

ADDENDUM

Project Name:	Village of Beverly Hills Village Hall Office Renovation	Addendum No:	One (1)
Project Number:	15-161	Issue Date:	April 15, 2015
Project Location:	The Village of Beverly Hills, Michigan		

To the Contract Documents for the requested Village of Beverly Hills Village Hall Office Renovation.

This Addendum forms a part of the above described Contract Documents and supersedes, supplements or clarifies parts thereof to the extent defined by the terms set forth in this Addendum.

This addendum consists of (5) typed pages and the following attachments:

Pre-Bid Meeting Sign-in Sheet

Drawings: Architectural: A0-04 (1 drawing)
A1-01 (1 drawing)
A3-01 (1 drawing)
A5-01 (1 drawing)
SK-01 (1 drawing)
SK-02 (1 drawing)
SK-03 (1 drawing)
SK-04 (1 drawing)

Specifications: Section 003100, Bid Form
Affidavit of Compliance – Iran Economic Sanctions Act
Section 101463 - Illuminated Message Sign

ARCHITECTURAL DRAWINGS:

Item A1 Drawing A0-02; Composite Floor & Site Plan (not reissued this addendum) & SK-01; Landscaping Plan (issued this Addendum)

- A. Add Landscaping Plan detail to clarify extent of landscaping and revise detail @ new ground mounted monument sign.

Item A2 Drawing A0-04; Schedules Frame Types, Door Types & Wall Types (revised and reissued this addendum)

- A. Revised Room Finish Schedule per reissued drawing.
 - a. Revised Floor Finish, Base, and ceiling finish as noted per addendum.
 - b. Revised Finish Schedule Legend as noted per addendum.

Item A3 Drawing A1-01; Floor Plan – Demolition and Phasing (revised & reissued this Addendum)

- A. Revise Demo Floor Plan - General Note “P” to read: Note: “Q” - Existing roof is under warranty. (Firestone "Red Shield" roofing system limited warranty #RD 079198). Protect roofing system from any and all damage. Modifications to

existing roofing system shall be performed by approved roofing contractor and existing warranty shall be maintained.

- B. Revised Demo Floor Plan Keynote # 28 to read: "Existing supply air plenum / ducts – rework and cap. Typical of 3 locations. Refer to new work detail 10/A6-03 & Mech." 9SK-04 issued per this addendum.
- C. Added new Demo Floor Plan Keynote # 40 to read: "Remove existing village informational display sign on south side of building, including concrete foundations and support posts. Existing electrical conduit to remain to connect power to new monumental sign installed in similar location."
- D. Revised Keynote # 27 on "Floor Plan – Demolition" in Mech Rm 120 to read keynote # 28.
- E. Add Keynote #40 to "Floor Plan – Demolition" at existing sign location.

- Item A4** Drawing A3-01; Floor Plans – New Work and Floor Finish Plan (revised and reissued this Addendum)
- A. Added new Floor Plan Key Note # 24 to read: "New roller shades. Verify all dimensions in field. Refer to Detail 7/A4-01 for above ceiling support header."
 - B. Added new Floor Plan Key Note # 25 to read: "New fire extinguisher and semi-recessed cabinet.
 - C. Added new Floor Plan Key Note # 26 to read: "Existing fire extinguisher and cabinet to remain.
 - D. Added location of new fire extinguisher and cabinet to Floor Plan – New Work (noted with new keynote 25 added this addendum).
 - E. Added location of existing fire extinguisher and cabinet to Floor Plan – New Work (noted with new keynote 26 added this addendum).
 - F. Added "CPT-4" to Finish Floor Plan Legend
 - G. Added locations of new roller shades to Floor Plan – New Work (noted with new keynote 24 added this addendum).
 - H. Revised Floor Finish Plan:
 - a. Revise Floor Finish Keynote in rooms 120, 128, 128.1, 130, and 131.

- Item A5** Drawing A3-10; Enlarged Floor Plans (not reissued this addendum) & SK-02; Plan Detail 8/A3-02 (issued this Addendum)
- A. Revised Plan Detail 8/A3-02; for partition to exterior window detail.

- Item A6** Drawing A4-01; Reflected Ceiling Plan and Details (not reissued this addendum) & SK-03; Typical Detail @ Roller Shades (issued this Addendum)
- A. Add Detail 7/A4-01; "Typical Detail @ Roller Shades" to clarify above ceiling support detail for new roller shades.

- Item A7** Drawing A5-01; Exterior Elevations & Building Sections (revised and reissued this Addendum)
- A. Revised Elevation 4/A0-02 reduces exterior signage from 14" high channel letters to 12" high channel letters.

- B. Revised Exterior new work elevations – key note # 10 to read: “12” channel letter signage. Alternate #2: 12” led halo-illuminated channel letter signage in lieu of non-lit channel letter signage.”
- C. Revised Elevation 8/A3-10 & 9/A3-10 enlarges the exterior monument sign in both height and width.

- Item A8** Drawing A6-03; Wall Sections – New (not reissued this addendum) & SK-04; Detail @ Capped Existing Supply Air Plenum (issued this Addendum)
- A. Add Detail 10/A6-03; “Detail @ Capped Existing Supply Air Plenum” for new fill and concrete slab at supply plenum below (3) existing furnace units.

Mechanical

- Item M1** Drawing M3-00; Mechanical Schedules (not reissued this addendum)
Add Note #1 to “Rooftop Unit Schedule”:
Note: #1: equivalent units by Trane, York, Aeon, Lennox or Carrier are acceptable manufacturers.

SPECIFICATIONS

- Item Sp1** Section 000200, Materials Finish / Color Schedule (not reissued this addendum):
- A. Resilient Wall Base “RB-1”
Add VCT-1 and VCT-2 to locations.
- Item Sp2** Section 003000, Required Bid Submission Materials (not reissued this addendum):
- A. Delete paragraph “B” (Familial Relationship Disclosure Form). This form is not required.
- Item Sp3** Section 003100, Bid Form (revised and reissued this Addendum)
- A. Paragraph (C-1) Deduct Alternate No.1:
Revise to Read: Deduct \$ _____
- Item Sp4** Affidavit of Compliance – Iran Economic Sanctions Act (revised and reissued this Addendum):
- A. References to Owner and Project name have been revised to “Village of Beverly Hills” and “Village of Beverly Hills – Village Hall and Office Renovation”
- Item Sp5** Section 092900, Gypsum Board (not reissued this addendum):
- A. Part 2, Products (2.4) Exterior Gypsum Board for Ceilings and Soffits.
 - a. Add as acceptable manufacturer/product: USG Securock glass mat sheathing, in compliance with specifications.
- Item Sp6** Section 092900, Gypsum Board (not reissued this addendum):
- A. Part 2, Products (2.4) Tile Backing Panels.

- a. Add as acceptable manufacturer/product: USG Durock cement board, in compliance with specifications.

- Item Sp7** Section 096813, Tile Carpeting (not reissued this addendum):
- A. Part 2, Products (2.1) Carpet Tile.
 - a. Revise to read “2.1 Carpet Tile (CPT-1 and CPT-2)

- Item Sp8** Section 096813, Tile Carpeting (not reissued this addendum):
- A. Part 2, Products; Add paragraphs 2.2 and 2.3 as follows:

2.2 CARPET TILE (CPT-3)

- A. Basis-of-Design Product: Subject to compliance with requirements, provide Shaw Contract Group “Portal Tile” or approved equal.
- B. Color: As listed in Material Finish / Color Schedule.
- C. Pattern: Portal Tile #5T035.
- D. Fiber Type: Eco Solution q Nylon.
- E. Dye Method: 100% solution dyed.
- F. Pile Characteristic: Multi-level Patterned Loop.
- G. Finished Pile thickness: 0.129”.
- H. Tufted Weight: 28.0 oz./yd. sq.
- I. Primary backing: Synthetic
- J. Secondary Backing: Manufacturer’s ecowork.
- K. Size: 24 by 24 inches (610 by 610 mm).
- L. Applied Soil-Resistance Treatment: Manufacturer’s standard material.

2.3 CARPET TILE (CPT-4)

- A. Basis-of-Design Product: Subject to compliance with requirements, provide Tandus Centiva “Plexus Colour IV” or approved equal.
- B. Color: As listed in Material Finish / Color Schedule.
- C. Pattern: Plexus Colour IV #02875.
- D. Fiber Type: Dynex Sd Nylon / Dynex Nylon.
- E. Dye Method: 50% solution dyed / 50% yarn dyed.

- F. Pile Height Average: 0.135".
- G. Face Weight: 24.0 oz./yd. sq.
- H. Primary backing: non-woven synthetic
- I. Secondary Backing: Manufacturer's ecowork.
- J. Size: 24 by 24 inches (610 by 610 mm).
- K. Applied Soil-Resistance Treatment: Manufacturer's standard material.

B. Part 2, Products, 2.2 Installation:

- A. Part 2, Products (2.2) Installation
Change to read "2.4 Installation"

****END OF ADDENDUM****

PRE-BID MEETING ATTENDANCE RECORD

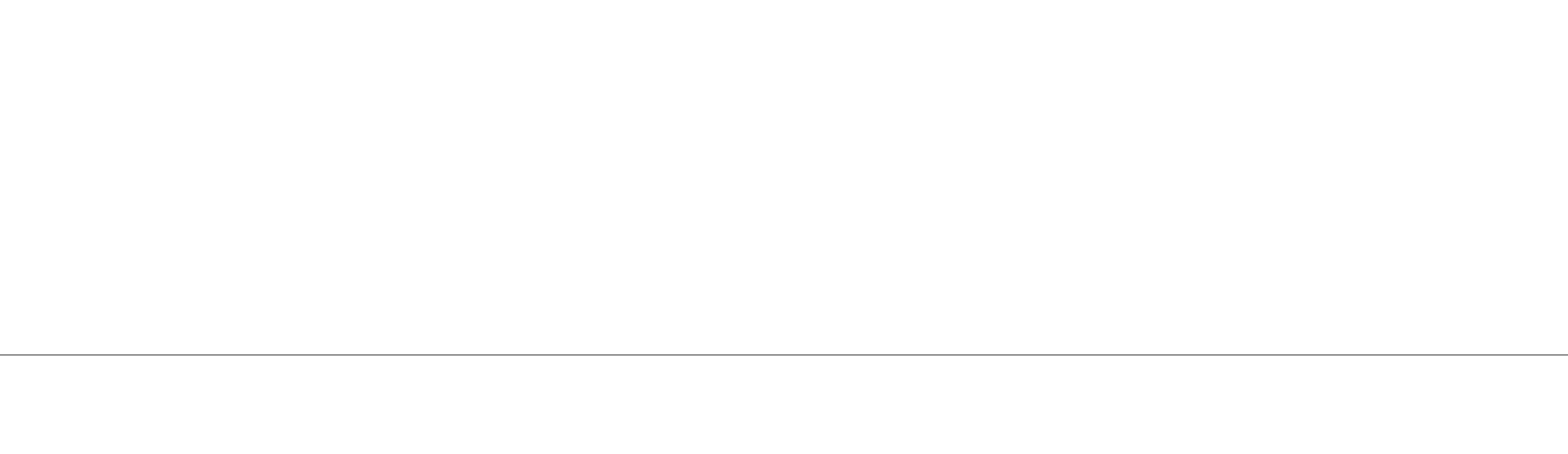
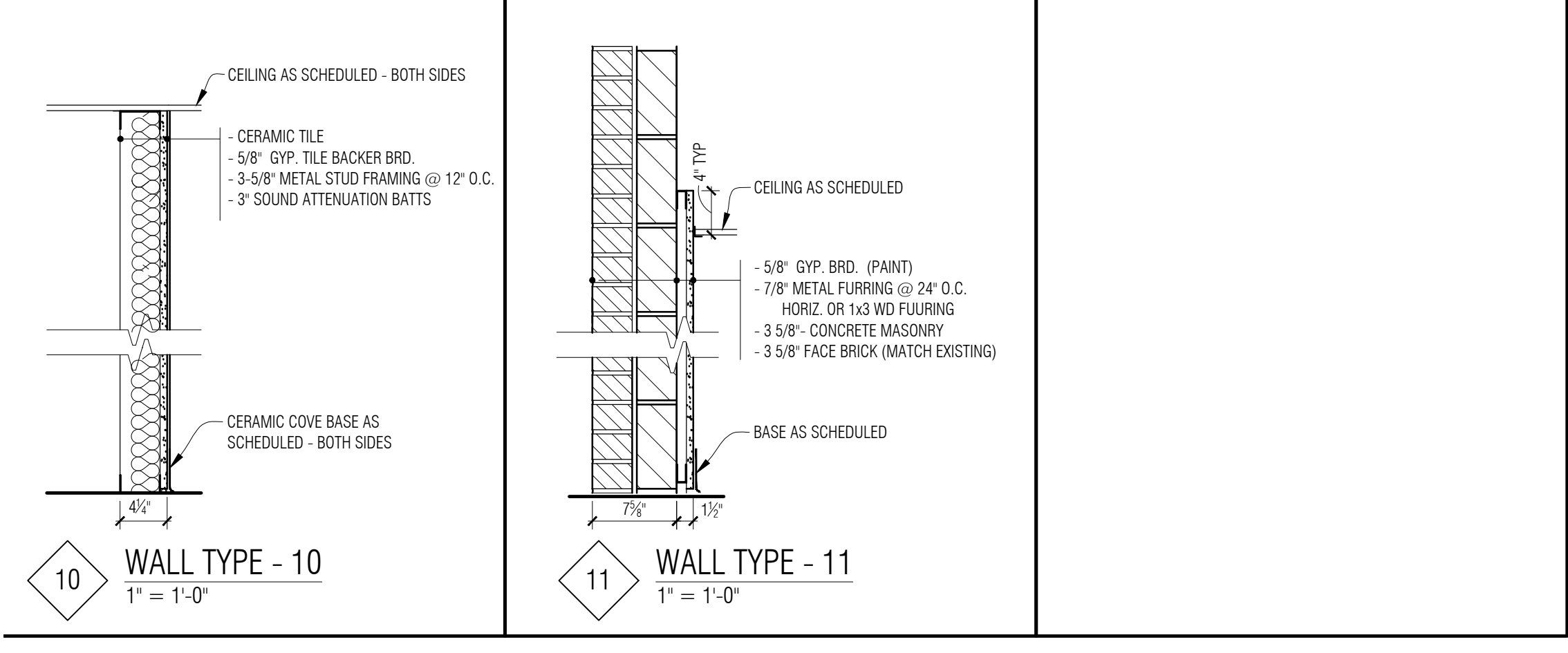
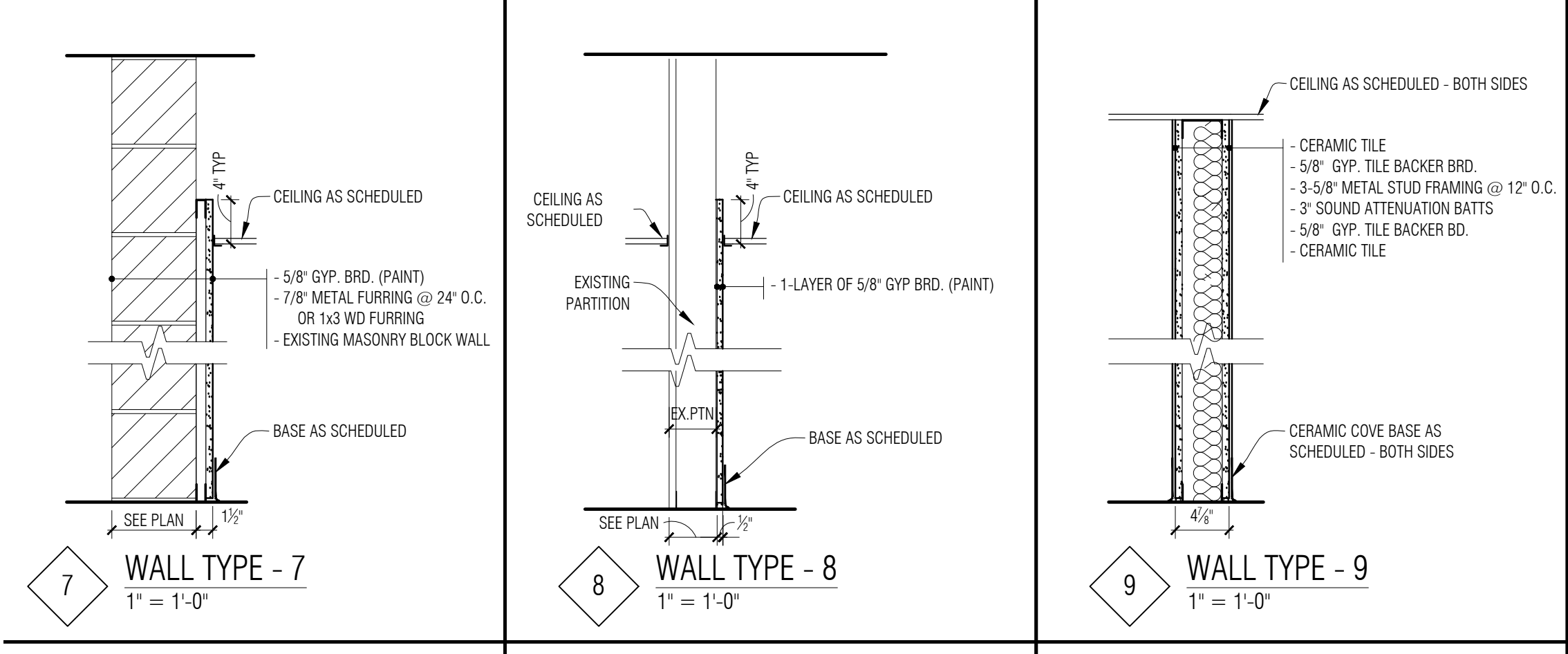
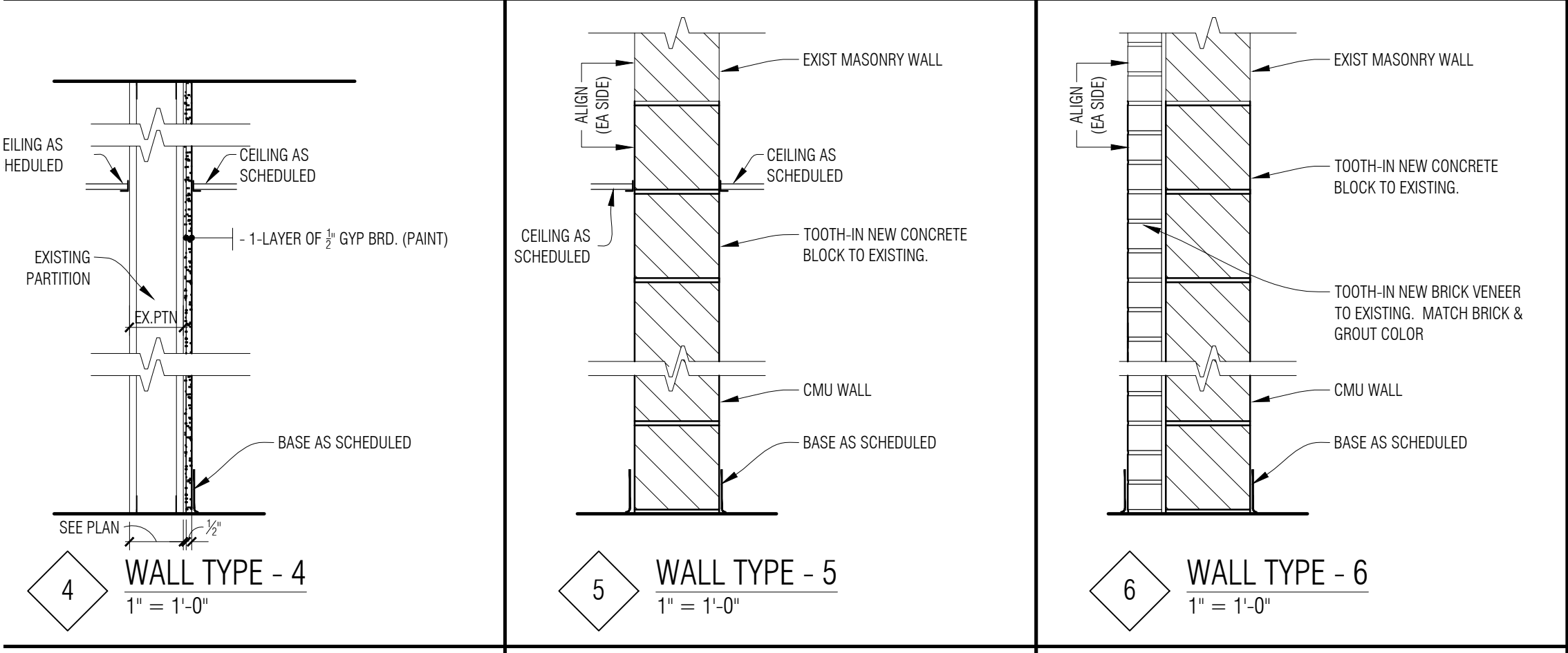
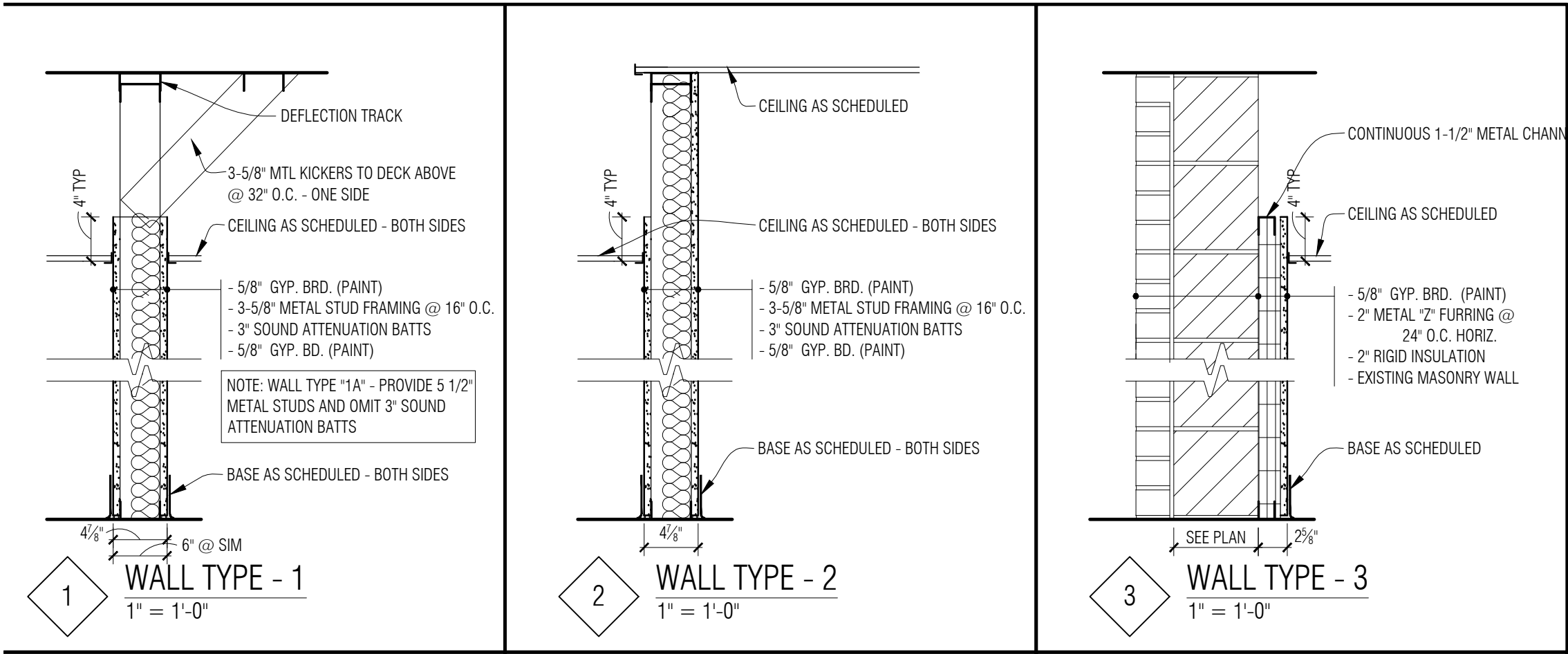
PROJECT: Village of Beverly Hills – Village Hall and Office Renovations DATE: 4/13/2016

PROJECT No: 15-161 _____ File Ref: R-550

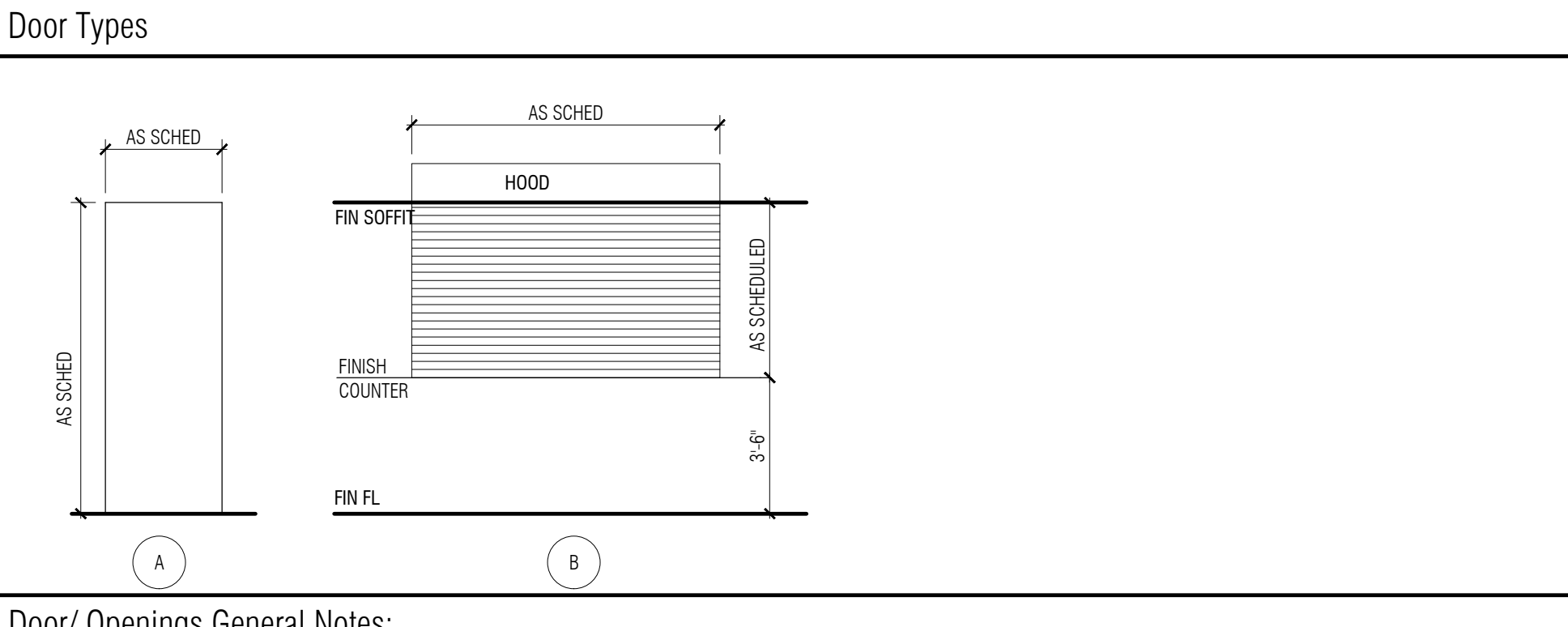
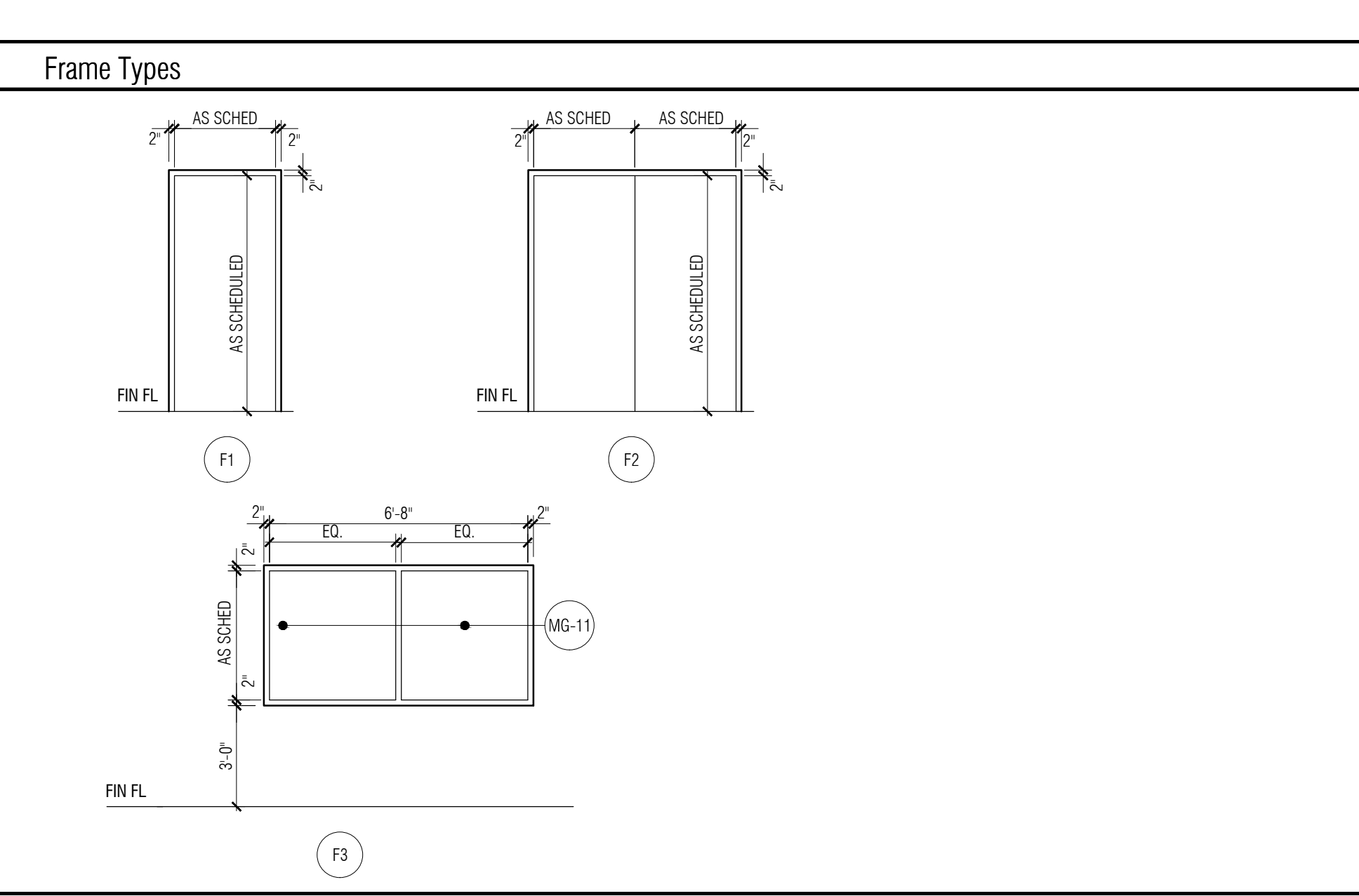
MEETING PLACE: Village of Beverly Hills _____

ATTENDEE NAME	COMPANY NAME/ENTITY	TELEPHONE / E-mail
<u>Dannell Ruffin</u>	<u>Industrial Demolition</u>	<u>810-624-9515</u>
<u>Ken Pennington</u>	<u>" " "</u>	<u>810-624-9515</u>
<u>Nora Hubert</u>	<u>HUBERT CONTRACTING</u>	<u>586-855-7325</u>
<u>James Robinson</u>	<u>UBT</u>	<u>313-588-2141</u>
<u>ROBERT SMILEY</u>	<u>UBT</u>	<u>248.251.8440</u>
<u>STEVE BRETZ</u>	<u>PHILLIPS SIGN</u>	<u>586-468-7110</u>
<u>MIKE SKOMIAL</u>	<u>*BERNCO INC</u>	<u>586-445-3700</u> <u>GEOZ. @CHARTEL.NET</u>
<u>GEORGE ZAITKA</u>	<u>ZAITKA MECH.</u>	<u>248-444-9693</u>
<u>TROY MORGAN</u>	<u>FRESH-AIRE MECH</u>	<u>810-798-7111</u> <u>freshaire@airadiv.net</u>
<u>PAUL JAMESKI</u>	<u>ALLIED BUILDING SERVICE</u>	<u>313-230-0809</u> <u>pjameski@TEAMALLIED.COM</u>
<u>Joshua Fisher</u>	<u>Blue Star Demo</u>	<u>586-427-9933</u> <u>estimating@bluestar-demo.com</u>
<u>JERRY MARINELLI</u>	<u>LIVINGSTON PARTITION & CEILING</u>	<u>248-770-4329</u>

[illegible]



Door/ Opening Schedule														
DOOR NO	DOOR/OPENING SIZE (W x H) (CONTRACTOR TO VERIFY DOOR SIZE IF OPENING IS EXISTING)	DOOR			FRAME			DETAILS				HARDWARE SET #	LABEL (MIN)	DOOR/ OPENING KEY NOTES
		TYPE	MAT.	FINISH	TYPE	MAT.	FINISH	HEAD	JAMB	SILL	THRES.			
100	EX PR 3'-0" x 7'-10"	EX	AL	EX	EX	AL	EX	EX	EX	EX	T1	16	--	7
101A	EX PR 3'-0" x 7'-10"	EX	AL	EX	EX	AL	EX	EX	EX	EX	T7	16	--	7
101B	EX 3'-0" x 7'-10"	EX	AL	EX	EX	AL	EX	EX	EX	EX	T1	16	--	7
103	3'-0" x 7'-10"	A	WD	ST-1	F1	HM	PNT-5	D8	D9/D10	--	T2	1	--	8
105	3'-0" x 7'-10"	A	WD	ST-1	F1	KD	PF	D1	D2	--	--	2	--	--
105.1	7'-0" x 4'-6"	--	--	--	F3	KD	PF	D5	D4	D4	--	--	--	--
106	3'-0" x 7'-10"	A	WD	ST-1	F1	KD	PF	D1	D2	--	--	2	--	--
106.1	7'-0" x 4'-6"	--	--	--	F3	KD	PF	D5	D4	D4	--	--	--	--
107	3'-0" x 7'-10"	A	WD	ST-1	F1	KD	PF	D1	D2	--	--	2	--	--
107.1	7'-0" x 4'-6"	--	--	--	F3	KD	PF	D5	D4	D4	--	--	--	--
108	3'-0" x 7'-10"	A	WD	ST-1	F1	KD	PF	D1	D2	--	--	2	--	--
108.1	7'-0" x 4'-6"	--	--	--	F3	KD	PF	D5	D4	D4	--	--	--	--
109	3'-0" x 7'-10"	A	WD	ST-1	EX F1	EX HM	PNT-5	EX	EX	--	--	2	--	2
110	3'-0" x 7'-10"	A	WD	ST-1	EX F1	EX HM	PNT-5	EX	EX	--	--	3	--	2
110.1	3'-0" x 7'-10"	A	FRP	FRP-1	SF1	AL	DK BRZ ANOD.	D11	D12	--	T1	4	--	3, 10
114	3'-0" x 7'-10"	A	WD	ST-1	F1	KD	PF	D1	D2	--	T4	5	--	--
114.1	3'-0" x 7'-10"	A	FRP	FRP-1	SF2	AL	DK BRZ ANOD.	D11	D12/D13	--	T7	6	--	4
115	3'-0" x 7'-10"	A	WD	ST-1	F1	KD	PF	D1	D2	--	T4	7	--	--
120	3'-0" x 7'-10"	EX A	EX HM	PNT	EX F1	EX HM	PNT-5	EX	EX	--	T5	8	--	1
120.1	3'-0" x 7'-10"	A	FRP	FRP-1	SF1	AL	DK BRZ ANOD.	D6	D7	--	T7	6.1	--	3, 9, 10
121	3'-0" x 7'-10"	A	WD	ST-1	EX F1	EX HM	PNT-5	EX	EX	--	--	2	--	2
122	3'-0" x 7'-10"	A	WD	ST-1	F1	KD	PF	D1	D2	--	T4	7	--	--
123	3'-0" x 7'-10"	A	WD	ST-1	F4	KD	PF	D1	D2/D3	D4	--	2	--	--
123.1	7'-0" x 4'-6"	--	--	--	F3	KD	PF	D5	D4	D4	--	--	--	--
126	3'-0" x 7'-10"	EX A	EX HM	PNT	EX F1	EX HM	PNT-5	EX	EX	--	T5	9	--	1
127	3'-0" x 7'-10"	A	WD	ST-1	EX F1	EX HM	PNT-5	EX	EX	--	T3	10	--	2
128	3'-0" x 7'-10"	A	WD	ST-1	EX F1	EX HM	PNT-5	EX	EX	--	--	10	--	2
129	3'-0" x 7'-10"	A	WD	ST-1	EX F1	EX HM	PNT-5	EX	EX	--	--	7	--	2
129.1	PR 2'-4" x 7'-10"	A	WD	ST-1	F2	HM	PNT-5	D6	D7	--	--	11	--	4, 8
130	3'-0" x 7'-10"	A	WD	ST-1	F1	HM	PNT-5	D6	D7	--	--	12	--	5, 8
131	3'-6" x 7'-10"	A	WD	ST-1	EX F1	HM	PNT-5	D6	D7	--	T2	13	--	4, 8
131.1	PR 4'-0" x 7'-10"	A	WD	ST-1	F2	HM	PNT-5	D1	D2	--	--	14	--	8
132	PR 2'-6" x 7'-10"	A	WD	ST-1	F2	HM	PNT-5	--	--	--	T4	15	--	8
133	13'-6" x 4'-6"	B	MTL	PF	--	--	--	D1	D2	--	--	--	--	6



Door/ Openings General Notes:

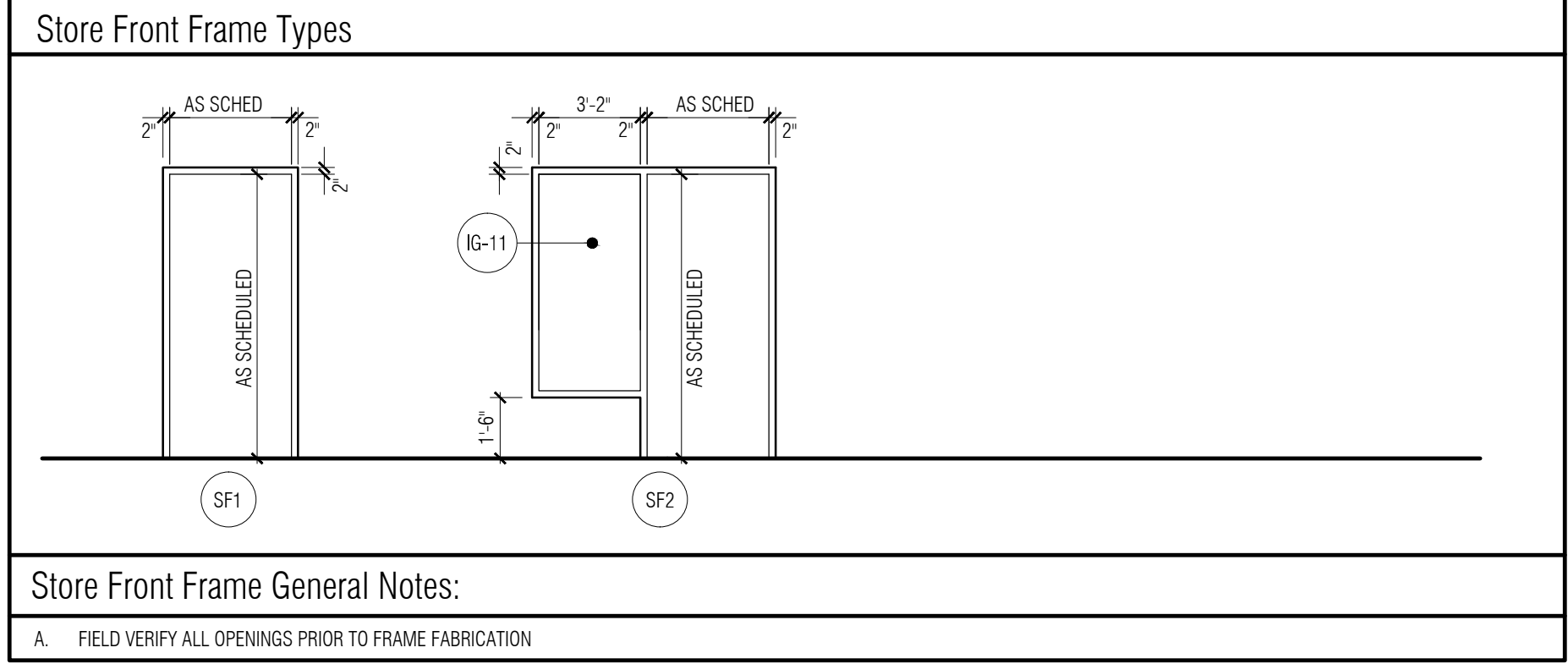
A. FIELD VERIFY ALL OPENINGS PRIOR TO DOOR/FRAME FABRICATION

Door/ Opening Key Notes:

- EXISTING DOOR AND FRAME TO BE CLEANED, PREP'D AND PAINTED.
- EXISTING OPENING - FIELD VERIFY OPENING SIZE. EXISTING FRAME TO BE CLEANED, PREP'D AND PAINTED.
- EXISTING OPENING - FIELD VERIFY OPENING SIZE. REPAIR DAMAGED SUBSTRATES CAUSED BY FRAME REMOVAL.
- EXISTING OPENING - MODIFY FOR NEW DOOR AND FRAME. REPAIR DAMAGED SUBSTRATES CAUSED BY FRAME REMOVAL.
- NEW OPENING - PATCH AND REPAIR DAMAGED SUBSTRATES TO MATCH EXISTING CONDITIONS AND MATERIALS.
- ALUMINUM CRANK OPERATED COILING COUNTER DOOR.
- EXISTING ALUMINUM DOOR AND FRAME TO REMAIN.
- PAINT NEW FRAME.
- ALUMINUM LOUVER IN TRANSOM FRAME.
- ALTERNATE A-1: PROVIDE HOLLOW METAL DOOR AND FRAME IN LIEU OF BASE BID (ALUMINUM FRAME AND FRP DOOR).

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING FIN.	ROOM FINISH KEY NOTES
				NORTH	EAST	SOUTH	WEST		
100	VESTIBULE	CPT-3/ PT-1	PT-3	ETR	ETR	ETR	ETR	EX STUCCO - PNT-4 / ACT-1	10, 11
101	LOBBY	PT-1	PT-3	PT-2 @ DRINKING FOUNTAIN	ETR	ETR	GYP BD - PNT-1	ACT-1 / GYP BD SOFFIT - PNT-2	10, 11
102	CUSTOMER COUNTER	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1 (COLUMNS)	ACT-1	11
103	RECEPTION	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	11
104	HALL	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2
105	CLERK	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 5, 9
106	ADMIN ASST	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 5, 9
107	ENGINEERING	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 5, 9
108	BUILDING / CODE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 5
109	GIS	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 5
110	VILLAGE MGR	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 9
111	VAULT	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-4	2
112	WORK ROOM	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 5, 11
113	HALL	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2
114	BREAK RM	VCT-1 & VCT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 11
115	STORAGE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2
116	UTILITY BILLING	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	11
117	PREP AREA	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 11
118	HALL	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2
119	VAULT	VCT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-4	2
120	MECH RM	VCT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-4	2
121	FINANCE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 9
122	STORAGE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2
123	TREASURER	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 9
124	PLANNING	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	2, 9
125	HALL	CPT-1 / PT-1	RB-1	ETR	ETR	PNT-1	ETR	ACT-1	1, 10, 11
126	MECH	VCT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-4	1, 2
127	MENS	PT-2	CT-3	CT-1 & CT-2	CT-1 & CT-2	CT-1 & CT-2	CT-1 & CT-2	PNT-4	1, 8
128	WOMENS	PT-2	CT-3	CT-1 & CT-2	CT-1 & CT-2	CT-1 & CT-2	CT-1 & CT-2	PNT-4	1, 8
128.1	WOMENS LOUNGE	CPT-1	RB-1	CT-1 & CT-2	PNT-2	PNT-2	PNT-2	ACT-1	1, 2, 6
129	CONFERENCE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	1, 2, 9
129.1	STOR	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1	1, 2
130	MEDIA RM	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	--	1, 2
131	VILLAGE HALL	CPT-2 / CPT-4	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1 / PNT-4	1, 2, 3, 4, 7, 11
131.1	TABLE STOR	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	GYP BD - PNT-4	1

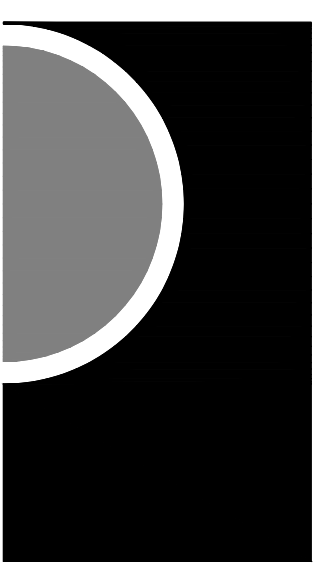
Room Finish Key Notes:	Legend:
<ol style="list-style-type: none">FOR ALL ROOMS ORIENTED 45° TO NORTH, NORTH WEST WALL TO BE DESIGNATED AS NORTHPREPARE AND PAINT EXISTING WALLS TO REMAIN AS FINISH SURFACE.ALSO SEE PLAN FOR NEW GYP BD FURRED WALL.ALSO SEE INTERIOR ELEVATIONS FOR PAINTED WAINSCOT TREATMENT.WALLS INDICATED TO RECEIVE 3" SOUND INSULATION.PAINT WALLS WITH WALL INFILL OR PATCHING.INSTALL A 1x3 PAINTED HAND CHAIR RAIL @ 36" FROM FF.INSTALL PORCELAIN AND/OR CERAMIC TILE BASE PRIOR TO INSTALLATION OF PORCELAIN TILE FLOORINGINSTALL 3" OF SOUND BATT INSULATION @ PERIMETER OF ROOM ABOVE ACOUSTICAL CEILING TILE.EXISTING FACE BRICK TO REMAIN - NO NEW FINISHPAINT DRYWALL SOFFITS & CEILING	<p>VCT - VINYL COMPOSITION TILE TILE - PORCELAIN THROUGH BODY TILE CPT - CARPET VB - VINYL WALL BASE ACT - ACOUSTIC COMPOSITION CEILING TILE WD - WOOD PF - FACTORY PRE-FINISHED PAINT PNT - PAINT CT - CERAMIC TILE PT - PORCELAIN TILE RB - RESILIENT WALL BASE</p> <p>CONC - CONCRETE EX - EXISTING HM - METAL AL - ALUMINUM SF - STORE FRONT RF - KNOCK-DOWN METAL "REDI-FRAME" (E) EXISTING</p>



Store Front Frame General Notes:

A. FIELD VERIFY ALL OPENINGS PRIOR TO FRAME FABRICATION

PARTNERS



PARTNERS in Architecture, PLC

65 MARKET STREET
MOUNT CLEMENS, MI 48043
P 586.469.3600
F 586.469.3607

Statement of Intellectual Property

The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, PLC, 65 Market Street, Mount Clemens, MI 48043 (P 586.469.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, PLC. This information is protected under U.S. Copyright Law, all rights reserved.

© Copyright 2016

CONSULTANT

KEY PLAN

OWNER

Village of Beverly Hills
18500 W 13 Mile Road
Beverly Hills, MI 48025

PROJECT NAME

Village of Beverly Hills
Office Renovation

18500 W 13 Mile Road
Beverly Hills, MI 48025

PROJECT NO.

15-161

ISSUES / REVISIONS

Bidding - Construction 04/01/2016
Addendum -01 04/15/2016

DRAWN BY

PDF

CHECKED BY

PDF

APPROVED BY

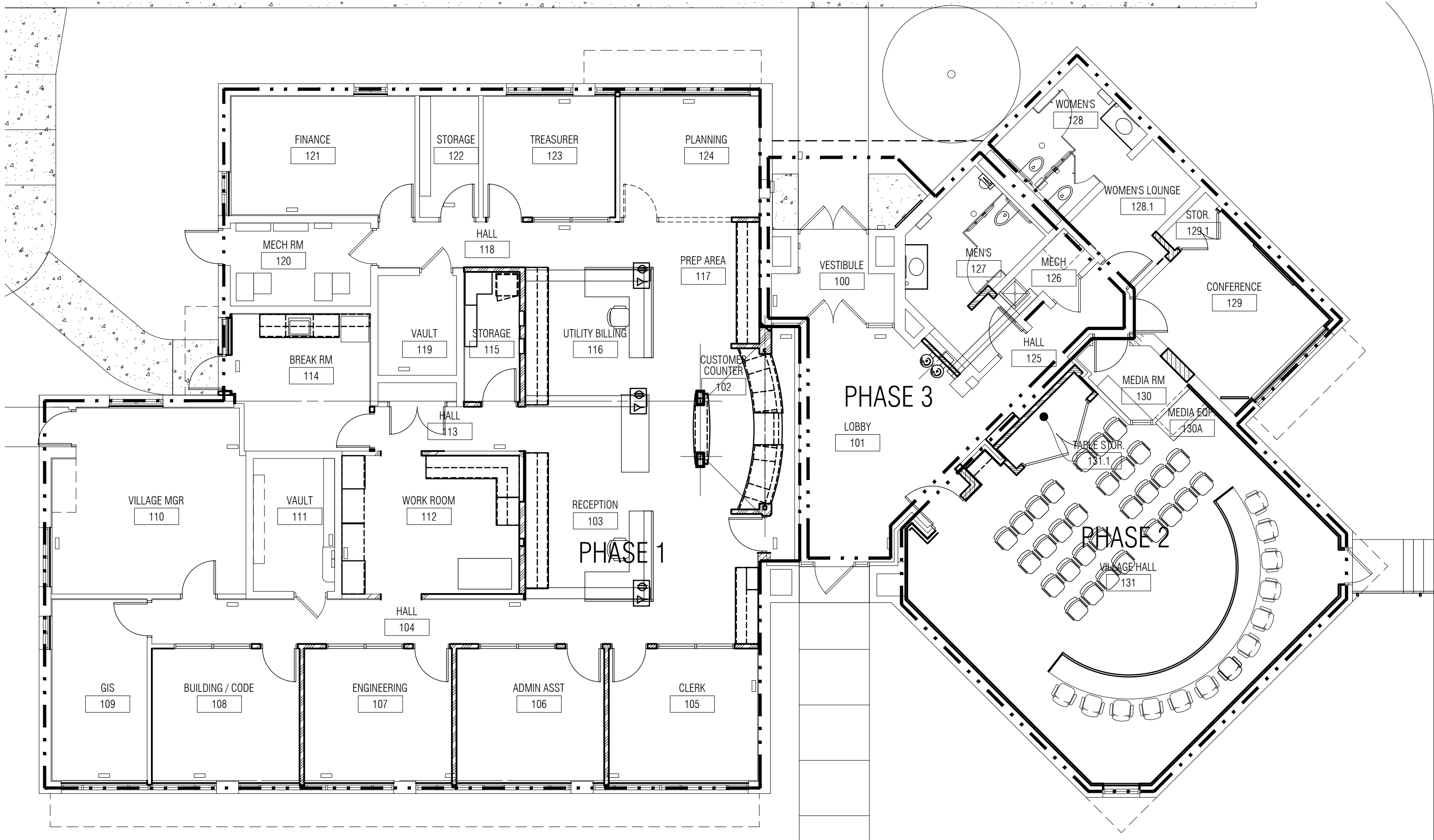
DWG

SHEET NAME

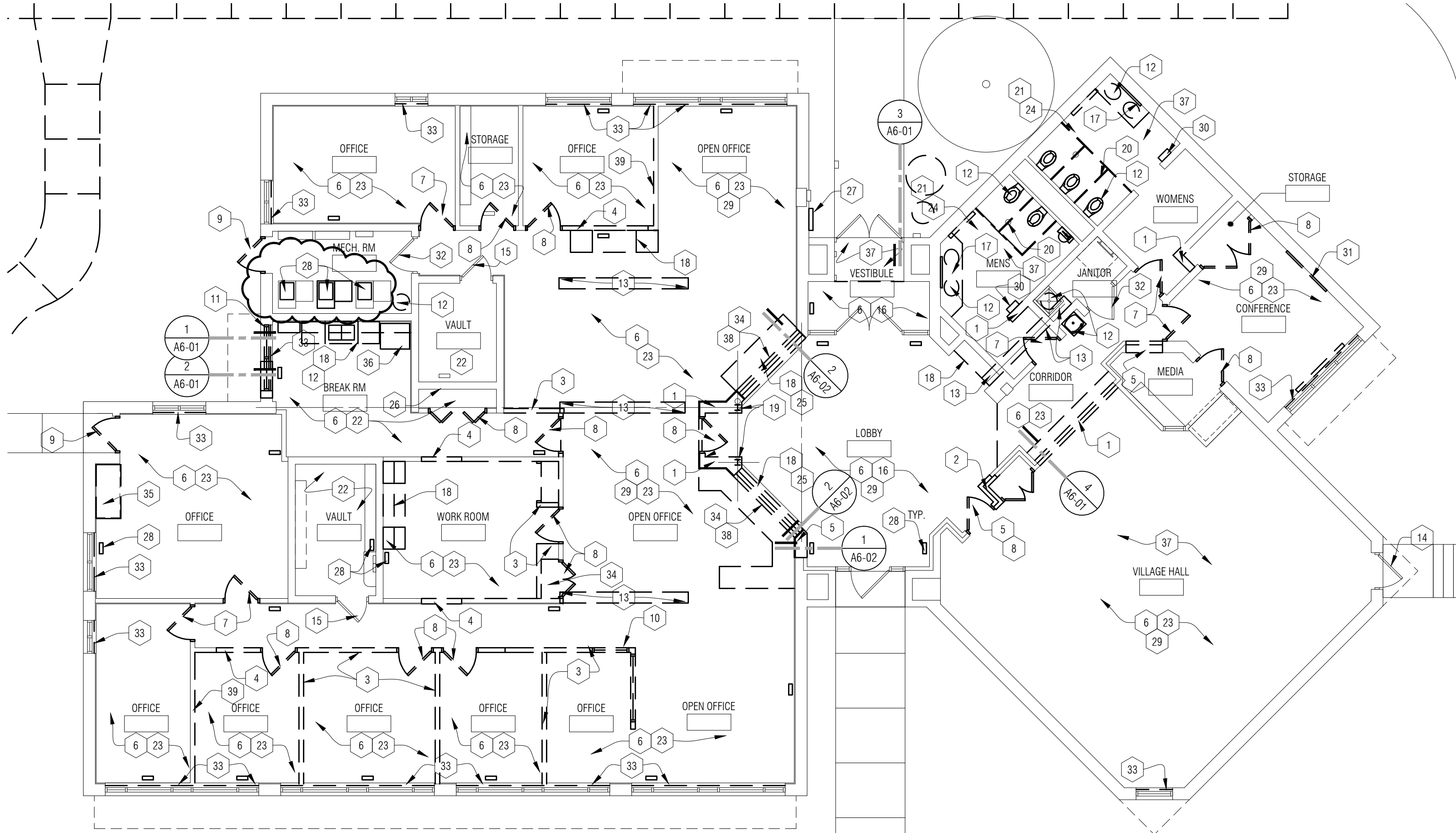
SCHEDULES,
FRAME TYPES,
DOOR TYPES &
WALL TYPES

SHEET NO.

A0-04



N
2
A1-01
Floor Plan-Phasing Plan
1/8" = 1'-0"



N
1
A1-01
Floor Plan-Demolition
1/8" = 1'-0"

PHASING GENERAL NOTES:

- PHASE-1: PHASE -1 IS RENOVATION OF EXISTING ADMINISTRATIVE OFFICES. OWNER WILL RELOCATE TEMPORARY AND MAINTAIN BUSINESS ADMINISTRATIVE OPERATIONS TO VILLAGE HALL DURING CONSTRUCTION OF PHASE-1. PROVIDE DUST-PROOF CONSTRUCTION BARRIER BETWEEN LOBBY 101 AND PHASE-1 CONSTRUCTION AREA.
- PHASE-2: PHASE -2 IS RENOVATION OF VILLAGE HALL, CONFERENCE ROOM AND WOMEN'S RESTROOM. UPON COMPLETION OF PHASE-1 OWNER WILL RELOCATE PERMANENT ADMINISTRATIVE OFFICES TO PHASE-1 AREA AND RESUME BUSINESS OPERATIONS. PROVIDE DUST-PROOF CONSTRUCTION BARRIER BETWEEN LOBBY 101 AND PHASE-2 CONSTRUCTION AREA.
- PHASE -3: PHASE -3 IS RENOVATION OF LOBBY AND MEN'S RESTROOM. COMMENCE CONSTRUCTION UPON COMPLETION OF PHASE-2 CONSTRUCTION. PROVIDE DUST-PROOF CONSTRUCTION BARRIER BETWEEN PHASE-3 AND COMPLETED CONSTRUCTION AREAS.

DEMO FLOOR PLAN - GENERAL NOTES:

- A. ALL DEMOLITION DRAWINGS AND DEMOLITION DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NEW WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS (AND ARE DESIGNATED WITH DASHED, HIDDEN OR STRUCK THRU LINES). COORDINATE ALL DEMOLITION WORK WITH ALL ARCHITECTURAL, CIVIL, STRUCT., MECH. AND ELEC. DRAWINGS. CONTRACTOR IS RESPONSIBLE TO REFERENCE ALL DRAWINGS/ SPECIFICATIONS TO CONFIRM EXTENT OF DEMOLITION WORK.
- B. ALL REMOVED ITEMS, WALLS, FLOORS CEILING, OPENINGS, ETC ARE TO BE PATCHED/REPAIRED AND PREPARED TO RECEIVE NEW WORK AND/OR FINISHES.
- C. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- D. WALL REMOVAL THAT TERMINATES INTO A WALL OR CEILING TO REMAIN SHALL BE COMPLETELY REMOVED FREE OF PROJECTIONS, READY TO RECEIVE NEW WORK.
- E. REMOVE ALL ITEMS PROJECTING FROM EXISTING WALLS OR FLOORS TO REMAIN (BLOCKING, SCREWS, FASTENERS, PIPES, CONDUITS, MOUNTING PLATES, FIXED EQUIPMENT, ETC). PATCH AND REPAIR FOR NEW FINISH.
- F. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO BIDDING.
- G. CONTRACTOR SHALL PROTECT EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES. CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS (IDENTIFIED BY OWNER, ARCHITECT, OR CONSTRUCTION MANAGER) AT NO ADDITIONAL COST.
- H. MAINTAIN EXISTING FIRE RATING WHERE OCCURS AND WHERE POSSIBLE DURING DEMOLITION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION AS WELL AS CONSTRUCTION MANAGER'S INSTRUCTIONS.
- I. ALL ASBESTOS, EXCEPT FOR ROOFING MATERIALS TO BE REMOVED BY ABATEMENT CONTRACTOR - SEE AHERA SURVEY
- J. DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF-SITE, U.O.N.
- K. REMOVE ALL PICTURES, FRAMES & PLAQUES THAT MAY BE DAMAGED DURING CONSTRUCTION AND RETURN TO OWNER.
- L. CONTRACTOR IS TO DEMO AND PREPARE EXISTING WALL CONSTRUCTION AS REQUIRED FOR INSTALLATION OF NEW MECHANICAL AND ELECTRICAL WORK WITHIN EXISTING WALL.
- M. PREP ALL MASONRY OPENINGS TO RECEIVE NEW TOOTHED-IN MASONRY FOR LIKE NEW APPEARANCE WHERE DEMOLITION OCCURS AND WALL IS VISIBLE.
- N. CONTRACTOR TO COORDINATE EXIST. CONC. SLAB REMOVAL THAT IS REQUIRED FOR INSTALLATION OF NEW UNDERGROUND PLUMBING WITH DEMOLITION CONTRACTOR.
- O. REMOVE ALL EXISTING EXPOSED CONDUIT NOT IN USE PRIOR TO OR AFTER NEW WORK.
- P. ALL CONTRACTORS TO FOLLOW OSHA RULES AND REGULATIONS FOR HAZARDOUS MATERIALS.
- Q. EXISTING ROOF IS UNDER WARRANTY. (FIRESTONE "RED SHIELD" ROOFING SYSTEM LIMITED WARRANTY #RD079198). PROTECT ROOFING SYSTEM FROM ANY AND ALL DAMAGE. MODIFICATIONS TO EXISTING ROOFING SYSTEM SHALL BE PERFORMED BY APPROVED ROOFING CONTRACTOR AND EXISTING WARRANTY SHALL BE MAINTAINED.

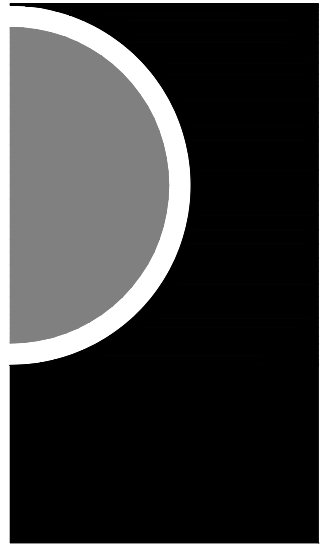
DEMO FLOOR PLAN - KEY NOTES (CONTINUED):

- 28 EXISTING SUPPLY AIR PLENUM / DUCTS - REWORK AND CAP. TYPICAL OF 3 LOCATIONS. REFER TO NEW WORK DETAIL 10/A6-03, & MECH.
- 29 OWNER TO REMOVE AND SALVAGE ALL WALL HUNG PHOTOS, MAPS, PLAQUES AS REQUIRED- TYPICAL ALL AREAS.
- 30 REMOVE EXISTING TOILET ACCESSORIES. SALVAGE EXISTING PAPER TOWEL DISPENSER/ DISPOSAL FOR REINSTALLATION- REFER TO NEW WORK PLAN.
- 31 REMOVE EXISTING CHALKBOARD AND SALVAGE FOR REINSTALLATION IN SAME LOCATION.
- 32 EXISTING HM DOOR/ FRAME TO REMAIN. REMOVE EXISTING LOCKSET, BALANCE OF HARDWARE TO REMAIN.
- 33 REMOVE EXISTING VERTICAL WINDOW BLINDS.
- 34 EXISTING GYP BD CEILING/ SOFFIT TO BE REMOVED, INCLUDING HANGERS AN WALL ANGLE TRIM.
- 35 REMOVE EXISTING WOOD COUNTERTOP. EXISTING CABINET TO REMAIN.
- 36 APPLIANCES AND KITCHEN EQUIPMENT - REMOVED BY OWNER.
- 37 EXISTING GYP BD CEILING TO REMAIN - REMOVE EXISTING LIGHT FIXTURES, SUPPLY/ RETURN GRILLES. REFER TO MECH & ELEC.
- 38 REMOVE MASONRY HEADER.
- 39 REMOVE EXISTING GYP BD ONE SIDE OF PARTITION TO ACCOMMODATE NEW SOUND INSULATION.
- 40 REMOVE EXISTING VILLAGE INFORMATIONAL DISPLAY SIGN ON SOUTH SIDE OF BUILDING, INCLUDING CONCRETE FOUNDATIONS AND SUPPORT POSTS. EXISTING ELECTRICAL CONDUIT AND WIRING TO REMAIN AND SHALL BE CONNECT TO NEW MONUMENT SIGN.

DEMO FLOOR PLAN - KEY NOTES:

- 1 EXISTING NON-BEARING MASONRY WALL CONSTRUCTION TO BE REMOVED FROM CONC FOUNDATION TO EXISTING ROOF DECK OR FULL HEIGHT OF WALL.
- 2 REMOVE EXISTING MASONRY WALL - REFER TO STRUCTURAL.
- 3 EXISTING GYP BD, FRAMED PARTITION CONSTRUCTION TO BE REMOVED FOR THE FULL HEIGHT OF WALL.
- 4 REMOVE PORTION OF EXISTING GYP. BD. WALL PARTITION TO ACCOMMODATE NEW OPENING OR NEW DOOR AND FRAME - COORDINATE WITH NEW WORK.
- 5 REMOVE PORTION OF EXISTING MASONRY BEARING WALL CONSTRUCTION AND PREPARE TO RECEIVE NEW DOOR AND FRAME - COORDINATE WITH NEW WORK. REFER TO STRUCTURAL.
- 6 EXISTING LAY-IN ACOUSTICAL CEILING AND LIGHTING TO BE REMOVED, INCLUDING HANGERS, WALL ANGLE TRIM, CEILING MOUNTED EQUIPMENT AND FIXTURES. REFER TO MECHANICAL AND ELECTRICAL.
- 7 REMOVE EXISTING DOOR AND HARDWARE, HM FRAME TO REMAIN.
- 8 REMOVE EXISTING DOOR, FRAME AND ALL ASSOCIATED HARDWARE.
- 9 EXISTING DOOR AND FRAME TO BE REMOVED AND REPLACED , INCLUDING THRESHOLD. CAREFULLY REMOVE FRAMES TO PRESERVE EXTERIOR AND INTERIOR FINISHES TO REMAIN.
- 10 REMOVE EXISTING BORROWED LITE UNIT AND ALL ASSOCIATED ITEMS.
- 11 REMOVE EXISTING WINDOW UNIT AND EXISTING MASONRY WALL TO ACCOMMODATE NEW DOOR AND FRAME AND SIDELIGHT - COORDINATE WITH NEW WORK. REFER TO STRUCTURAL.
- 12 REMOVE EXISTING PLUMBING FIXTURE(S) AND ALL ASSOCIATED COMPONENTS. PATCH FLOOR AND WALLS AS REQUIRED FOR INSTALLATION OF NEW WORK, WHERE REQUIRED, DEMO PORTION OF MASONRY WALL WHERE NEW PLUMBING AND/OR MECH. IS TO BE ROUTED. COORDINATE WITH MECHANICAL.
- 13 SAW CUT AND REMOVE PORTION OF CONCRETE FLOOR SLAB AS REQD TO RECEIVE NEW WORK - COORDINATE WITH MECHANICAL & ELECTRICAL FOR LOCATION AND LIMIT OF WORK
- 14 EXISTING ALUMINUM DOOR AND HOLLOW METAL FRAME TO REMAIN.
- 15 EXISTING VAULT DOOR AND FRAME TO REMAIN.
- 16 REMOVE EXISTING QUARRY TILE FLOORING.
- 17 REMOVE EXISTING PL. LAM. COUNTERTOP AND ALL ASSOCIATED ITEMS.
- 18 EXISTING BASE AND WALL CABINETS / SHELVES TO BE REMOVED.
- 19 EXISTING STEEL COLUMNS TO REMAIN.
- 20 EXISTING TOILET PARTITIONS TO BE REMOVED.
- 21 EXISTING CERAMIC TILE FLOOR FINISH AND BASE TO BE REMOVED AND PREPARED TO RECEIVE NEW FLOOR FINISH. REFER TO NEW WORK PLAN.
- 22 EXISTING VCT FLOOR FINISH AND BASE TO BE REMOVED AND PREPARED TO RECEIVE NEW FLOOR FINISH. REFER TO NEW WORK PLAN.
- 23 EXISTING CARPET FLOOR FINISH AND BASE TO BE REMOVED AND PREPARED TO RECEIVE NEW FLOOR FINISH. REMOVE FLOOR BASE CAREFULLY TO PRESERVE WALL FINISHED TO REMAIN. REFER TO NEW WORK PLAN.
- 24 EXISTING CERAMIC TILE WALL FINISH TO BE REMOVED AND PREPARED TO RECEIVE NEW WALL FINISH. REFER TO NEW WORK PLAN.
- 25 REMOVE EXISTING COILING DOOR
- 26 EXISTING PHONE/ DATA/ CABLE EQUIPMENT TO REMAIN. PROTECT FROM DAMAGE.
- 27 REMOVE EXISTING DISPLAY BOARD AND TURN OVER TO OWNER.

PARTNERS



PARTNERS in Architecture, PLC

65 MARKET STREET
MOUNT CLEMENS, MI 48043
P 586.469.3600
F 586.469.3607

Statement of Intellectual Property

The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, PLC, 65 Market Street, Mount Clemens, MI, 48043 (P 586.469.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, PLC. This information is protected under U.S. Copyright Law, all rights reserved.

© Copyright 2016

CONSULTANT

KEY PLAN

OWNER

Village of Beverly Hills
18500 W 13 Mile Road
Beverly Hills, MI 48025

PROJECT NAME

Village of Beverly Hills
Office Renovation

18500 W 13 Mile Road
Beverly Hills, MI 48025

PROJECT NO.

15-161

ISSUES / REVISIONS

Bidding - Construction 04/01/2016
Addendum -01 04/15/2016

DRAWN BY

PDF

CHECKED BY

PDF

APPROVED BY

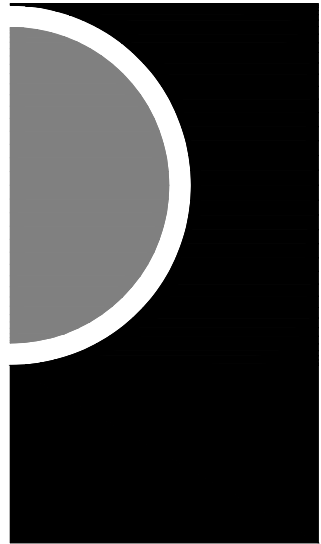
DWG

SHEET NAME

FLOOR PLAN-
DEMOLITION
AND PHASING

SHEET NO.

A1-01



GENERAL NOTES - FINISH FLOOR PLANS:

- A. REFERENCE ROOM FINISH SCHEDULE AND MATERIAL FINISH / COLOR SCHEDULE (SPEC SECTION 000200) FOR ADDITIONAL FINISH INFORMATION.
- B. VCT COLOR TRANSITION TO BEGIN AT FIRST JOINT INSIDE CORNER OF WALL AT ALL DOORWAYS SHOWN AS HAVING A COLOR TRANSITION.
- C. ALL DIMENSIONS ARE SHOWN AS +/- AND NEED TO BE VERIFIED IN FIELD.
- D. UNLESS OTHERWISE NOTED, FLOOR FINISHES TRANSITION UNDER THE CENTERLINE OF DOORS (WHEREVER APPLICABLE).

KEY NOTES - FINISH FLOOR PLANS:

- F1 ENTRANCE WALK OFF CARPET & PORCELAIN TILE INSTALLED ON EXISTING CONCRETE. REMOVE EXISTING QUARRY TILE AND GRIND CONCRETE AS REQUIRED TO PROVIDE AN EVEN GRADUAL SLOPE FROM ENTRANCE DOORS TO EXIT DOORS. REFER TO SECTION DETAIL 3/A6-01.
- F2 FLOOR DRAIN- PROVIDE POSITIVE SLOPE TO DRAIN
- F3 PATCH EXISTING CONCRETE SLAB @ WALL REMOVAL AS REQUIRED FOR LEVEL INSTALLATION OF NEW FLOOR FINISH.
- F4 THRESHOLD (REFER TO DOOR SCHEDULE AND DRAWING A0-04 FOR TYPE)
- F5 ACCENT PAINT LOCATION - PNT-2
- F6 ROOM IDENTIFICATION SIGNAGE (SGN-4) - REFER SCHEDULE AND DETAILS ON DRAWING A8-21 AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

FINISH FLOOR PLAN LEGEND:

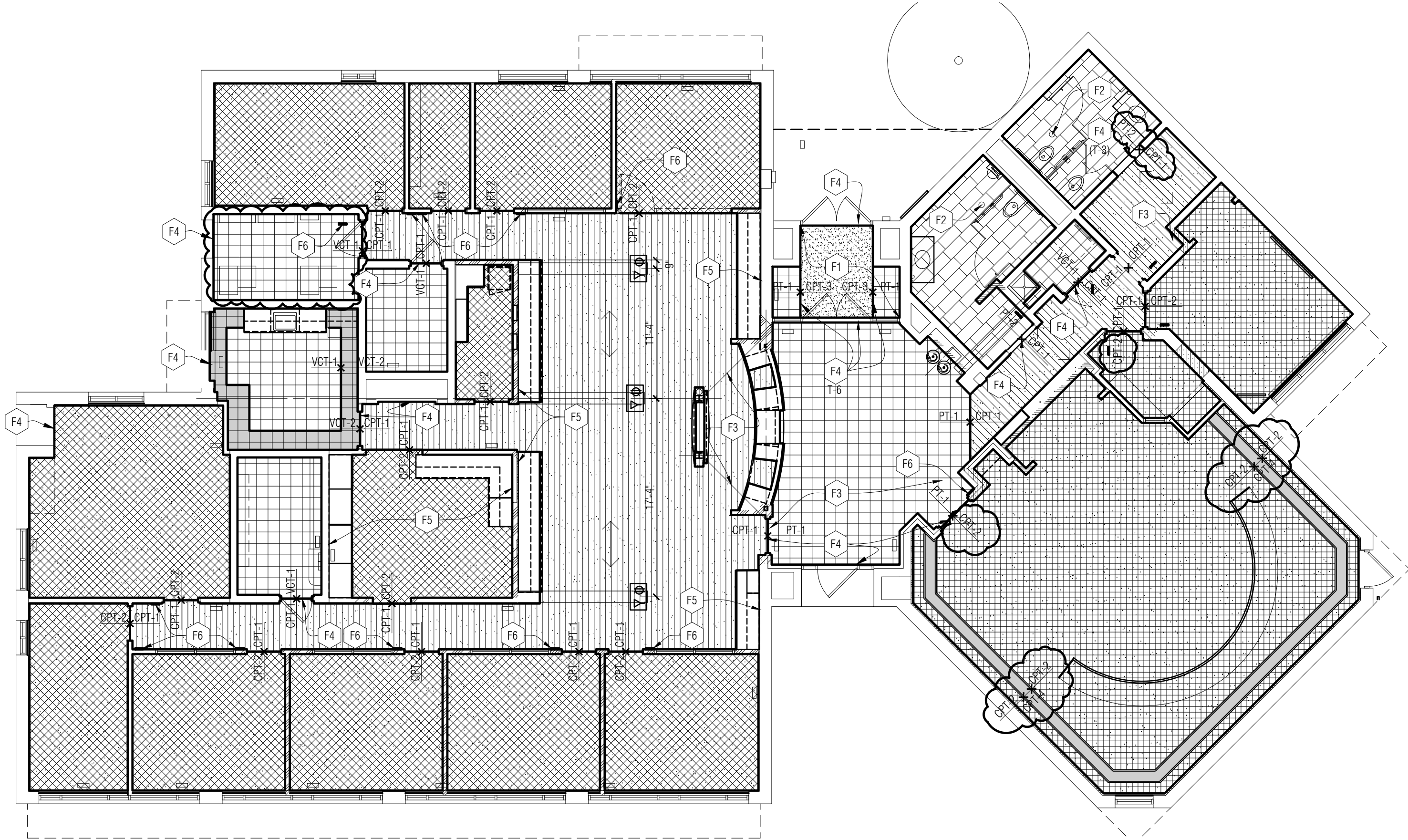
- CPT-1
- CPT-2 (1/4 TURN)
- CPT-3
- CPT-4
- PT-1
- PT-2
- VCT-1
- VCT-2
- DIRECTION OF FLOOR FINISH

FLOOR PLAN KEY NOTES:

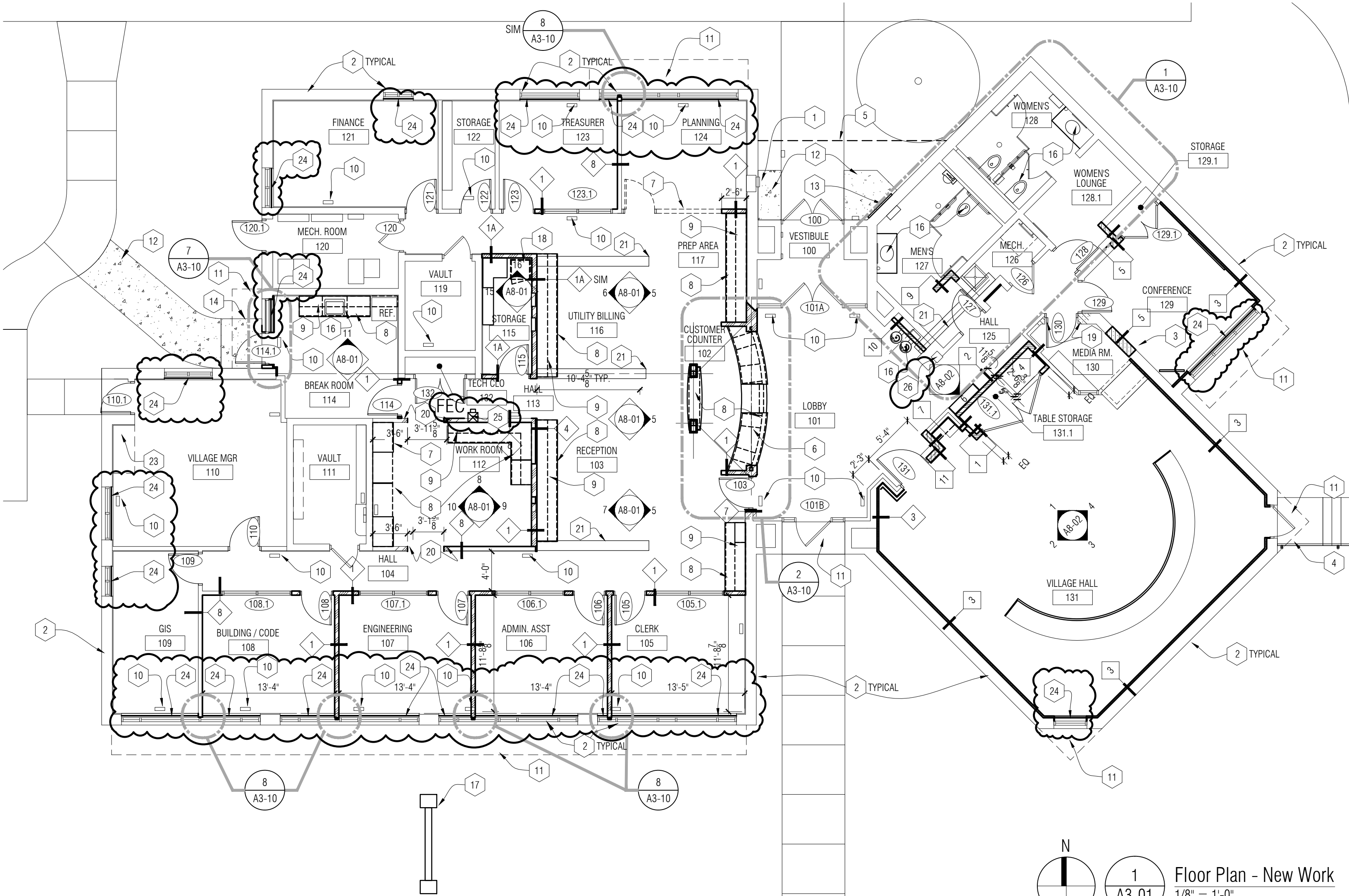
- 1 EXISTING PAYMENT DROP BOX TO REMAIN. PROTECT DURING CONSTRUCTION
- 2 NEW EXTERIOR SEALANTS - TYPICAL. REFER TO EXTERIOR ELEVATIONS
- 3 NEW MASONRY PARTITION TO MATCH EXISTING
- 4 NEW ALUMINUM HANDRAIL REFER TO DETAILS
- 5 NEW EXTERIOR ENTRANCE CANOPY - REFER TO DETAILS
- 6 COILING SECURITY SHUTTER
- 7 FUTURE PARTITION (N.I.C.)
- 8 MILLWORK COUNTERTOP AND BASE CABINETS
- 9 MILLWORK WALL CABINETS
- 10 PATCH AND REPAIR EXISTING CONCRETE SLAB WHERE MECHANICAL DUCTS WERE REMOVED. REFER TO DETAIL 8 & 9/A6-03
- 11 REPAIR AND PAINT EXISTING FASCIA AND SOFFIT- REFER TO ELEVATIONS
- 12 NEW CONCRETE WALK. REFER TO DETAIL 2/A0-02
- 13 NEW COMMUNITY DISPLAY BOARD
- 14 NEW MASS FOOTING AND CONCRETE PAD AT NEW ENTRY DOOR
- 15 NOT USED
- 16 NEW PLUMBING FIXTURE
- 17 NEW MONUMENT BACKLIT SIGN - REFER TO ENLARGED PLAN 3/A3-10
- 18 RELOCATED COMPUTER SERVER - SEE ELEC.
- 19 TOOTH-IN NEW BULLNOSE CONCRETE MASONRY BLOCK @ NEW OPENING
- 20 FRAME OUT & FINISH GYP BD WALLS @ NEW OPENING.
- 21 PATCH CONCRETE SLAB DUE TO MECHANICAL AND ELECTRICAL MODIFICATIONS AS REQ'D FOR LEVEL INSTALLATION OF NEW FLOOR FINISH.
- 22 REMOVE AND REINSTALL EXISTING TRASH RECEPTAL AS REQ'D FOR NEW CONCRETE WALK.
- 23 NEW PLAM CAP ON EXISTING CABINET
- 24 NEW ROLLER SHADES. VERIFY ALL DIMENSIONS IN FIELD. REFER TO DETAIL 7/A4-01 FOR ABOVE CEILING SUPPORT HEADER.
- 25 NEW FIRE EXTINGUISHER AND SEMI-RECESSED CABINET
- 26 EXISTING FIRE EXTINGUISHER AND CABINET TO REMAIN

FLOOR PLAN - GENERAL NOTES:

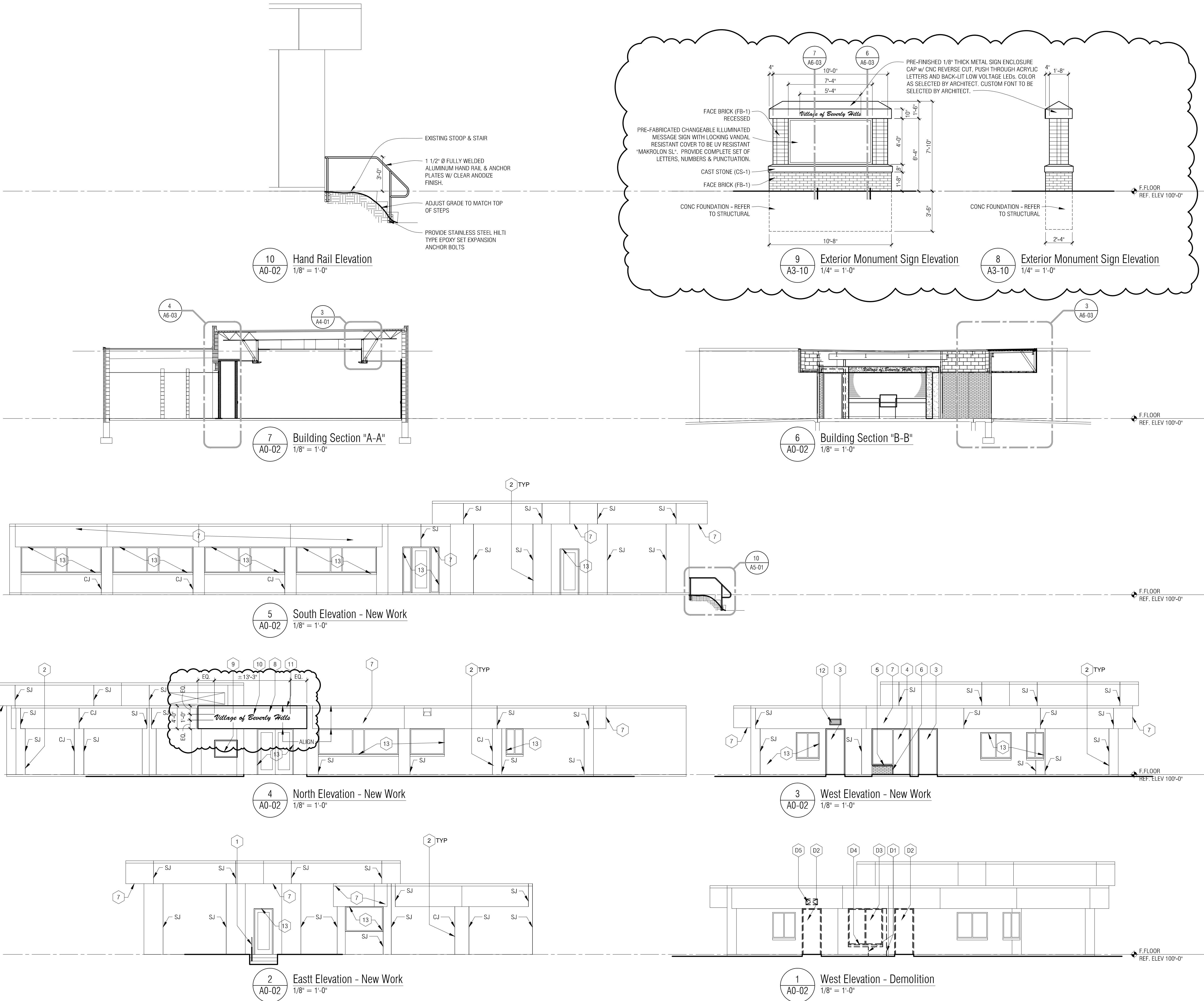
- A. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL - SEE WALL TYPES FOR ACTUAL THICKNESS.
- B. COORDINATE SIZE AND LOCATION OF ALL DUCT, SHAFT AND LOUVER OPENINGS IN WALLS AND FLOORS WITH MECHANICAL AND ELECTRICAL. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS.
- C. ALL EXPOSED CORNERS OF MASONRY BLOCK ARE TO BE BULLNOSED.
- D. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- E. EXISTING MASONRY WALL INTERSECTIONS WHICH ARE LEFT EXPOSED AFTER DEMOLITION OF ADJACENT MASONRY CONSTRUCTION MUST BE PATCHED AND REPAIRED WITH NEW MASONRY OR EXISTING BRICK VENEER, TOOTH-IN TO MATCH EXISTING COURSING AND BOND PATTERN, TYPICAL AT ALL LOCATIONS.
- F. REFER TO WALL TYPES ON DRAWING A0-04 FOR CONSTRUCTION METHOD.
- G. REFER TO STRUCTURAL DRAWING FOR BEARING WALLS, COLUMN SIZES AND LOCATIONS.
- H. FIRE RATED PARTITIONS ARE INDICATED ON CODE PLANS.
- I. REFER TO FINISH FLOOR PLANS FOR ALL FLOOR PATTERNS, FLOOR TRANSITIONS AND DESIGNATIONS.
- J. REFER TO DRAWINGS FOR ABBREVIATIONS AND OTHER SYMBOL DEFINITIONS.
- K. REFER TO MECHANICAL / ELECTRICAL DRAWINGS FOR INSTALLATION OF NEW EQUIPMENT, PIPING, DUCTWORK, WIRING, ETC. AT EXISTING WALLS. ALL ITEMS ARE TO BE INSTALLED WITHIN EXISTING WALLS - REMOVE AND REINSTALL MASONRY (TOOTH-IN) AT ALL LOCATIONS.
- L. REFER TO MECHANICAL / ELECTRICAL DRAWINGS FOR REMOVAL OF EXISTING EQUIPMENT WITHIN EXISTING CONSTRUCTION - TOOTH-IN NEW MASONRY BLOCK AND AND PREP FOR NEW FINISH.
- M. FIELD VERIFY ALL EXISTING OPENINGS TO RECEIVE NEW WORK PRIOR TO FABRICATION OF ANY FRAME TYPES - NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- N. AT ALL LOCATIONS WHERE GYPSUM BOARD WALL INTERSECTS PERPENDICULAR TO MASONRY BLOCK WALL CORNER, THE GYPSUM BOARD IS TO BE SET BACK 1" FROM BULLNOSE OF BLOCK.
- O. REFER TO CODE PLAN FOR LOCATIONS OF FIRE EXTINGUISHERS / CABINETS TO BE INSTALLED SEMI-FLUSH. REFER TO WALL CONSTRUCTION.
- P. REFER TO FLOOR FINISH PLANS FOR ROOM SIGNAGE LOCATIONS.



2
A3-01
Floor Finish Plan
1/8" = 1'-0"



1
A3-01
Floor Plan - New Work
1/8" = 1'-0"



EXTERIOR ELEVATIONS - GENERAL NOTES:

- A. ALL DEMOLITION DRAWINGS AND DEMOLITION DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NEW WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS AND ARE DESIGNATED WITH DASHED, HIDDEN OR STRIKE THRU LINES). DEMOLITION CONTRACTOR IS REQUIRED TO COORDINATE ALL DEMOLITION WORK WITH ALL ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS. REFER TO THESE DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
- B. PATCH ALL AREAS WHERE DEMOLITION HAS OCCURRED TO MATCH ADJACENT EXISTING CONDITIONS, AND AS REQUIRED TO INSTALL NEW EQUIPMENT, MATERIALS OR FINISHES. THIS MAY INCLUDE CLEANING AND PREPARING EXISTING SURFACES FOR NEW FINISHES ENSURING THAT ALL MASTIC GLUE, GROUT CAULK, ETC. HAVE BEEN REMOVED.
- C. DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF SITE, U.N.O.
- D. IF ANY SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, STOP WORK IN THAT AREA AND IMMEDIATELY INFORM THE CM AND ARCHITECT.
- E. CONTRACTOR SHALL PROTECT EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES. CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS (IDENTIFIED BY OWNER OR ARCHITECT OR CONSTRUCTION MANAGER) AT NO ADDITIONAL COST.
- F. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- G. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS.
- H. ALL DEVICES SUCH AS SECURITY CAMERAS, EXISTING SIGNS, SPEAKERS, ALARM BELLS, EMERGENCY LIGHTS, ETC. AND THEIR ASSOC. COMPONENTS ARE TO BE CAREFULLY REMOVED AND TURNED OVER TO OWNER OR SECURED SAFELY TO BE REUSED AS SCHEDULED.
- K. LOCATION OF NEW WALL PENETRATIONS SHALL BE COORD WITH FLOOR PLANS AND WALL SECTIONS FOR SIZE AND LOCATION.
- L. REFER TO MATERIAL FINISH/ COLOR SCHEDULE (SECTION 000200)

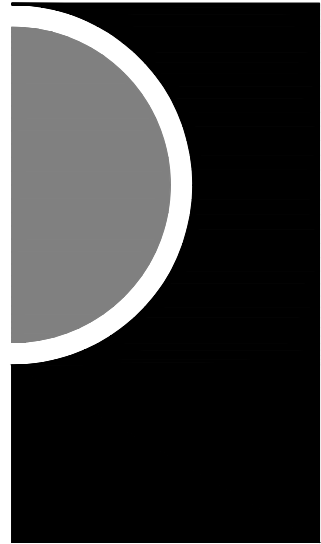
EXTERIOR NEW WORK ELEVATIONS - KEY NOTES:

- 1 3'-0" HIGH ANODIZED ALUMINUM 1-1/2" PIPE HANDRAIL - REFER TO DETAILS.
- 2 AT ALL EXISTING 'SJ' AND 'CJ' JOINTS, REMOVE EXISTING SEALANT OR MORTAR AND BACKER ROD / RIGID FOAM. REPLACE EXISTING JOINT WITH NEW BACKER ROD & SEALANT. REFER TO SPECIFICATIONS.
- 3 NEW FRP DOOR AND SF FRAME - REFER TO DOOR SCHEDULE
- 4 ALUMINUM ENTRY SYSTEM - REFER TO DOOR SCHEDULE
- 5 CAST STONE SILL
- 6 EXISTING FACE BRICK. TOOTH IN SALVAGED BRICK @ NEW OPENING.
- 7 REPAIR AND PAINT EXISTING FASCIA AND SOFFIT
- 8 NEW 'DEFS' PANEL SYSTEM.
- 9 LOCKABLE VISUAL DISPLAY BOARD CABINET.
- 10 12" CHANNEL LETTER SIGNAGE
ALTERNATE #2: 12" LED HALO-ILLUMINATED CHANNEL LETTER SIGNAGE IN LIEU OF NON-LIT CHANNEL LETTER SIGNAGE.
- 11 CONTINUOUS PREFINISHED METAL COPING WITH CONTINUOUS CLEAT.
- 12 NEW ALUM. LOUVER BY MECH - REFER TO MECH
- 13 PROVIDE NEW SEALANTS AT ALL EXISTING EXTERIOR JOINTS INCLUDING AROUND DOORS AND WINDOWS - TYPICAL

EXTERIOR DEMO ELEVATIONS - KEY NOTES:

- D1 MODIFY EXISTING BRICK AND CMU WALL AS REQUIRED FOR NEW OPENING. SALVAGE EXISTING BRICK FOR REINSTALLATION.
- D2 REMOVE H.M. DOOR, FRAME AND ALL ASSOCIATED COMPONENTS - PREP FOR NEW WORK
- D3 REMOVE EXISTING WINDOW FRAMING, TRIM AND ALL ASSOCIATED COMPONENTS COMPLETE - PREP FOR NEW WORK
- D4 REMOVE EXISTING CAST STONE SILL.
- D5 REMOVE EXISTING MASONRY FOR NEW LOUVER OPENING - REFER TO MECH

PARTNERS



PARTNERS in Architecture, PLC

65 MARKET STREET
MOUNT CLEMENS, MI 48043
P 586.469.3600
F 586.469.3607

Statement of Intellectual Property

The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, PLC, 65 Market Street, Mount Clemens, MI, 48043 (P 586.469.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, PLC. This information is protected under U.S. Copyright Law, all rights reserved.

© Copyright 2016

CONSULTANT

KEY PLAN

OWNER

Village of Beverly Hills
18500 W 13 Mile Road
Beverly Hills, MI 48025

PROJECT NAME

Village of Beverly Hills
Office Renovation

18500 W 13 Mile Road
Beverly Hills, MI 48025

PROJECT NO.

15-161

ISSUES / REVISIONS

Bidding - Construction 04/01/2016
Addendum - 01 04/15/2016

DRAWN BY

PDF / BAH

CHECKED BY

PDF

APPROVED BY

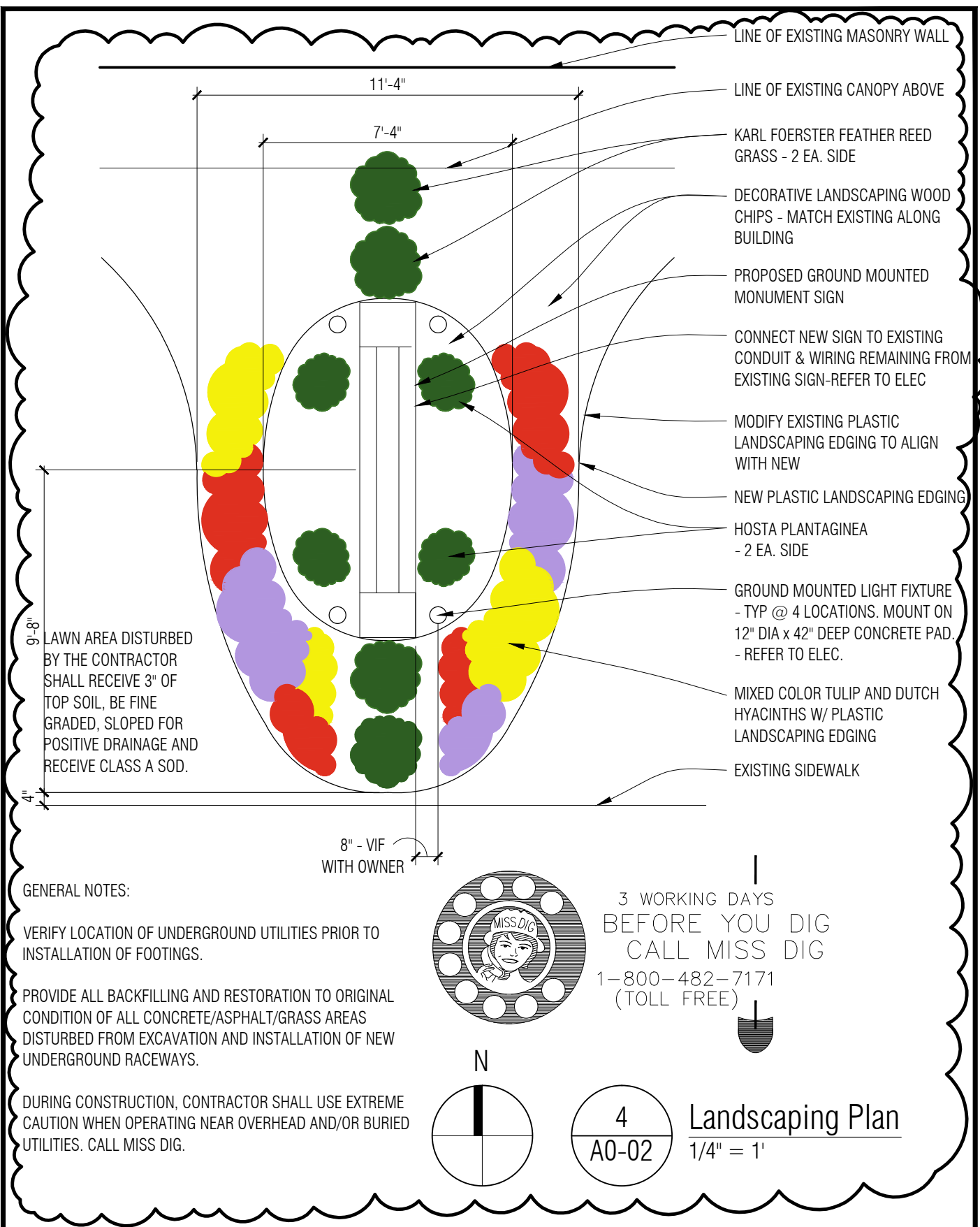
DWG

SHEET NAME

EXTERIOR
ELEVATIONS &
BUILDING
SECTIONS

SHEET NO.

A5-01



PARTNERS in Architecture, PLC
 65 Market Street
 Mount Clemens, MI 48043
 (p) 586 469 3600
 (f) 586 469 3607

PROJECT NUMBER: 15-161

PROJECT NAME:
Village of Beverly Hills
Village Hall Office Renovation

DRAWN BY: BAH

CHECKED BY: PDF

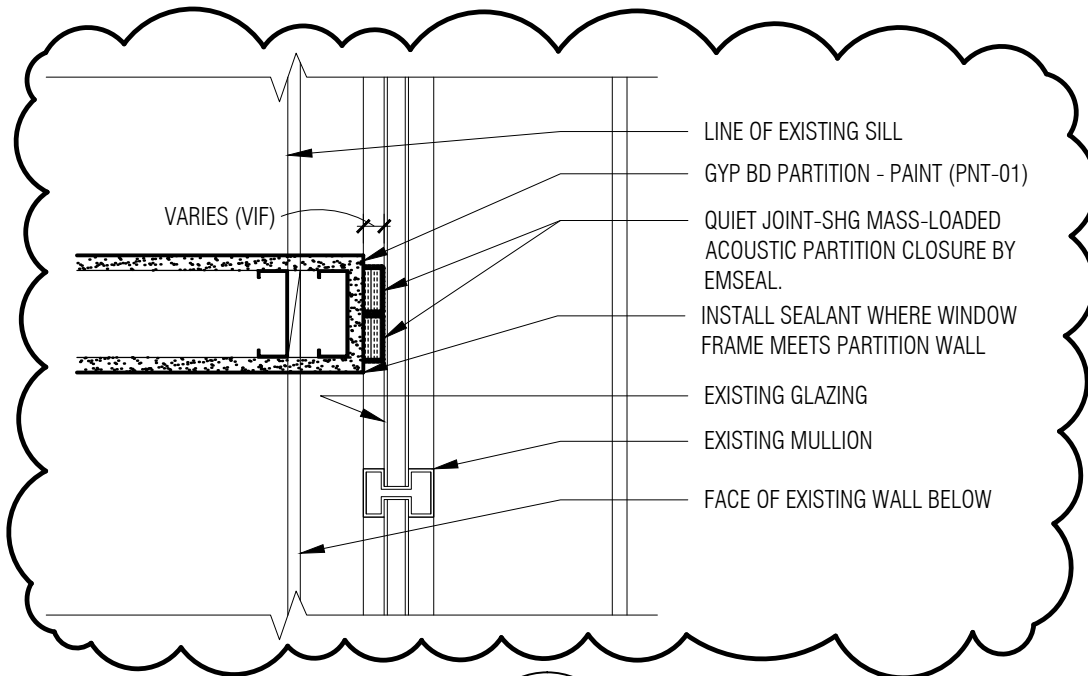
DATE: 4/1/2016

REV: 4/15/2016

DOC. ISSUE:
 Addenda-01

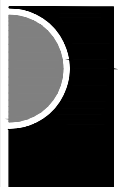
DRAWING NO:
 A0-01

DRAWING REF.:
 SK-1



8
A3-02

Plan Detail
1-1/2" = 1'-0"



PARTNERS in Architecture, PLC
65 Market Street
Mount Clemens, MI 48043
(p) 586 469 3600
(f) 586 469 3607

PROJECT NUMBER: 15-161

PROJECT NAME:
Village of Beverly Hills
Village Hall Office Renovation

DRAWN BY: BAH

CHECKED BY: PDF

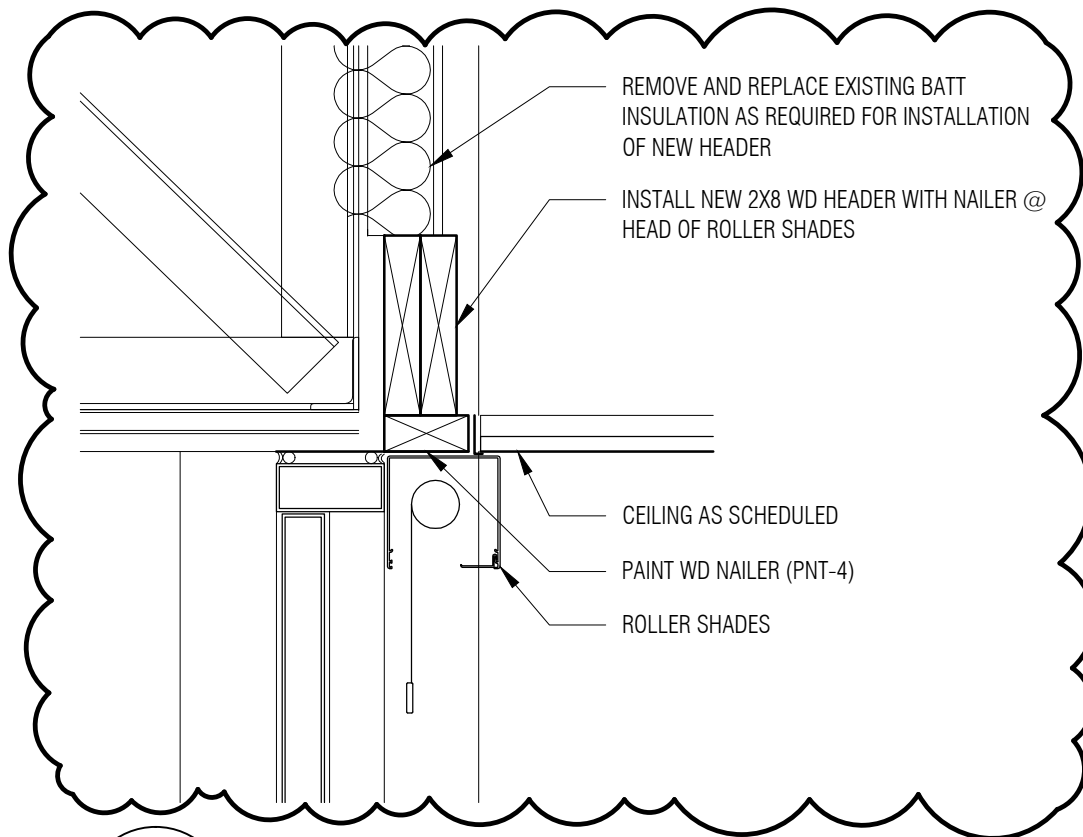
DATE: 4/1/2016

REV: 4/15/2016

DOC. ISSUE:
Addenda-01

DRAWING NO:
A3-10

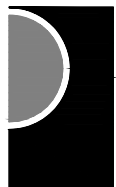
DRAWING REF.:
SK-2



7
A4-01

Typical Detail @ Roller Shades

1 1/2" = 1'-0"



PARTNERS in Architecture, PLC
65 Market Street
Mount Clemens, MI 48043
(p) 586 469 3600
(f) 586 469 3607

PROJECT NUMBER: 15-161

PROJECT NAME:
**Village of Beverly Hills
Village Hall Office Renovation**

DRAWN BY: BAH

CHECKED BY: PDF

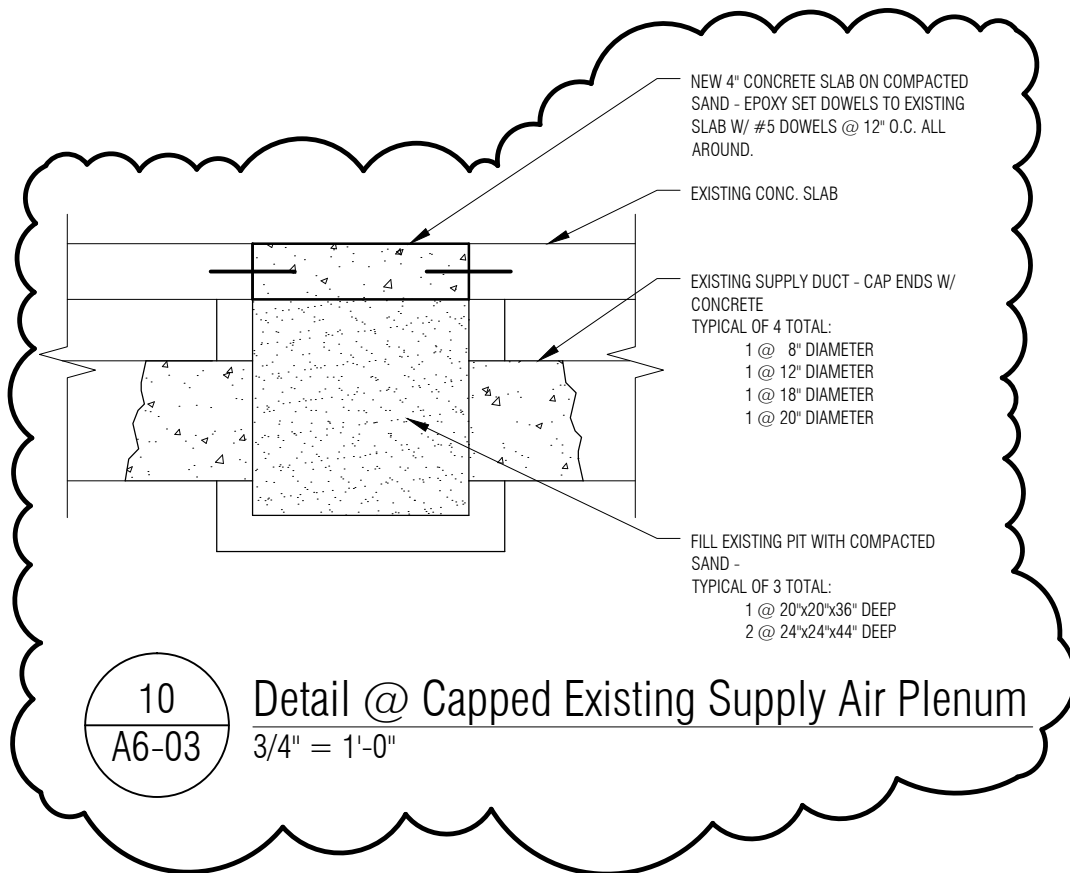
DATE: 4/1/2016

REV: 4/15/2016

DOC. ISSUE:
Addenda-01

DRAWING NO:
A4-01

DRAWING REF.:
SK-3



10
A6-03

Detail @ Capped Existing Supply Air Plenum

3/4" = 1'-0"



PARTNERS in Architecture, PLC
65 Market Street
Mount Clemens, MI 48043
(p) 586 469 3600
(f) 586 469 3607

PROJECT NUMBER: 15-161

PROJECT NAME:
Village of Beverly Hills
Village Hall Office Renovation

DRAWN BY: BAH

CHECKED BY: PDF

DATE: 4/1/2016

REV: 4/15/2016

DOC. ISSUE:
Addenda-01

DRAWING NO:
A6-03

DRAWING REF.:
SK-4

BID FORM

BID PROPOSAL FOR: **Village Hall Office Renovations Project**

BID TO: VILLAGE OF BEVERLY HILLS
18500 W. 13 Mile Road
Beverly Hills, MI 48025

BID DUE DATE: **April 21, 2016; 2:00pm**

BIDDERS NAME: _____

We have examined the Contract Documents for the proposed **Village Hall Office Renovations** project as prepared by PARTNERS in Architecture, PLC.

In accordance therewith, the undersigned proposes to furnish all labor and materials for construction as set forth in the Contract Documents, including the following Addenda, if any (fill in the addenda number, thus confirming receipt):

Addendum Number _____ Addendum Number _____

Addendum Number _____ Addendum Number _____

1. Accompanying the proposal is a bid security for work required to be furnished by the Contract Documents, the same being subject to forfeiture in the event of default by the undersigned.
2. I agree to complete the Project, by the dates listed in Specification Section 011000 – Summary; provided that a notice to proceed is issued within thirty (30) days.
3. I understand that the Owner reserves the right to reject any or all bids, and it is agreed that this bid may not be withdrawn for a period of sixty (60) days from the opening thereof.
5. Attached herewith are the documents requested in the Supplementary Instructions to Bidders, Specification Section 002213, paragraph 4.3.5.

A. **BASE BID:** (Insert a base bid amount in the blank provided).

_____ Dollars \$

B. UNIT PRICES: Refer to section 012200 for a complete description:

1. Unit Price No. One – Paving: 4" Concrete Sidewalk section with preparation and base installed completely.

Per unit cost per square foot: \$ _____

C. ALTERNATES: Refer to section 012300 for a complete description

1. DEDUCT Alternate No. 1: PROVIDE HOLLOW METAL DOORS AND FRAMES IN LIEU OF "FRP" DOORS AND ALUMINUM FRAMES:

Deduct: \$ _____

2. ADD Alternate No. 2: PROVIDE "LED" HALO ILLUMINATED SIGNAGE IN LIEU OF NON-ILLUMINATED SIGNAGE:

Add: \$ _____

3. ADD Alternate No. 2: REMOVE EXISTING CONCRETE SIDEWALKS AND PROVIDE NEW CONCRETE SIDEWALKS AND SIDEWALKS WITH THICKENED EDGE:

Add: \$ _____

D. SCHEDULE: Fill in proposed construction duration to achieve substantial completion. Refer to Specification Section 011000 for schedule requirements:

Phase-1: _____ Phase-2 _____ Phase-3 _____

E. Company Name: _____

Contact Name: _____

Signature: _____ Title _____

Email: _____

Phone Number: _____ Fax Number: _____

Date: _____

END OF BID FORM

AFFIDAVIT OF COMPLIANCE - IRAN ECONOMIC SANCTIONS ACT

Michigan Public Act No. 517 of 2012

The undersigned, the owner or authorized officer of the below-named contractor (the "Contractor"), pursuant to the compliance certification requirement provided in the Village of Beverly Hills' (the "Village") Request For Proposals for Village of Beverly Hills – Village Hall and Office Renovation (the "RFP"), hereby certified, represents and warrants that the Contractor (including its officers, directors and employees) is not an "Iran linked business" within the meaning of the Iran Economic Sanctions Act, Michigan Public Act No. 517 of 2012 (the "Act"), and that in the event Contractor is awarded a contract as a result of the aforementioned RFP, the Contractor will not become an "Iran linked business" at any time during the course of performing any services under the contract.

The Contract further acknowledges that any person who is found to have submitted a false certification is responsible for a civil penalty of not more than \$250,000.00 or 2 times the amount of the contract or proposed contract for which the false certification was made, whichever is greater, the cost of the Village's investigation, and reasonable attorney fees, in addition to the fine. Moreover, any person who submitted a false certification shall be ineligible to bid on a request for proposal for three (3) years from the date that it is determined that the person has submitted the false certification.

CONTRACTOR:

Name of Contractor

By: _____

Its: _____

Date: _____

STATE OF _____)
) ss.
COUNTY OF _____)

This instrument was acknowledged before me on the _____ day of _____, 2016,
by _____.

, Notary Public

County, _____

My Commission Expires: _____

Acting in the County of: _____

SECTION 101463 – ILLUMINATED MESSAGE SIGNAGE

PART 1 – GENERAL

1.1 SUMMARY

A. This section includes the following:

1. One, two sided illuminated, changeable message sign with LED back-lit sign faces and weatherproof sign cabinet.

1.2 RELATED ITEMS

A. Electrical system provided under other Sections:

1. Power conduit, cables and outlet boxes.
2. Signal raceways conduit and boxes.

1.3 REFERENCES

- A. Standard for Electric Signs, UL-48, 13th Edition.
- B. National Electric Code.

1.4 SUBMITTALS

A. Submit the following in accordance with Division 1 requirements:

1. Manufacturer's product illustrations, data and literature.
2. Shop drawings coordinated with electrical service installation.
3. Catalog of text styles for changeable messages
4. Maintenance data and operations manuals.

1.5 DELIVERY, STORAGE, AND HANDLING

A. Store illuminated signs and equipment in clean, dry environment.

1.6 PROJECT CONDITIONS

- A. Verify position and elevation of structure and its layout for signs and equipment.
Verify dimensions by field measurements.
- B. Installation may proceed in acceptable weather conditions.
- C. Coordinate installation with other trades.
- D. Verify structure is ready for installation of signs and equipment.

1.7 QUALITY ASSURANCE

- A. For outdoor use.
- B. Obtain illuminated signs and related equipment through single source from a single manufacturer.
- C. ETL listed per UL Standards 48.
- D. NEC Compliant.

PARTNERS 15-161
ILLUMINATED MESSAGE SIGNAGE
SECTION NUMBER – 101463-2

1.8 WARRANTY/SERVICE PLAN

- A. Provide 5 year labor and material warranty.
- B. Replace electronic modules or components that fail during the coverage period.

PART 2 – PRODUCTS

2.1 ILLUMINATED SIGN

- A. Illuminated Message Sign -
 - 1. Refer to drawings.
 - 2. Dimensions: 4'-0" x 7'-4" (each Face) x 8" deep.
 - 3. Construction: Aluminum, four sided sign box with sign face both sides.
 - 4. Illumination: LED back-lit
 - 5. Cabinet color: White, UV resistant sign panel faces with anodized aluminum sign box.
 - 6. Sign faces: Provide for minimum of 5 lines of changeable text.
 - 7. Messaging: Provide complete set of letters, numbers and punctuation.
 - 8. Sign faces are to be front accessible for service, with lockable vandal resistant, hinged, and gasketed cover.
- B. Cabinet sign / enclosure cap:
 - 1. Refer to drawings.
 - 2. Reverse cut, push-thru acrylic LED back-lit letters (UL listed).
 - 3. Refer to drawings for overall cabinet size, graphics, fonts and colors.

PART 3 – EXECUTION

3.1 EXAMINATION

- A. Verify that mounting structure is ready to receive illuminated sign. Verify that placement of conduit and junction boxes are as required.

3.2 INSTALLATION

- A. All connections to electrical conduit, boxes, connectors, power, control cable, etc. to illuminated signs are to be provided by this contract. Provide a complete installation ready for use.
- B. Provide and install illuminated sign and signage cabinet with backlit signage in accordance with manufacturer's instructions. Verify unit is plumb and level.

3.3 INSTALLATION – CONTROL LOCATION

- A. Provide boxes, cover plates and jacks as required.

3.4 TRAINING

- A. Perform one operator training session with up to two end-user identified operators.

END OF SECTION 101463