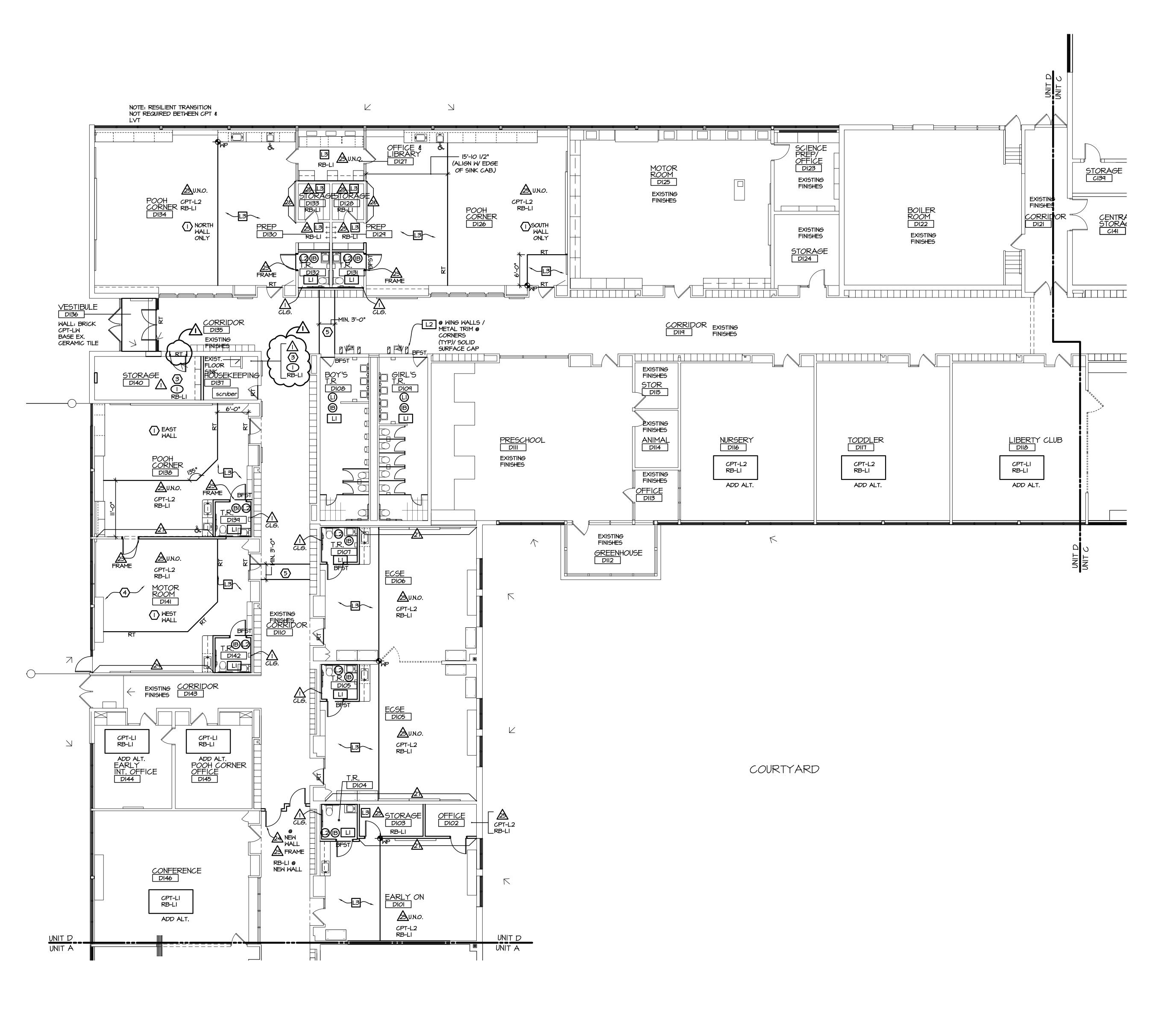


JOB NO. **2900-03**





NORTH



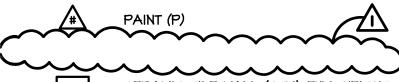
COLOR LAYOUT PLAN - UNIT D

SCALE: 1/8" = 1'-0"

GENERAL COLOR NOTES

- I. SEE REFLECTED CEILING PLAN FOR, ACOUSTICAL PANEL TYPES.
- IT IS THE RESPONSIBILITY OF ALL TRADES TO COORDINATE PREPARATION OF SURFACES TO RECEIVE FINISH PRODUCT. CONSULT WITH MANUFACTURER'S RECOMMENDED PRACTICES.
- 3. INSTALL RUBBER BASE AT ALL AREAS OF NEW FLOORING INSTALLATION.
 RUBBER WALL BASE NOT REQUIRED AT GLAZED BLOCK WALLS.
- 4. INSTALL 4" RUBBER COVE BASE AT CASEMORK TOE KICKS, INSIDE OF FLOORLESS CASEMORK, VERTICAL SUPPORTS AND OVER NEW FLOOR MATERIAL (U.N.O.).
- 5. ALL RUBBER REDUCERS COLORS TO BE COORDINATED WITH ADJACENT RUBBER BASE COLOR (U.N.O.)
- 6. INSTALL RESILIENT TRANSITIONS AT THE CENTER LINE OF DOORS IN THEIR CLOSED POSITION AT DOORWAYS.
- 7. PAINT ALL NEW HOLLOW METAL DOOR & WINDOW FRAMES, SEMI-GLOSS PAINT COLOR, P-22, U.N.O.
- 8. PAINT ALL NEW HOLLOW METAL DOORS, SEMI-GLOSS,
- PAINT COLOR, P-22.
- 9. DO NOT PAINT EXISTING BRICK, GLAZED BLOCK, OR WOOD PANEL WALLS.
- IO. PROVIDE TOUCH-UP PAINT AROUND ALL UNIT VENT REPLACEMENTS. COLOR TO MATCH EXISTING, ADJACENT COLOR.
- II. SEE 2/LS-A8.IA FOR TYPICAL FINISHES AT NEW WING WALLS AT ELEC. WATER COOLERS.I2. PAINT EXPOSED CEILING ABOVE CEILING CLOUDS, FLAT BLACK. PAINT WALLS
- ABOVE CEILING CLOUD LEVEL, FLAT BLACK.
 (WHERE CEILING IS NEW OR MODIFIED)
- 13. AT ADD ALT. FLOORING, PROVIDE RT TO EXIST TERRAZZO CORRIDOR.

 COLOR LAY-OUT SYMBOL KEY
- (#) CERAMIC TILE FLOOR (CTF)
- #B CERAMIC TILE BASE (CTB)



CERAMIC TILE WALL (CTW), FULL HEIGHT

WINYL COMPOSITION TILE (VCT)

LUXURY VINYL TILE (LVT)

- WINTE COMPOSITION TIEE (VC
- WORK POINT
- BARRIER FREE STONE THRESHOLD
- CPT-# CARPET TILE
- CPT-W WALK-OFF CARPET TILE
- EX. EXISTING
- T RESILIENT TRANSITION
- A RUBBER STAIR TREAD W / VISUALLY IMPAIRED STRIP
- LVT LUXURY VINYL TILE
- MT METAL THRESHOLD

COLOR KEYNOTES

- EXISTING GLAZED BLOCK WALL TO 3'-O". PAINT CMU ABOVE.
 NO RUBBER WALL BASE AT GLAZED BLOCK WALLS.
- WALLS PADS, SEE EQUIPMENT PLAN
- ADDITIONAL FLOOR LEVELING REQUIRED
- UNDERLAYMENT PAD UNDER CARPET. INSTALL CARPET WITH ADHESIVE PADS AS RECOMMENDED BY MANUFACTURER WITH CARPET PAD. PROVIDE RESILIENT TRANSITION FROM CARPET & PAD TO ADJ. FLOORING
- TERRAZZO PATCH. MATCH EXISTING ADJACENT TERRAZZO COLORS. PATCH AREA TO EXTEND FROM DIVIDER STRIP TO DIVIDER STRIP. BASE IS EXISTING COVE GLAZED MASONRY BLOCK. SEE PHOTO REFERENCE 3/LS-A8.IA & DETAIL 4/LS-A5.I

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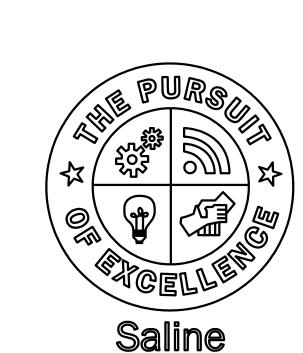
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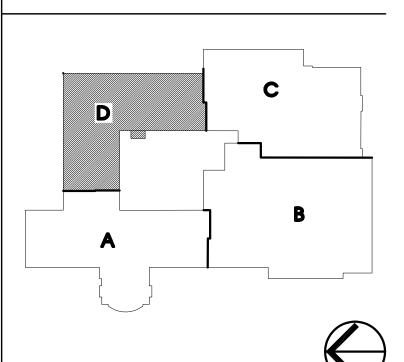
aline Area Schools 2017 Projects Liberty School Saline, Michiaan

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revisions/review	DATE
ISSUED FOR BID	01-06-201 <i>7</i>
ADDENDUM #1	01-18-2017

Area Schools



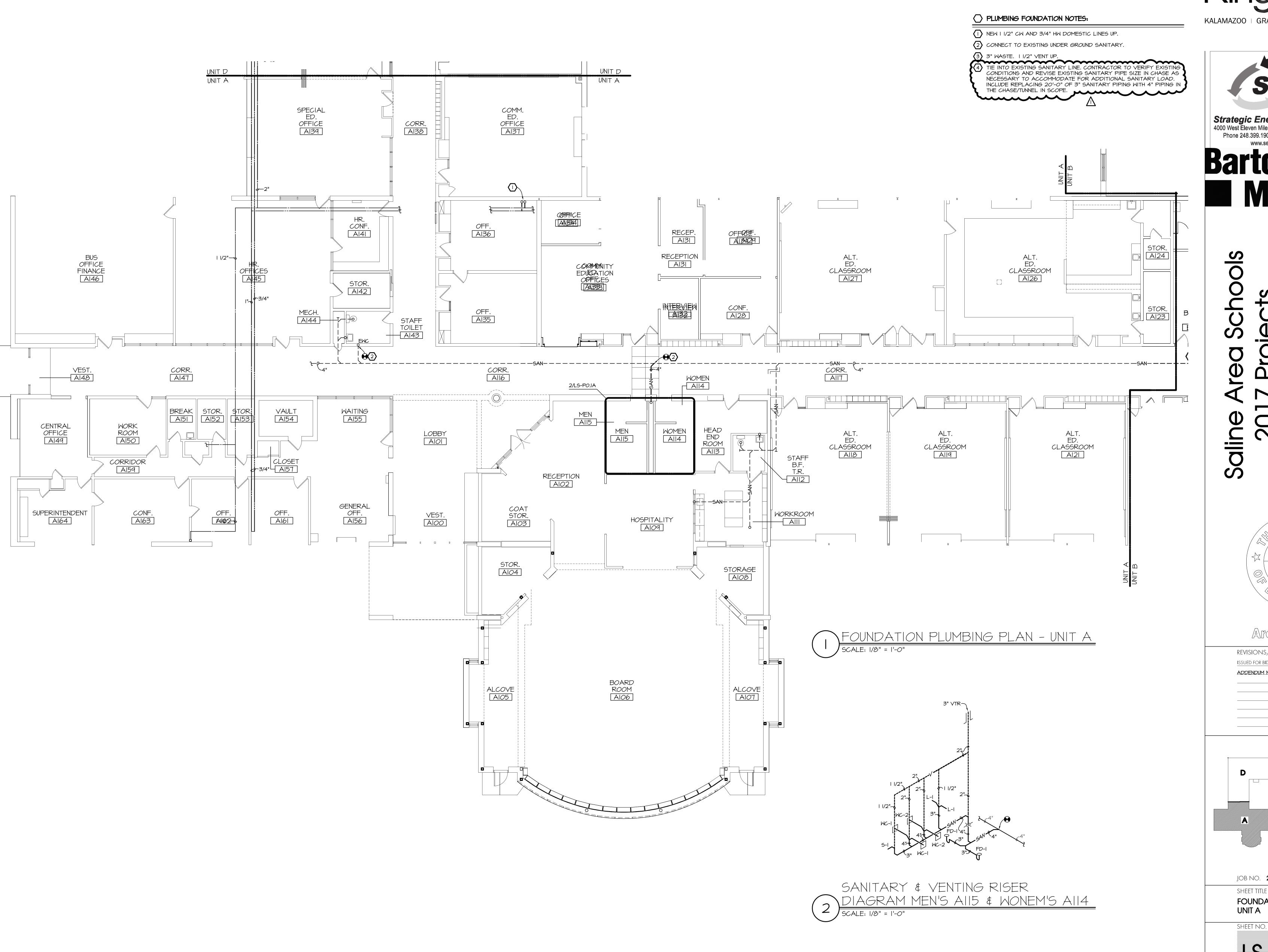
JOB NO. **2900-03** SHEET TITLE

COLOR LAYOUT PLAN - UNIT D

SHEET NO.

XXAFER

LS-A8,1DX



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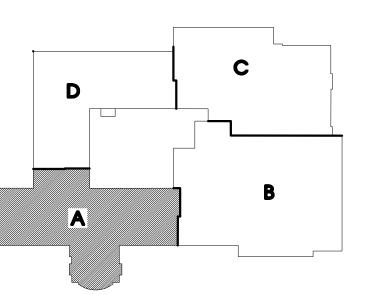
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Saline



ADDENDUM NO I	01/18/2017
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revisions/review	DATE





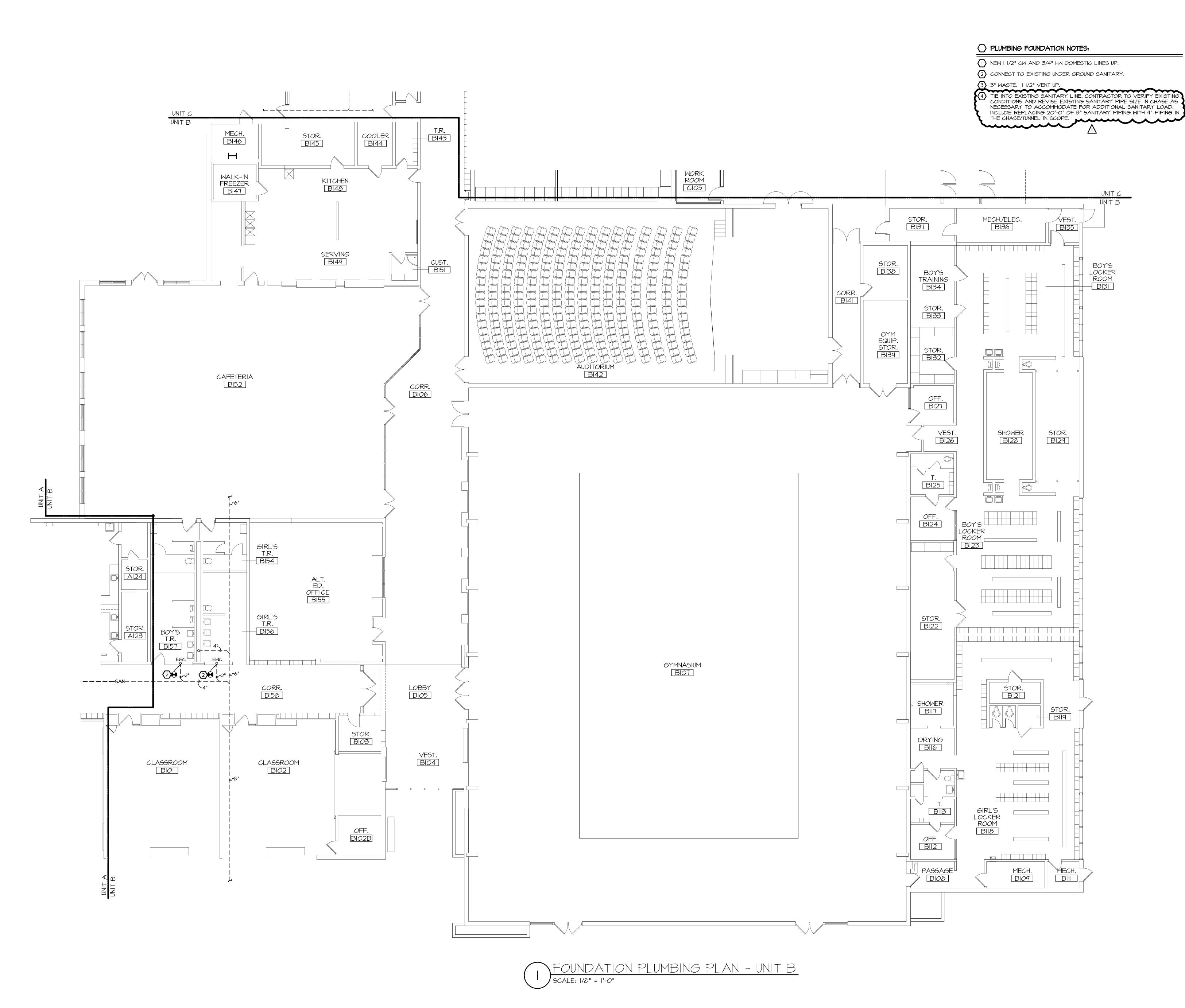
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SHEET TITLE FOUNDATION PLUMBING PLAN

SHEET NO.



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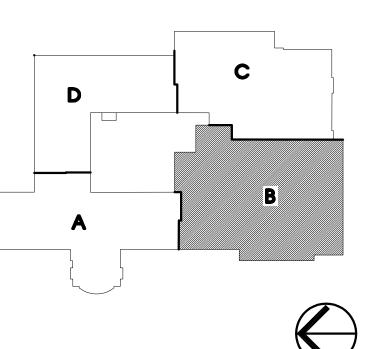
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Phone 248.399.1900 Fax 248.399.1901
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Barton Malow

Saline, Michigan

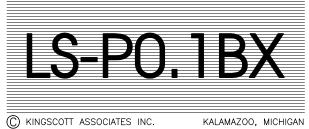


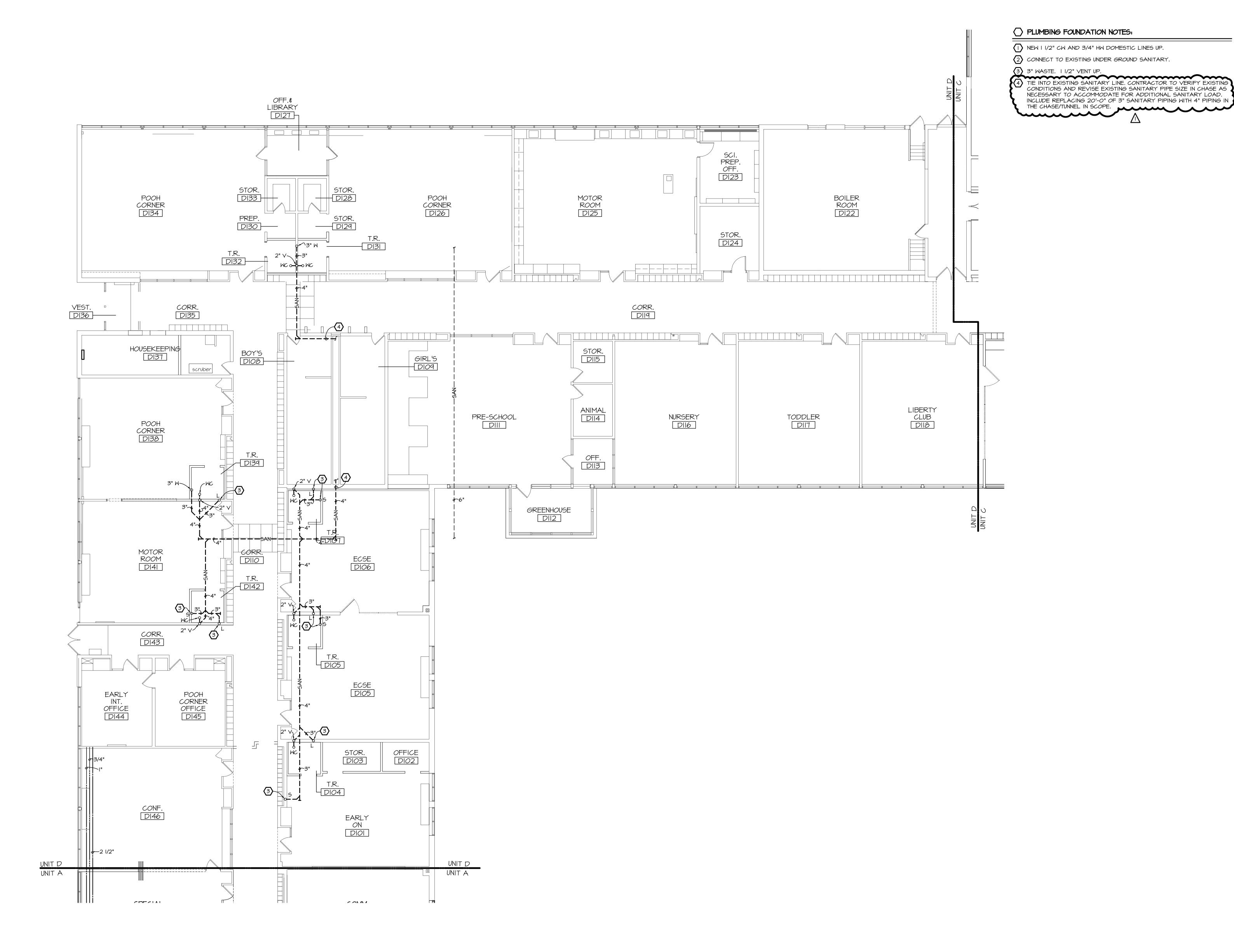
REVISIONS/REVIEW DATE
ISSUED FOR BID 01-06-2017
ADDENDUM NO I 01/18/2017



JOB NO. **2900-03**

SHEET TITLE
FOUNDATION PLUMBING PLAN
UNIT B





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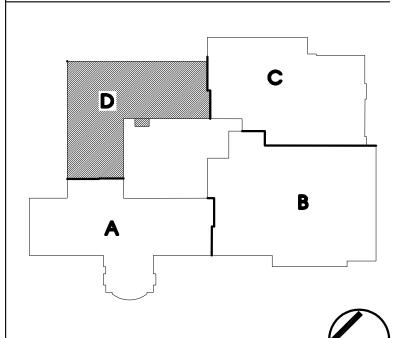


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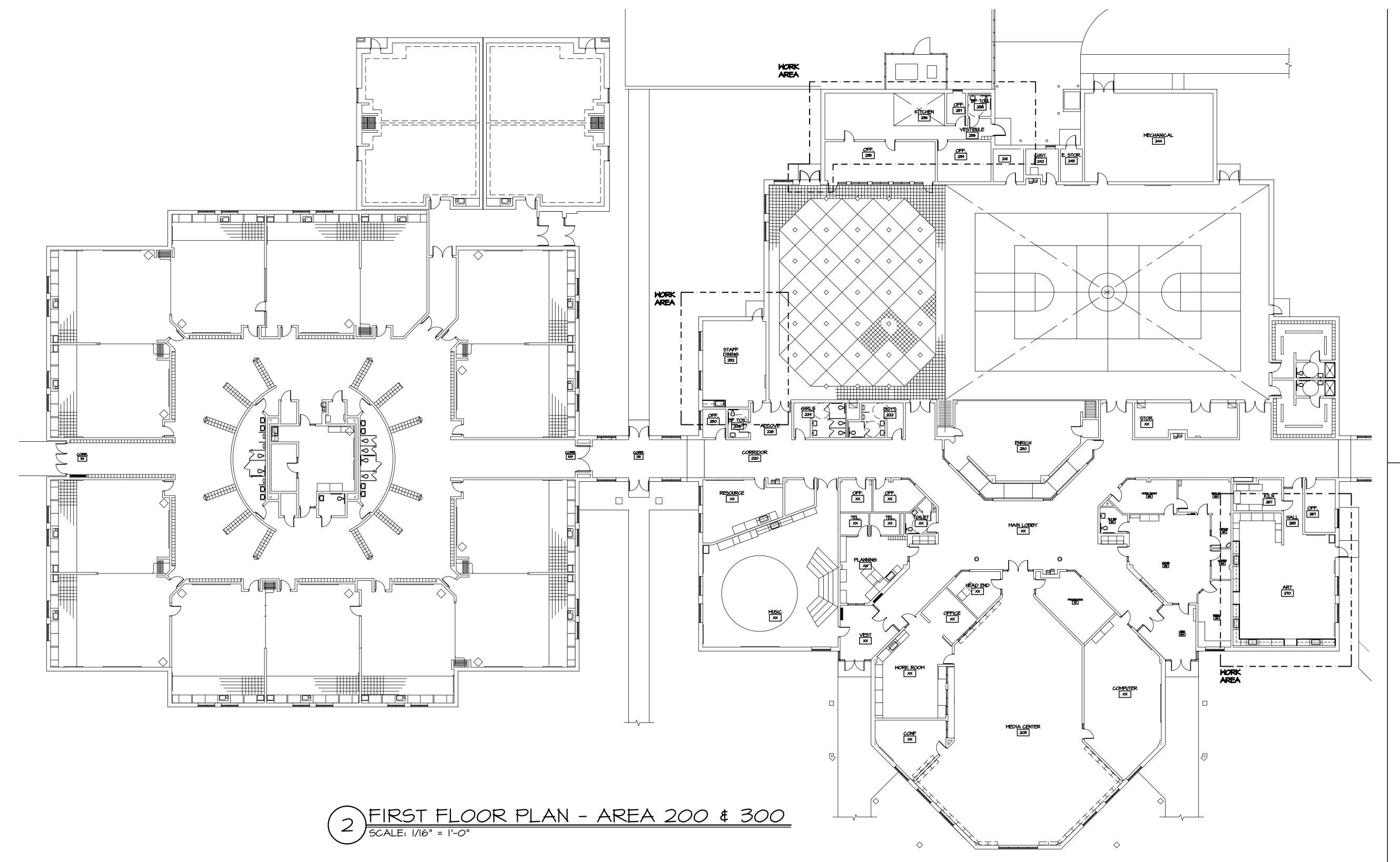
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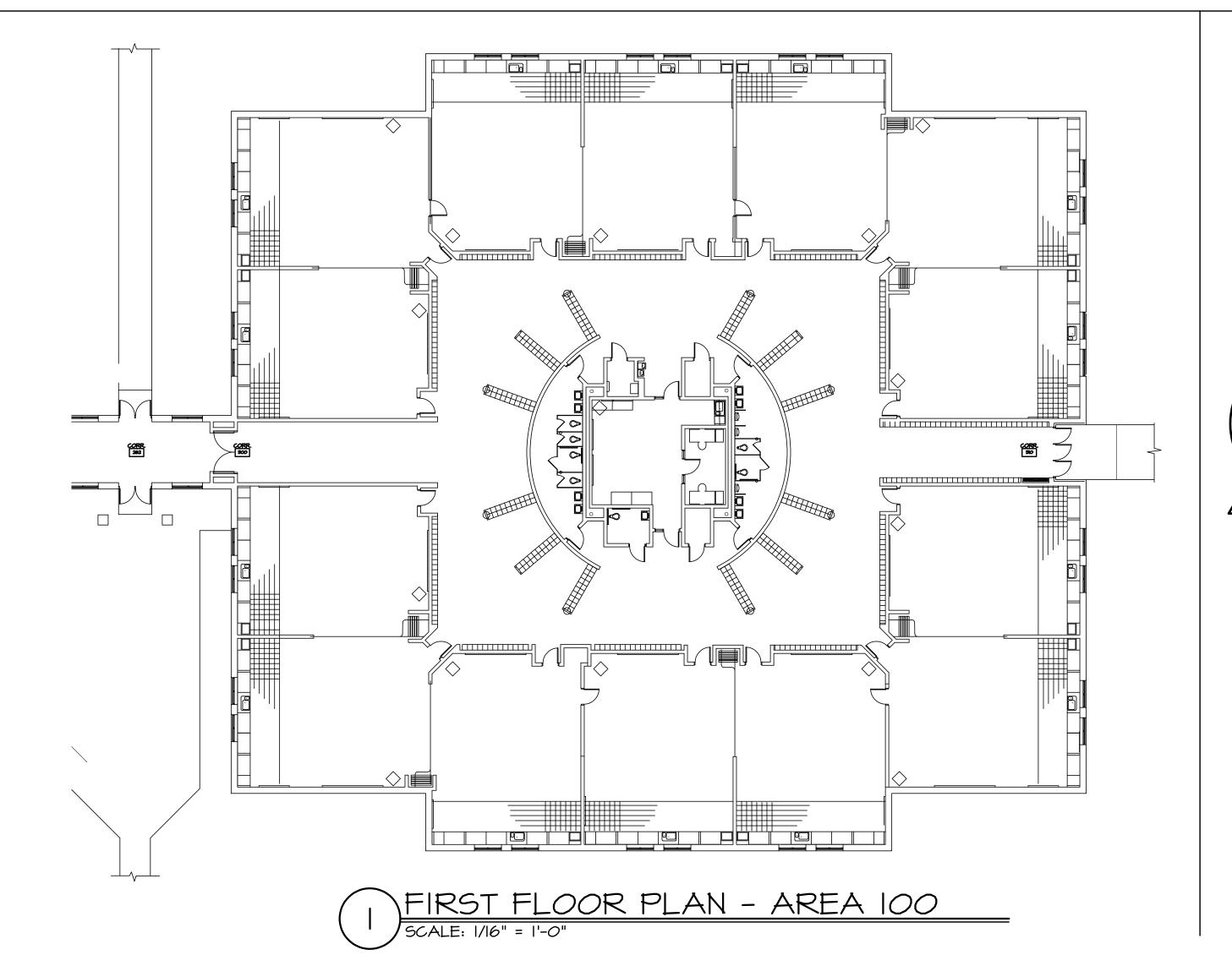


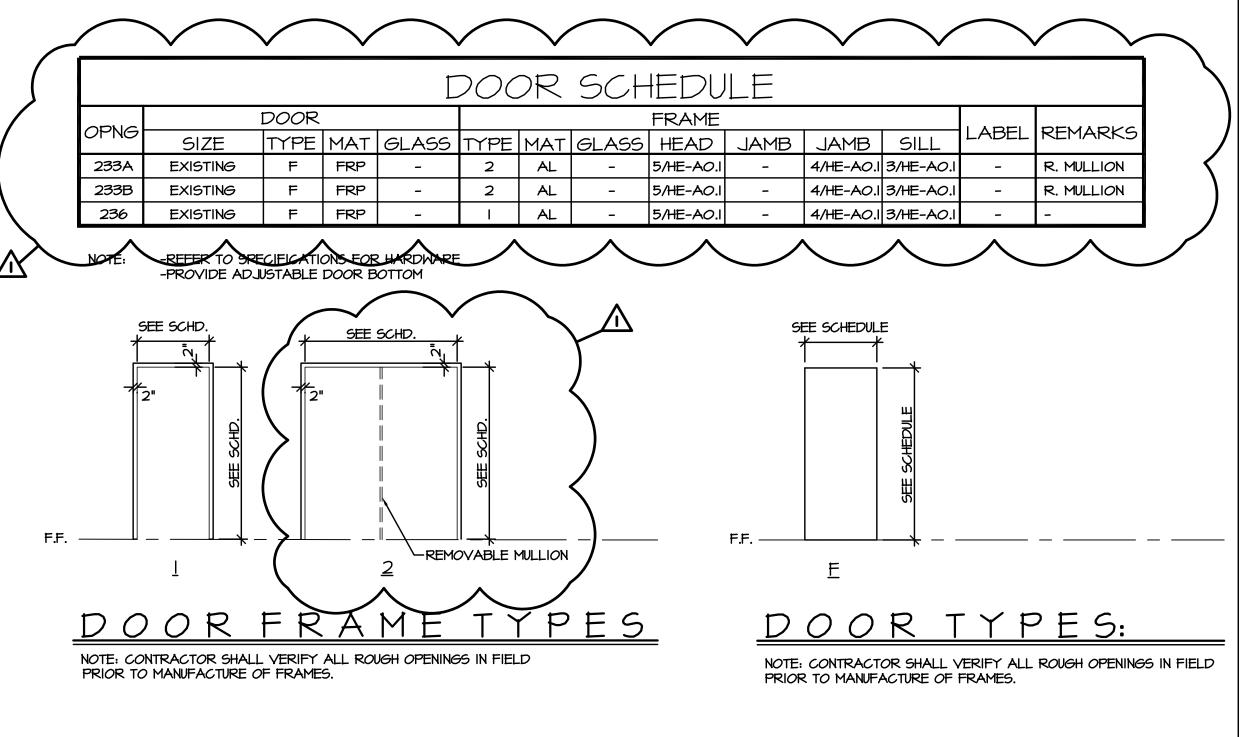
JOB NO. **2900-03**

SHEET TITLE FOUNDATION PLUMBING PLAN UNIT D









PROJECT DESCRIPTION

THE ORIGINAL SCHOOL BUILDING WAS CONSTRUCTED AS AN ELEMENTARY SCHOOL IN 1996. THE SCOPE OF WORK INCLUDES CASEWORK UPGRADES, WATER DAMAGED OR OTHERWISE COMPROMISED COUNTERTOPS WILL BE REPLACED THROUGHOUT THE BUILDING. ONE EXTERIOR DOOR WILL BE REPLACED WITH NEW DOOR AND FRAME IN EXISTING OPENING. NO SPATIAL ALTERATIONS OR OTHER REMODELING IS PART OF THIS PROJECT. WORK SHOWN IN THIS DOCUMENT DOES NOT IMPACT ANY EMERGENCY EGRESS OR ACCESS TO EGRESS.

PROJECT DATA

CODE REGULATION:

FIRE SUPPRESSION:

EXISTING BUILDING IS FULLY SPRINKLED (INCLUDING CEILING SPACES EXCEPT AT STEEL FRAMING AND METAL DECK)
2012 MICHIGAN BUILDING CODE

MECHANICAL CODE:
PLUMBING CODE:
ELECTRICAL CODE:
BARRIER FREE DESIGN:
OCCUPANCY:
TYPE OF CONSTRUCTION:

AT STEEL FRAMING AND METAL DECK, 2012 MICHIGAN BUILDING CODE 2012 NFPA IOI LIFE SAFETY CODE 2012 MICHIGAN MECHANICAL CODE 2012 MICHIGAN PLUMBING CODE 2012 NATIONAL ELECTRICAL CODE MICHIGAN BUILDING CODE CHAPTER II (E) EDUCATIONAL EXISTING: MBC II-B

GENERAL NOTES

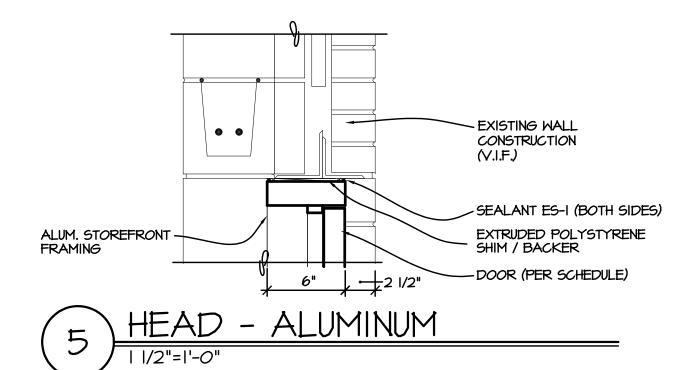
OCCUPANCY:

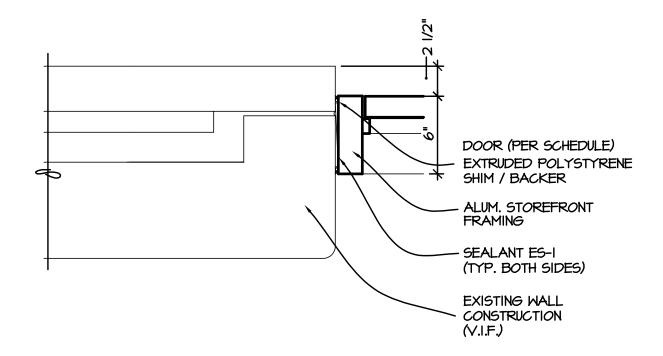
I. ALL CORRIDOR, JANITOR AND STORAGE ROOM WALLS AND PENETRATIONS ARE CONSIDERED TO HAVE A 1-HOUR RATING. ALL WORK IN THESE AREAS SHALL BE PERFORMED IN A MANNER TO MAINTAIN THIS RATING EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS.

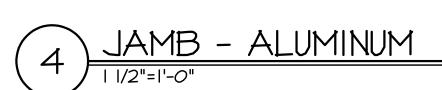
AREA CALCULATIONS

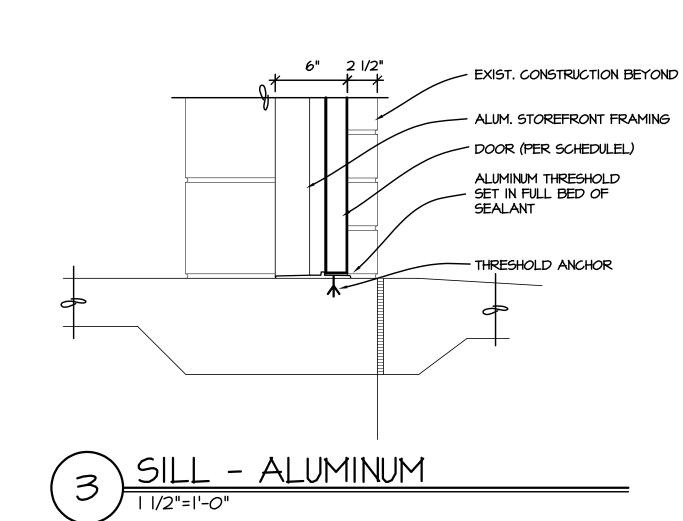
EXISTING BUILDING SQUARE FOOTAGE:

EXISTING EXISTING (50%) 91,652 SF 45,825 SF









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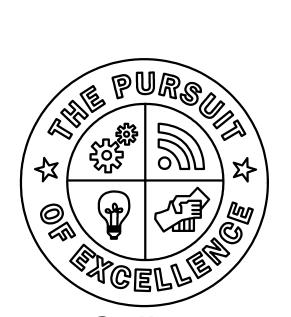
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Barton Barton Malow

Saline Area Schools 2017 Projects Heritage Elementary Saline Michigan



Saline Area Schools

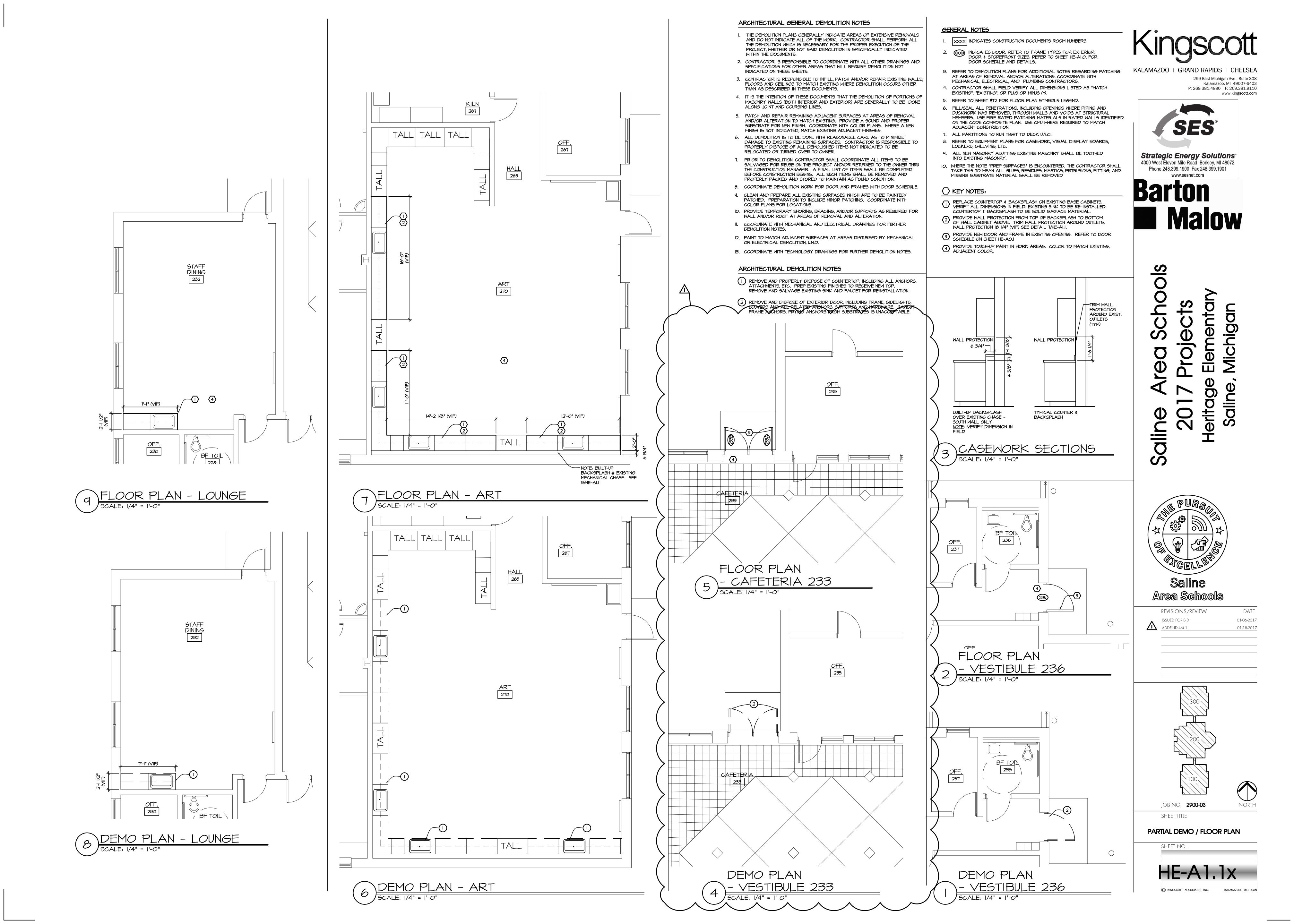
revisions/review	DATE
ISSUED FOR BID	01-06-2017
addendum 1	01-18-2017
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	REVISIONS/REVIEW ISSUED FOR BID ADDENDUM 1

JOB NO. **2900-03**

SHEET TITLE

COMPOSITE FLOOR PLAN





SALINE AREA SCHOOLS SALINE, MICHIGAN

TRANE U.S. COMMUNITIES HVAC EQUIPMENT 2017 PROJECTS

JANUARY 18, 2017

DIRECTORY

F. 248-436-5001

Berkley, MI 48072

P. 248-399-1900

F . xxx-xxx-xxxx

ENGINEERING CONSULTANT

4000 West Eleven Mile Rd.

Strategic Energy Solutions

Saline High School owner Saline High School Saline Area Schools 7265 Ann Arbor Rd. 1300 Campus Pkwy. Saline, MI 48176 Saline, MI 48176 P. 989 - 967 - 2000 P. 734-401-4200 ARCHITECT & ENGINEER Saline Middle School 229 East Michigan Ave, Suite 335 7190 N. Maple Rd. Kalamazoo, MI 49007 Saline, MI 48176 P. 269 - 381 - 4880 P.734-429-8000 F. 269 - 381 - 9110 Saline Liberty School NORTH WEST DESIGN GROUP (KINGSCOTT) 7265 N. Ann Arbor St. Kingscott 2940 Parkview Drive Saline, MI 48176 Petoskey, MI 49770 P.734-401-4000 P.231-348-1180 F. 231-348-11850 Harvest Elementary Construction manager 1155 Campus Pkwy. Clark Construction Company Saline, MI 48176 29110 Inskster Rd. Suite 150 P.734-944-8901 Southfield, MI 48304 P. 248-286-1000 F . xxx - xxx - xxxx Heritage Elementary TECHNOLOGY CONSULTANT 290 E. Woodland Dr. Barton Malow Technology Saline, MI 481*7*6 26500 American Drive P.734-401-4100 Southfield, MI 48034 P. 248-436-5000

Pleasant Ridge Elementary

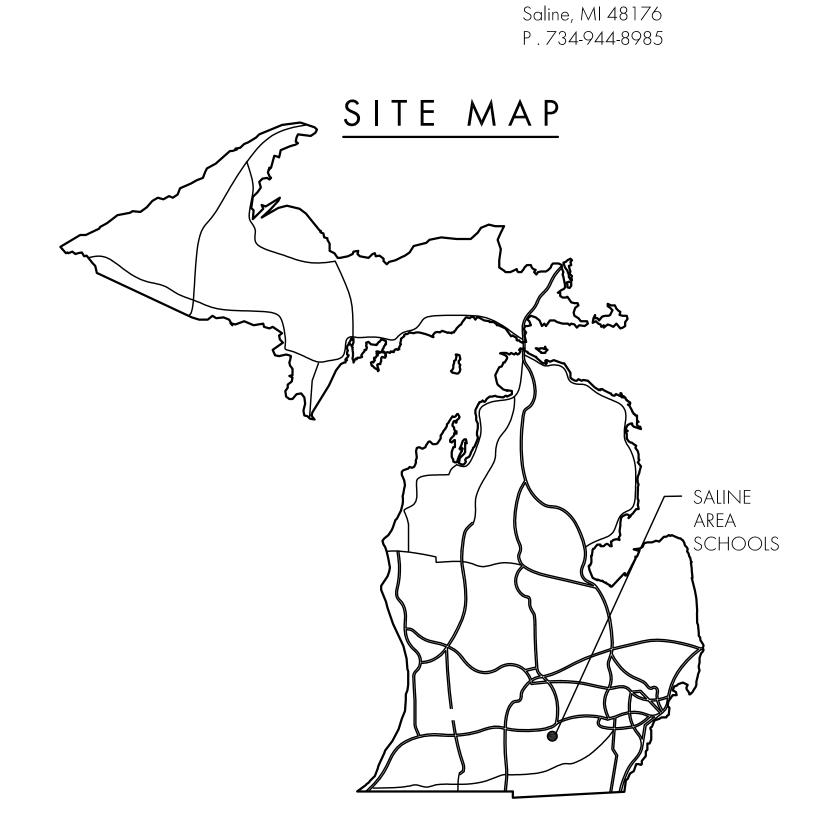
Woodland Meadows Elementary

229 Pleasant Ridge Dr.

Saline, MI 48176

P.734-401-4800

350 Woodland Dr.



SHEET INDEX

HERITAGE ELEMENTARY

WOODLAND MEADOWS

US-HE-MI.O MECHANICAL ROOF PLAN

US-WM-MI.O MECHANICAL ROOF PLAN

US-LS-MI.I MECHANICAL PLAN - UNIT A
US-LS-MI.2 MECHANICAL PLAN - UNIT B
US-LS-MI.4 MECHANICAL PLAN - UNIT D
US-LS-MEI.I MECHANICAL PLAN - UNIT D



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SALINE AREA SCHOOLS SALINE, MICHIGAN

TRANE US COMMUNITIES HVAC CONTROLS

JANUARY 18, 2017

DIRECTORY

owner

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ARCHITECT & ENGINEER 229 East Michigan Ave, Suite 335 Kalamazoo, MI 49007 P. 269 - 381 - 4880

F. 269 - 381 - 9110 NORTH WEST DESIGN GROUP (KINGSCOTT)

Kingscott 2940 Parkview Drive Petoskey, MI 49770 P.231-348-1180 F. 231-348-11850

Construction manager Clark Construction Company 29110 Inskster Rd. Suite 150 Southfield, MI 48304 P. 248-286-1000 F . xxx - xxx - xxxx

TECHNOLOGY CONSULTANT Barton Malow Technology 26500 American Drive Southfield, MI 48034 P. 248-436-5000 F. 248-436-5001

ENGINEERING CONSULTANT Strategic Energy Solutions 4000 West Eleven Mile Rd. Berkley, MI 48072 P. 248-399-1900 F . xxx-xxx-xxxx

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Saline Middle School 7190 N. Maple Rd. Saline, MI 48176 P.734-429-8000

Saline Liberty School 7265 N. Ann Arbor St. Saline, MI 48176 P.734-401-4000

Harvest Elementary 1155 Campus Pkwy. Saline, MI 48176 P.734-944-8901

Heritage Elementary 290 E. Woodland Dr. Saline, MI 481*7*6 P.734-401-4100

Pleasant Ridge Elementary 229 Pleasant Ridge Dr. Saline, MI 48176 P.734-401-4800

Woodland Meadows Elementary 350 Woodland Dr. Saline, MI 481*7*6 P.734-944-8985



SHEET INDEX

COVER PAGE

WOODLAND MEADOWS

PP-WM-MI.O MECHANICAL ROOF PLAN

PP-WM-M2.0 MECHANICAL PLAN - UNIT 600 MECHANICAL PLAN - UNIT 500 MECHANICAL PLAN - UNIT 400 PP-WM-2.2

HARVEST ELEMENTARY SCHOOL

PP-HA-MI.I FIRST & SECOND FLOOR MECHANICAL COMPOSITE PLANS

HERITAGE ELEMENTARY

PP-HE-MI.O MECHANICAL ROOF PLAN PP-HE-MI.I MECHANICAL PLAN - UNIT 100 PP-HE-MI.2 MECHANICAL PLAN - UNIT 200

PP-HE-MI.3 MECHANICAL PLAN - UNIT 300





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