

CHARTER TOWNSHIP OF BRANDON

Edna Burton Senior Center

Restroom Remodeling

Edna Burton Senior Center
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248.627.6447
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Charter Township of Brandon
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ARCHITECT:

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architects • engineers

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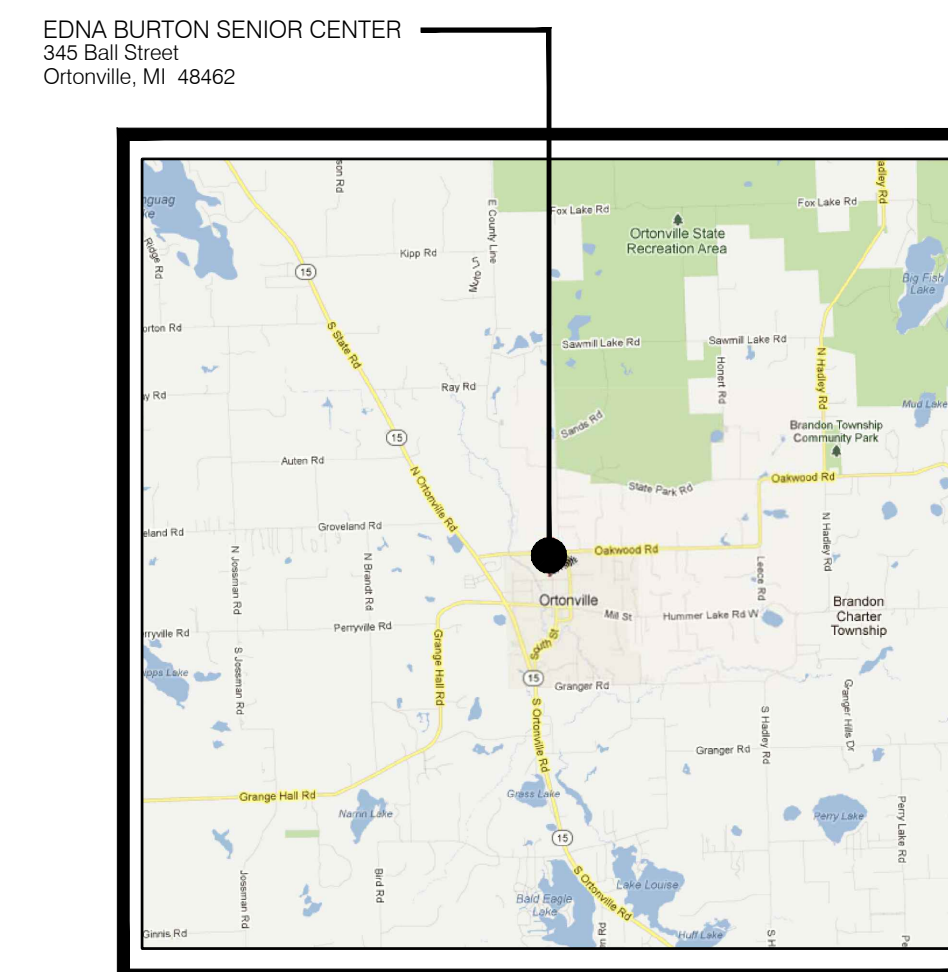
email: architects@ehresmanassociates.com

PROJECT NO.: 8315.a

LIST OF DRAWINGS:

ARCHITECTURAL DRAWINGS

TTL	TITLE SHEET
A00	GENERAL INFORMATION
A10	REMOVAL PLANS
A20	PLANS
A50	INTERIOR ELEVATIONS



LOCATION PLAN

NOT TO SCALE

APPLICABLE CODES:

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS	2012 EDITION
MICHIGAN PLUMBING CODE	2012 EDITION
NATIONAL ELECTRIC CODE (WITH MICHIGAN PART 8 RULES)	2014 EDITION
ACCESSIBLE AND USABLE BUILDINGS & FACILITIES ANSI A117.1	2008, 2011 EDITION
FEDERAL ADA LAW	CURRENT EDITION

OCCUPANCY GROUP:

A3: ASSEMBLY GROUP

ZONING DISTRICT:

R-2 VILLAGE RESIDENTIAL

CONSTRUCTION TYPE:

5B

TOTAL FLOOR AREA:

TOTAL BUILDING AREA:	4,207 SF (GROSS FLOOR AREA)
RENOVATED FLOOR AREA:	224 SF (NET FLOOR AREA)

LIST OF ALTERNATES:

ALTERNATE #1: DEDUCT FROM THE BASE PROPOSAL AMOUNT TO REUSE THE EXISTING BARRIER FREE GRAB BARS IN BOTH THE MEN'S AND WOMEN'S RESTROOM. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING AND RELOCATING AS REQUIRED TO MEET BARRIER FREE REQUIREMENTS, INCLUDING PATCHING / REPAIRING WALLS. CONTRACTOR TO NOTE THAT THE THIRD GRAB BAR (18" VERTICAL) IS NOT EXISTING AND NEW IS STILL REQUIRED.

ALTERNATE #2: DEDUCT FROM THE BASE PROPOSAL AMOUNT TO FURNISH AND INSTALL CABINETS AND COUNTERTOPS MEETING THE SIZE, PROFILES, ETC. INDICATED ON THE DRAWINGS AND MEETING THE CRITERIA OF THE WOOD LAB CASEWORK SPECIFICATIONS, AS MANUFACTURED BY A LOCAL CABINET SHOP.

Bidding: 19 January 2016

Title Sheet

Scale as Noted

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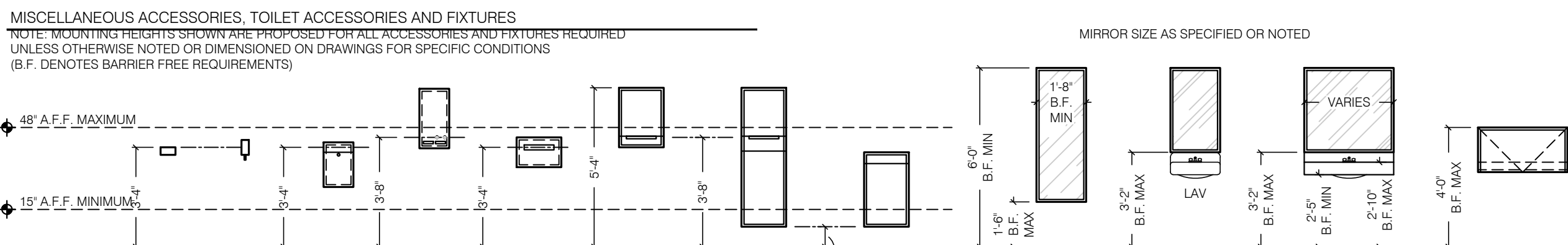
TTL

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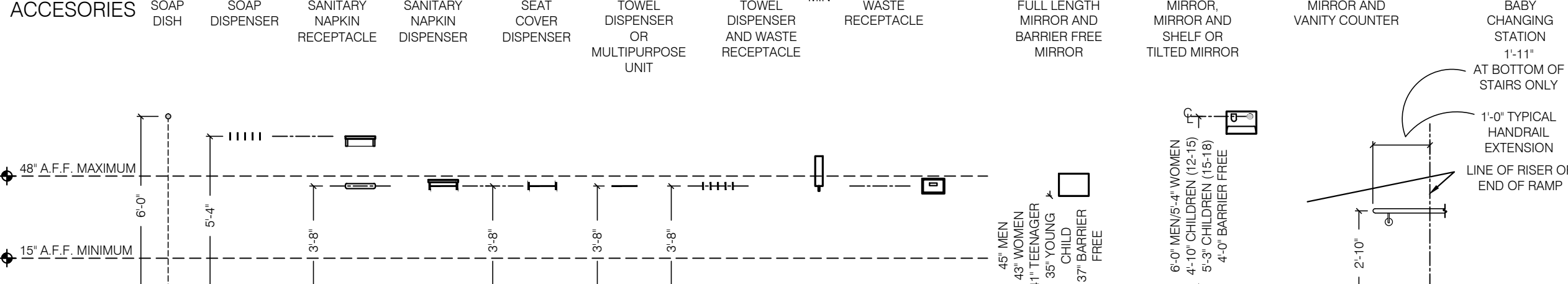
ABBREVIATIONS

A	ABV ABOVE FINISH FLOOR A.F.F. ABOVE FINISH FLOOR ACC ACCESS ACC PNL ACC PANEL ACT ACQUISITION CEILING TILE ADD ADDENDUM ADDN ADDITION ADJ ADJACENT ADJ AIR CONDITIONING A.C. AIR CONDITIONING COMPRESSOR A.C.C. AIR COOLED CONDENSING UNIT A.H.U. AIR HANDLING UNIT AL ALUMINUM AL.T. ALTERNATE ALUM./AL ALUMINUM ANCH ANCHOR A.B. ANCHOR BOLT & ANGL./L OR Z ANGLE AND ANKLED APT APARTMENT APPR APPROVED APPROX APPROXIMATE ARCH ARCHITECT/ARCHITECTURAL A.T.M. AUTOMATIC TELLER MACHINE ASPH ASPHALT ASSY ASSEMBLY @ AT AUTO AUTOMATIC AUX AUXILIARY AVG AVERAGE	E	EA EACH FACE E.F. EACH WAY E.W. EAST E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM ELAST ELASTOMERIC ELEC ELECTRICAL ELEC CAB. ELECTRICAL CABINET E.C. ELECTRICAL CONTRACTOR E.H. ELECTRICAL PANEL E.W.C. ELECTRIC WATER PANEL ELEC. OPER. ELECTRICALLY OPERATED EL ELEVATOR ELEV. ELEVATOR EMERG. EMERGENCY ENCL. ENCLOSURE ENGR. ENGINEER ENTR. ENTRANCE EP EPOXY EPDM ETHYLENE PROPYLENE DIENE MONOMER EQ. EQUAL EQUIP. EQUIPMENT EQUIV. EQUIVALENT ESC. ESCALATOR EST. ESTIMATE EXC. EXCAVATED EXH. EXHAUST EXH. EXHAUST FAN (E) EXISTING E.C.U. EXISTING CONDITIONS UNKNOWN (VERIFY) ETR. EXISTING TO REMAIN EXP. EXPANSION EXP. EXPANSION JOINT EXPD. EXPOSED EXTN. EXTENSION EXT. EXTERIOR E.H. EXTRA HEAVY EXTR. EXTRUDED	L	LBL LABEL LAB LABORATORY LAD LADDER LAG LAG BOLT LAM. LAMINATE/LAMINATED LMD LANDING LGE LARGE LDRY LAUNDRY LAV. LAVATORY L.H. LEFT HAND LGTH LENGTH LEV LEVEL LGT LIGHT LGP LIGHTING LTP LIGHTING PANEL LMS LIMESTONE LTL LINEAL FOOT/FEET LIQ. LIQUID LL. LIFT LOAD LOC. LOCATION LNG LONG LL.H. LONG LEG HORIZONTAL LL.V. LONG LEG VERTICAL LVR LOUVER L.O. LOUVER OPENING LP. LOW POINT L.P.R. LOW PRESSURE LBS. OR # POUNDS	S	SAN. SANITARY S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE SCHD. SCHEDULE STG. SEATING SEC. SECTION SERV. SERVICE SHT. SHEET SHWR. SHOWER SML. SINK S.D. SOAP DISPENSER S.C. SOLID CORE STC. SOUND TRANSMISSION CLASS S. SOUTH SP. SPACE SPKR. SPEAKER SPR. SPECIFICATIONS SQ. SQUARE S.F. SQUARE FEET S.S. STAINLESS STEEL STD. STANDARD STM. STEAM STEE. STEEL STOR. STORAGE ST. STREET STRUC.T. STRUCTURAL STRUSZ. STRUSZKO SUSPENDED SWBD SWITCHBOARD SWGR SWITCHGEAR SYM. SYMBOL SYS. SYSTEM	M	MACH. MACHINE M.A.U. MAKE UP AIR UNIT M.D.P. MAIN DISTRIBUTION PANEL M.S.B. MAIN SWITCH BOARD MAINT. MAINTENANCE M.H. MANHOLE MFR. MANUFACTURER MAR. MARBLE M.O. MASONRY OPENING M.AX. MAXIMUM MECH. MECHANICAL MED. MEDIUM MEMB. MEMBRANE MET. METAL M.D.S. METAL DIVIDER STRIP M.E. METAL EDGE M.L. METAL LATH M.L.&PLAS. METAL LATH & PLASTER M.T. MARBLE THRESHOLD MEZZ. MEZZANINE MDOT. MICHIGAN DEPARTMENT OF TRANSPORTATION MIN. MINIMUM MISCL. MISCELLANEOUS MTC. MOUNTED MTG. MEETING	T	T.B.D. TACKBOARD TECH. TECHNICAL TEL. TELEPHONE TEV. TELEVISION TEMP. TEMPORARY TERR. TERRAZZO T. THERMOSTAT THRU. THROUGH T & G. TONGUE & GROOVE T & B. TOP & BOTTOM T/C. TOP OF CURB T/F. TOP OF FOOTING T/G. TOP OF GUTTER TRFR. TRANSFORMER T. TREAD T.D. TRENCH DRAIN TYP. TYPICAL	N	NRC. NOISE REDUCTION COEFFICIENT NOM. NOMINAL N. NORTH N/C. NOT IN CONTRACT N.T.S. NOT TO SCALE NO. OR # NUMBER	V	VAR. VARIABLE VARN. VARNISH VNR. VENEER V. VENT VTR. VENT THRU ROOF V.F. VERIFY IN FIELD V.M. VERIFY WITH MANUFACTURER V.S. VERTICAL/VERTICALLY VERT. VERTICAL VEST. VESTIBULE VOT. VINYL COMPOSITION TILE V.R.S. VINYL REDUCER STRIP VIT. VITREOUS VOL. VOLUME V. VOLTS	W	WAINS. WAINSCOT W.C.O. WALL CLEAN OUT W.H. WALL HYDRANT W.V. WALL VENT W.F. WASH FOUNTAIN W. WASTE W.C. WATER CLOSET W.H. WATER HEATER WF. WATERPROOF WT. WEIGHT W.W.F. WELDED WIRE FABRIC W. WEST W. WIDE WIDTH W.B. WALL BASE W.O. WINDOW OPENING W.M. WIRE MESH W/O. WITHOUT W.P. WORKING POINT
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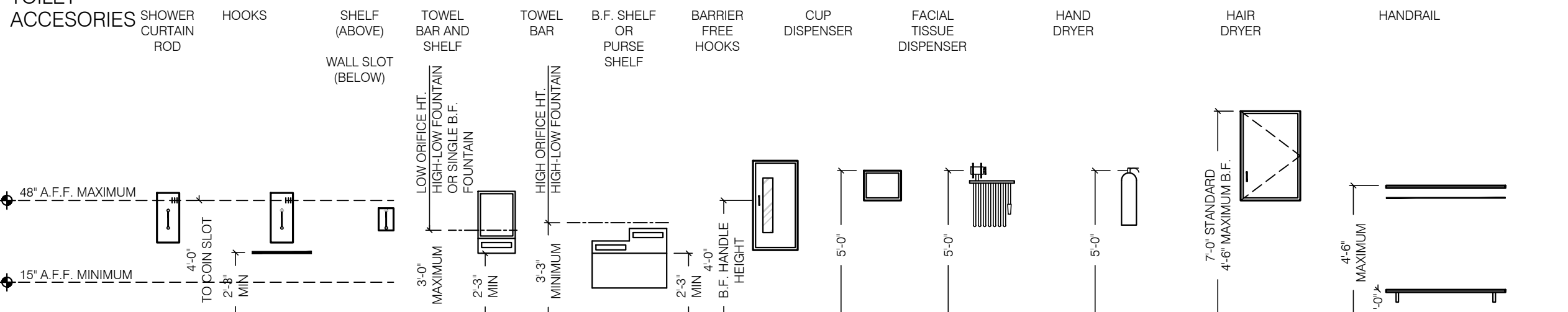
TYPICAL MOUNTING HEIGHTS



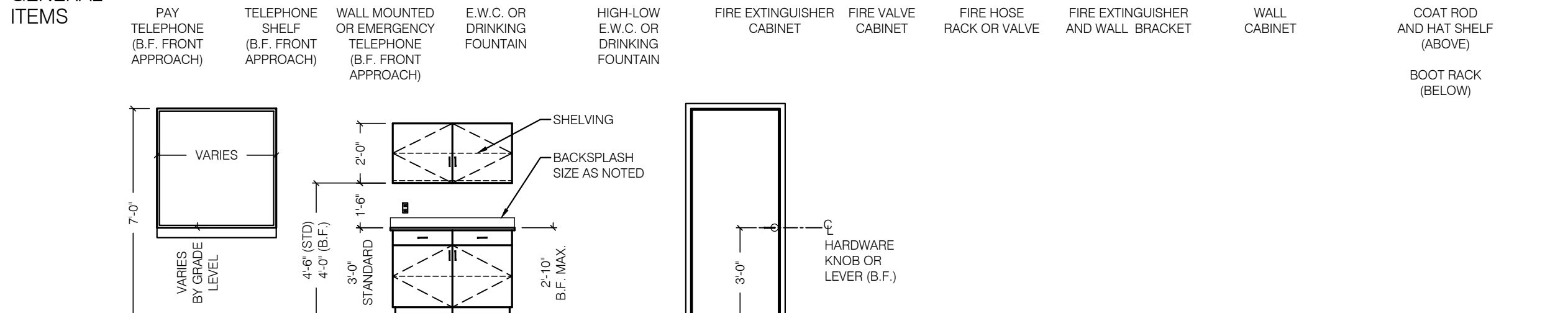
TOILET ACCESSORIES



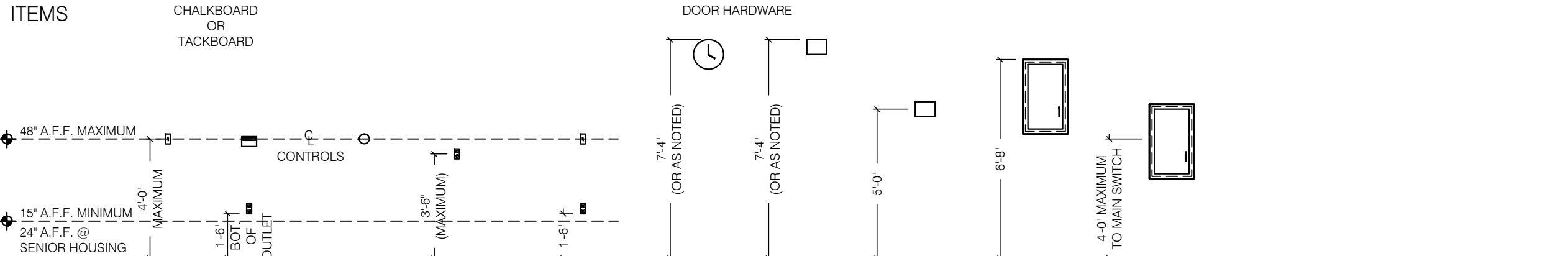
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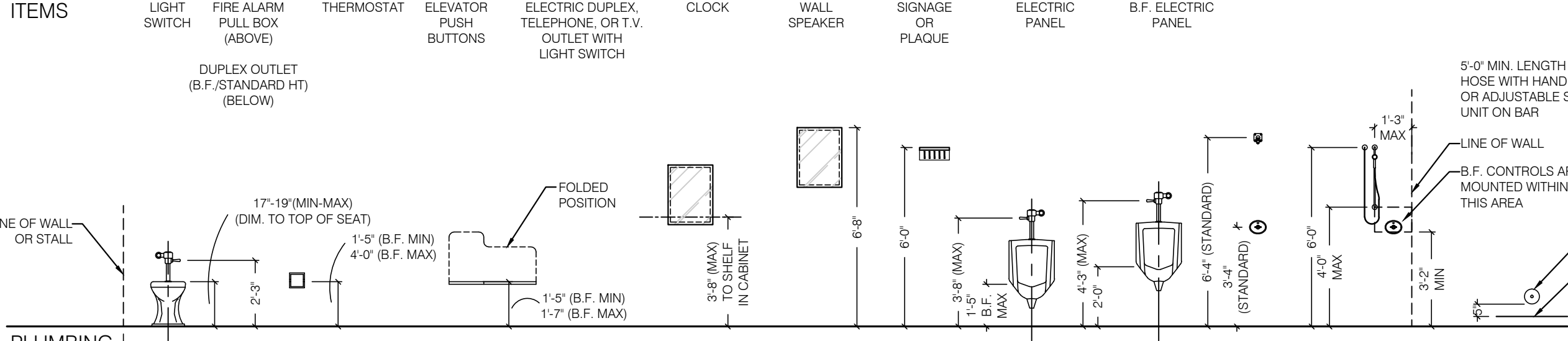
GENERAL ITEMS



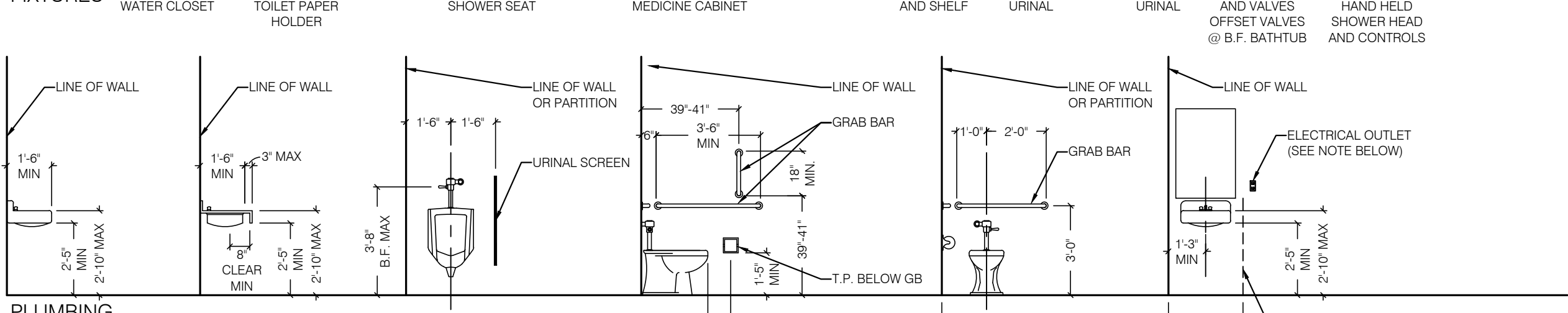
GENERAL ITEMS



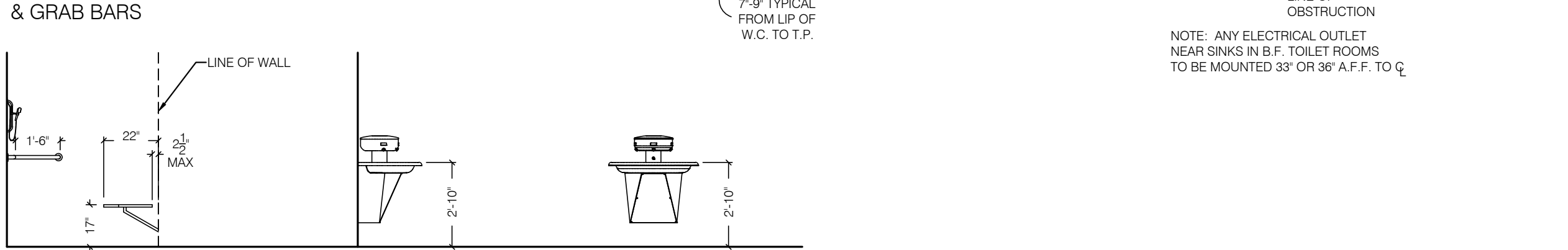
ELECTRICAL ITEMS



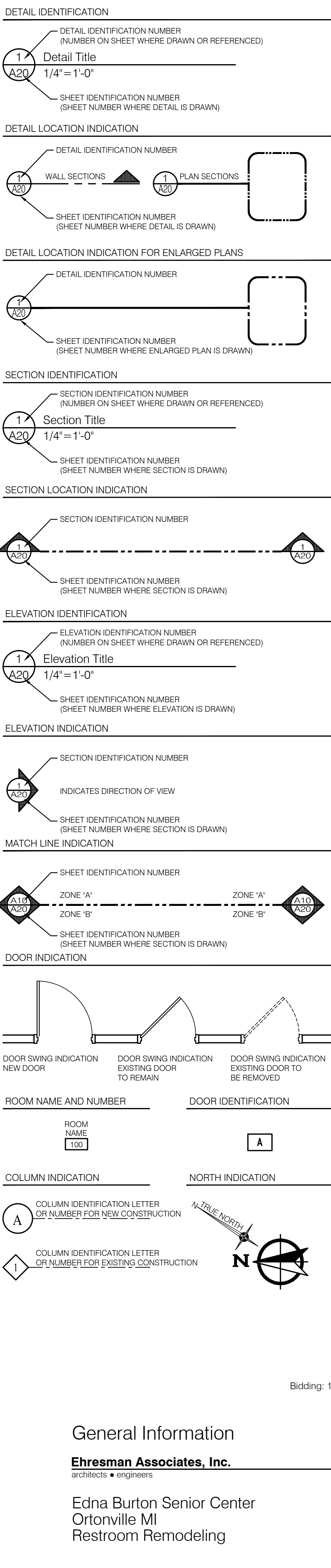
PLUMBING FIXTURES



PLUMBING FIXTURES & GRAB BARS



REFERENCE SYMBOLS



GENERAL NOTES:

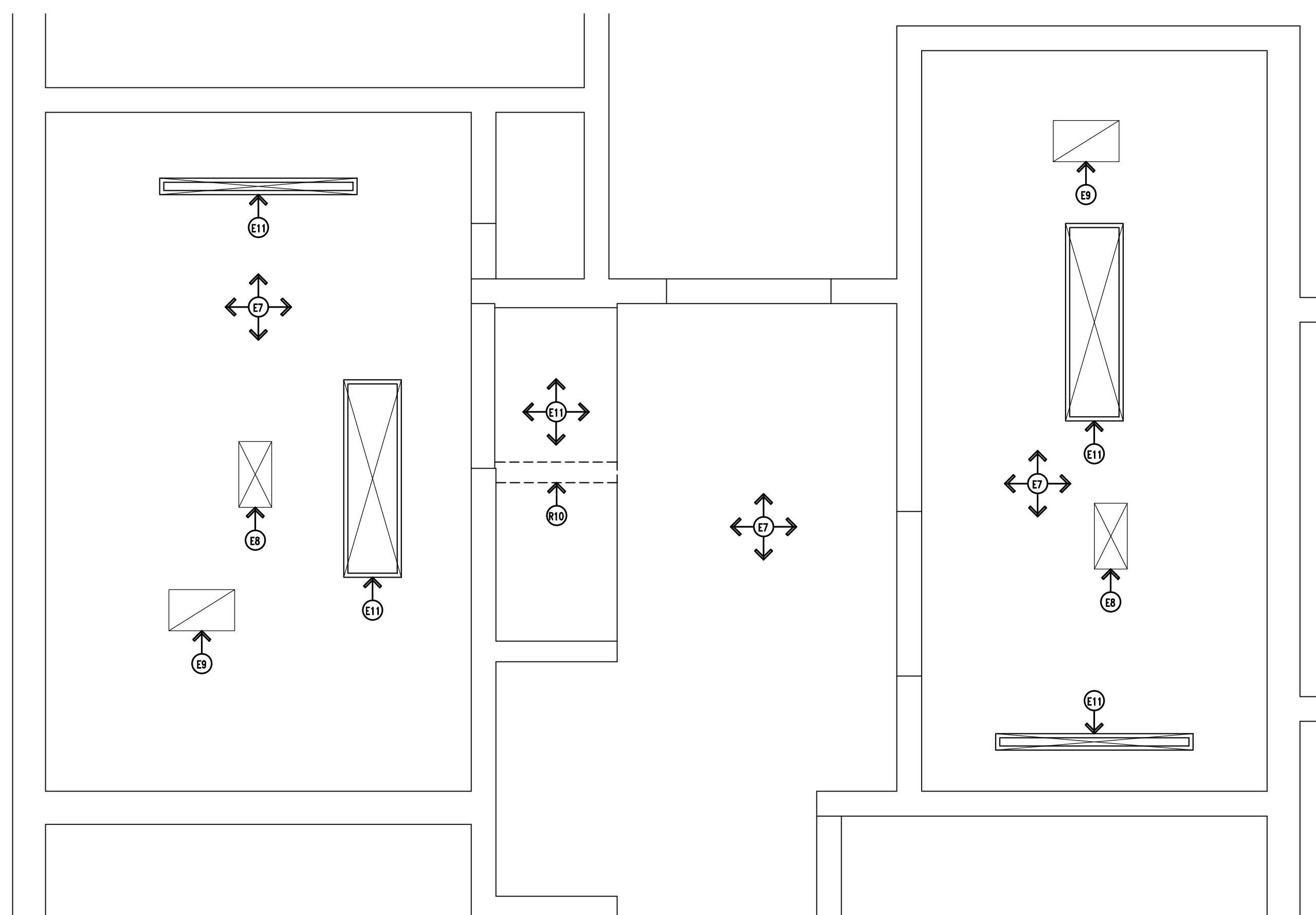
- G1. CONTRACTOR TO COORDINATE TIMING OF WORK WITH ANNETTE BEACH, SENIOR COORDINATOR.
- G2. BOTH BATHROOMS CANNOT BE SHUT DOWN AT THE SAME TIME.
 - PHASE 1 MENS RESTROOM
 - PHASE 2 WOMENS RESTROOM
- G3. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING ON THE WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR DIRECTION.
- G4. PATCH, REPAIR AND FINISH WALL WHERE AREA IS DISTURBED FROM CONSTRUCTION OPERATIONS. PAINT TO MATCH ADJACENT AREA.
- G5. DISPOSE OF ALL ITEMS REMOVED OFF SITE PER LOCAL BUILDING & SAFETY ORDINANCES.
- G6. ALL AREAS DISTURBED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE PATCHED, REPAIRED, AND FINISHED BACK TO EXISTING CONDITIONS.
- G7. CONTRACTOR TO COORDINATE TIMING OF REMOVAL WORK THAT AFFECTS BUSINESS OPERATIONS SO AS TO NOT CAUSE DISRUPTION TO NORMAL ACTIVITIES.
- G8. CONTRACTOR TO FIELD VERIFY EXISTING FLOOR AND WALL SUBSTRATES PRIOR TO STARTING THE WORK TO ASSURE THAT IT IS AN ACCEPTABLE SURFACE FOR FINISH APPLICATIONS.

EXISTING ITEMS TO REMAIN:

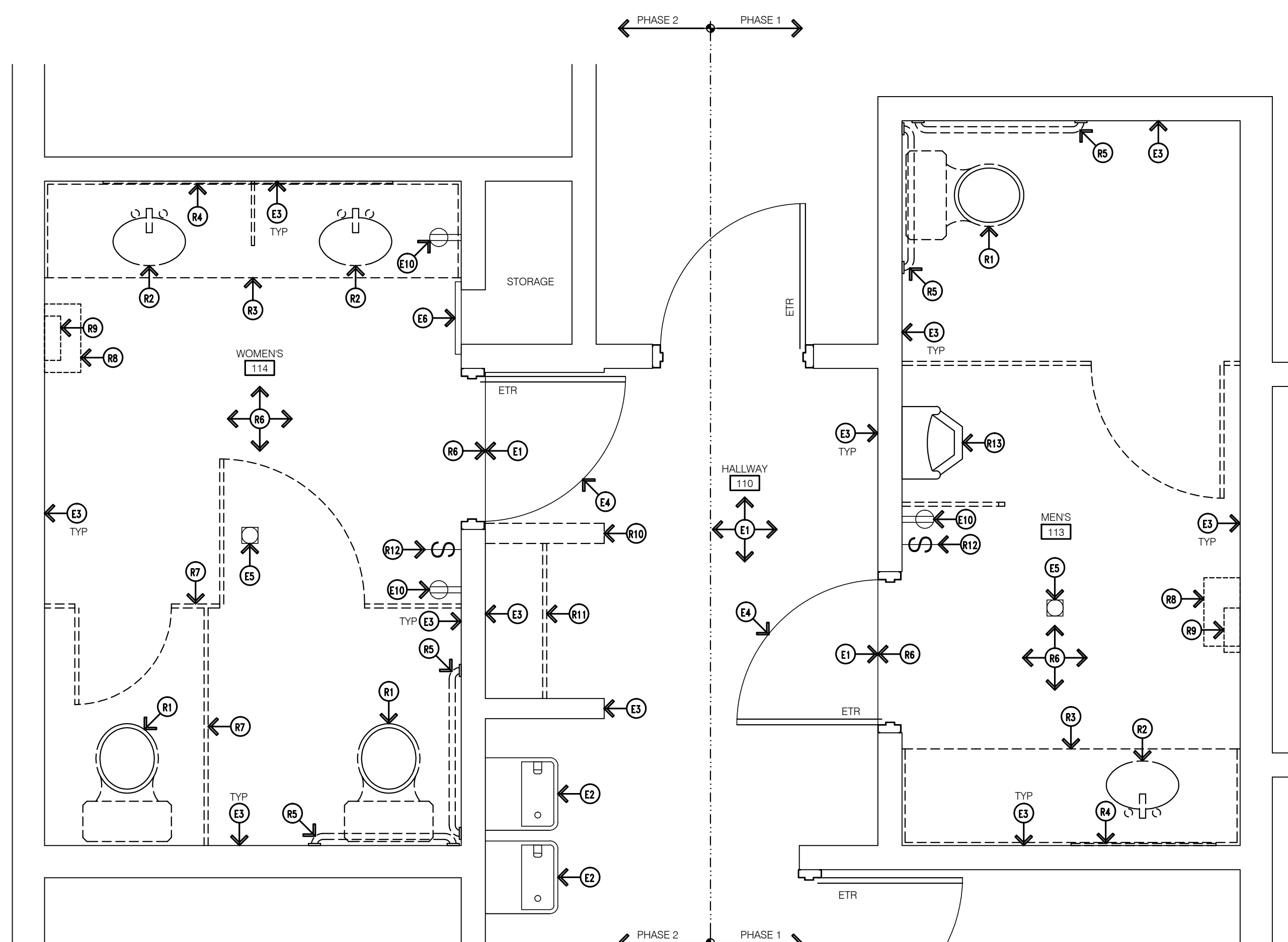
- E1. LVT FLOORING.
- E2. ELECTRIC WATER COOLER.
- E3. INTERIOR WALL.
- E4. DOOR, FRAME, AND HARDWARE.
- E5. FLOOR DRAIN.
- E6. CABINET DOOR.
- E7. GYPSUM BOARD CEILING.
- E8. SUPPLY AIR DIFFUSER - CLEAN AND PAINT.
- E9. COMBO LIGHT / EXHAUST FAN. CLEAN FAN AND GRILL.
- E10. ELECTRICAL OUTLET.
- E11. SURFACE MOUNTED LIGHT FIXTURE.

REMOVAL NOTES: (REMOVE THE FOLLOWING ITEMS)

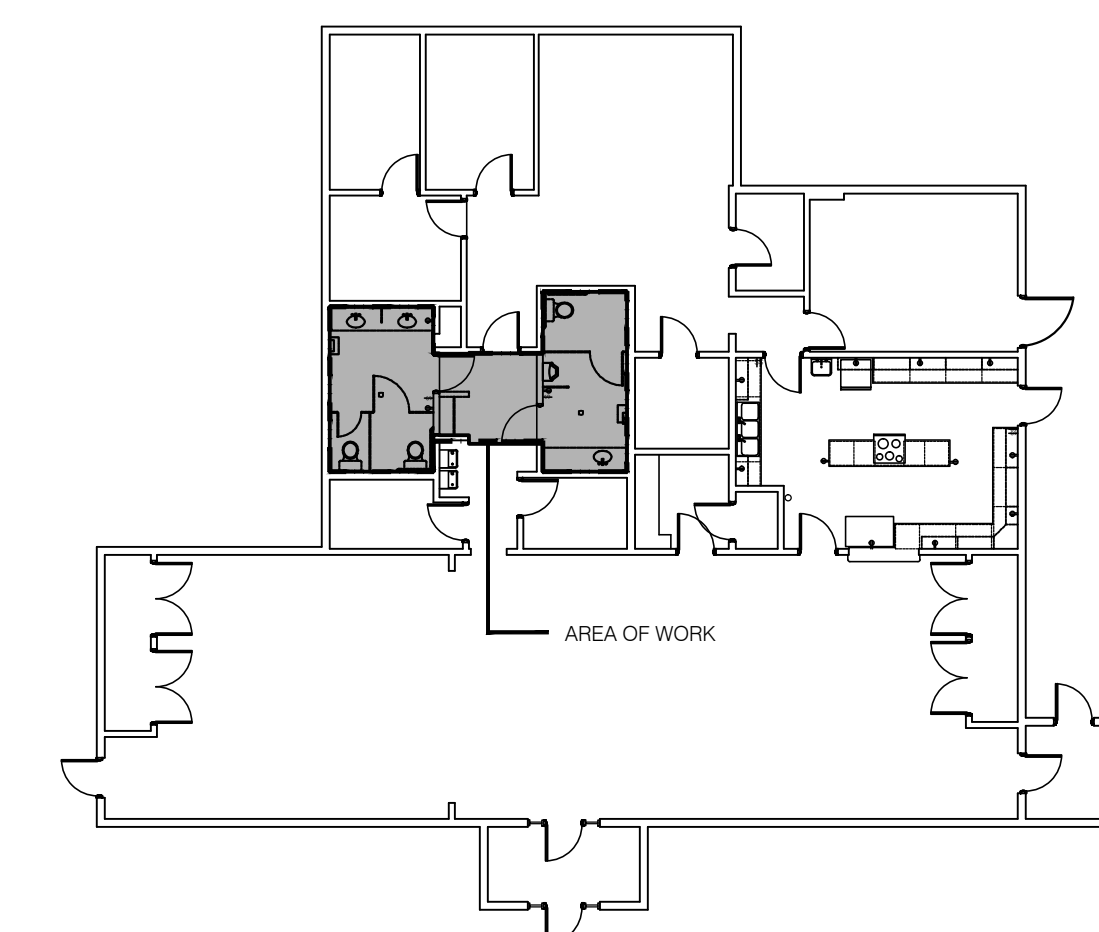
- R1. WATER CLOSET (TOILET) - MAINTAIN SUPPLY LINES.
- R2. LAVATORY (SINK) - MAINTAIN SUPPLY LINES AND VENT LINES.
- R3. PLASTIC LAMINATE COUNTER TOP, BACKSLASH, AND WALL SUPPORT.
- R4. WALL MOUNTED MIRROR.
- R5. WALL MOUNTED GRAB BARS. REFER TO ALTERNATE #1 FOR ADDITIONAL INFORMATION. PATCH / REPAIR ALL HOLES.
- R6. VCT FLOORING, ADHESIVE, LAJAN SHEATHING, & RUBBER BASE.
- R7. TOILET PARTITION, DOORS, PLASTERS, ETC.
- R8. WALL MOUNTED WASTE RECEPTACLE.
- R9. PAPER TOWEL DISPENSER.
- R10. INTERIOR WALL FRAMING AND GYPSUM BOARD COMPLETELY.
- R11. CLOSET ROD / SHELF.
- R12. LIGHT SWITCH - FOR REPLACEMENT WITH NEW OCCUPANCY SENSOR TYPE.
- R13. WALL MOUNTED URINAL - MAINTAIN SUPPLY LINES AND VENT LINES.



2 Ceiling Removals Plan
A10 1/2" = 1'-0"



1 Floor Removals Plan
A10 1/2" = 1'-0"



Bidding: 19 January 2016

Removal Plans

Scale: As Noted

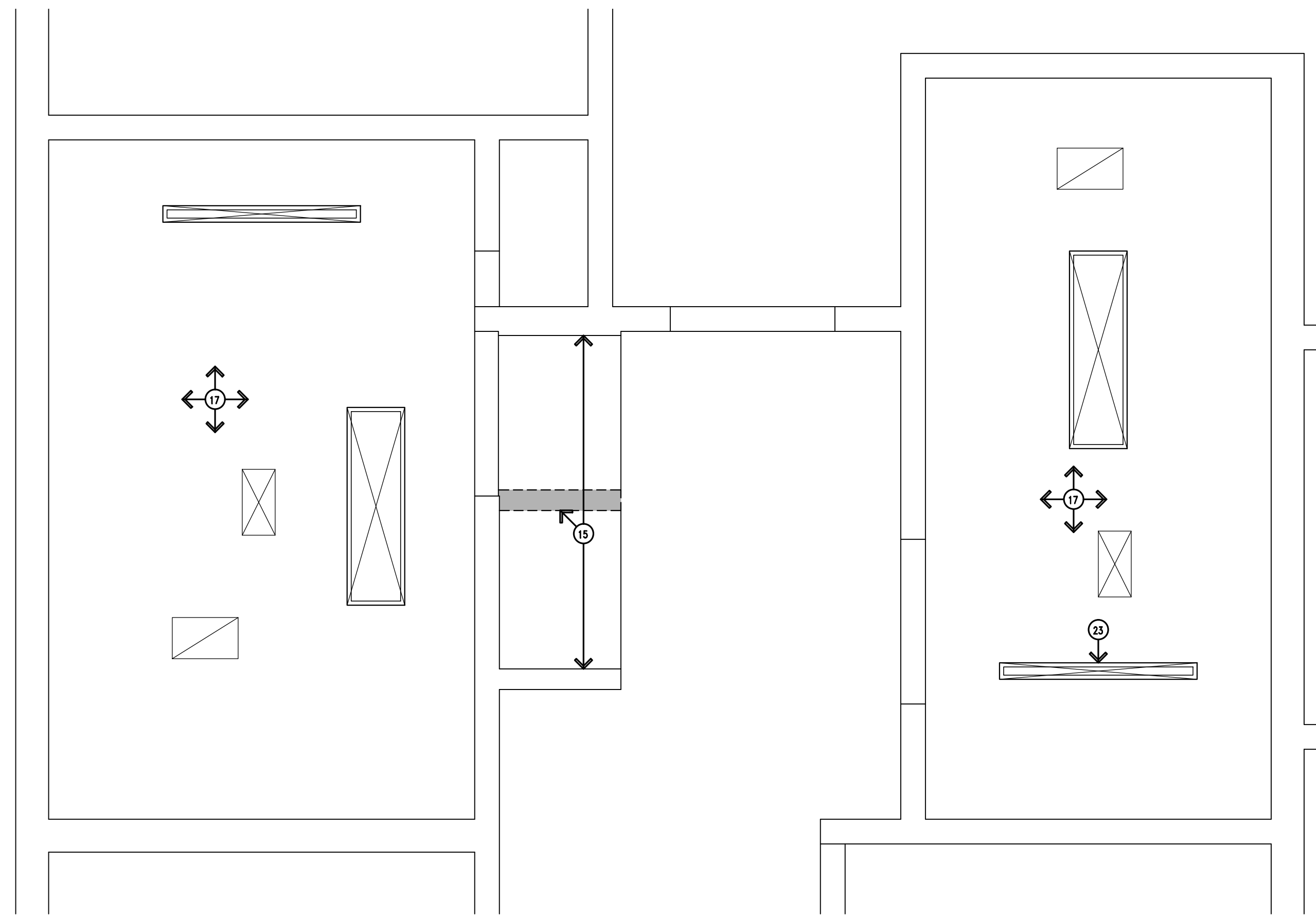
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A10





2 Reflected Ceiling Plan
A20 1/2" = 1'-0"

GENERAL NOTES:

- G1. CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC, ALL STATE AND LOCAL ELECTRICAL CODES AND THE CURRENT EDITION OF THE MICHIGAN PLUMBING CODE.
- G2. CONTRACTOR TO PATCH/REPAIR ALL WALLS PRIOR TO PAINTING
- G3. CONTRACTOR TO PATCH / REPAIR GYPSUM BOARD WALLS AT ALL REMOVED ITEMS.
- G4. CONTRACTOR TO INSTALL NON-COM WOOD BLOCKING AS REQUIRED FOR PROPER INSTALLATION OF ALL ITEMS (E.G. GRAB BARS, URINAL CARRIER, ETC.)
- G5. CONTRACTOR TO PROVIDE FILLER PIECES AT CABINETS AS REQUIRED TO SUIT CONATIONS.
- G6. RE-INSULATE SUPPLY PIPING TO MEET CODE REQUIREMENTS.

INTERIOR WALL TAGS:

- W1. PATCH AND REPAIR EXISTING GYPSUM BOARD - PAINT ONE COAT
- W2. CERAMIC TILE TO +/-4-5"
CEMENTITIOUS BOND COAT
EXISTING GYPSUM BOARD TO REMAIN
EXISTING FRAMING TO REMAIN - REFER TO TILE COUNCIL OF NORTH AMERICA DETAIL W243 FOR MORE INFORMATION.
ABOVE CERAMIC TILE
PATCH AND REPAIR EXISTING GYPSUM BOARD - PAINT TWO COATS

LEGEND:

- Ⓜ ELECTRICAL POWER AS REQUIRED FOR WALL MOUNTED HAND DRYER.

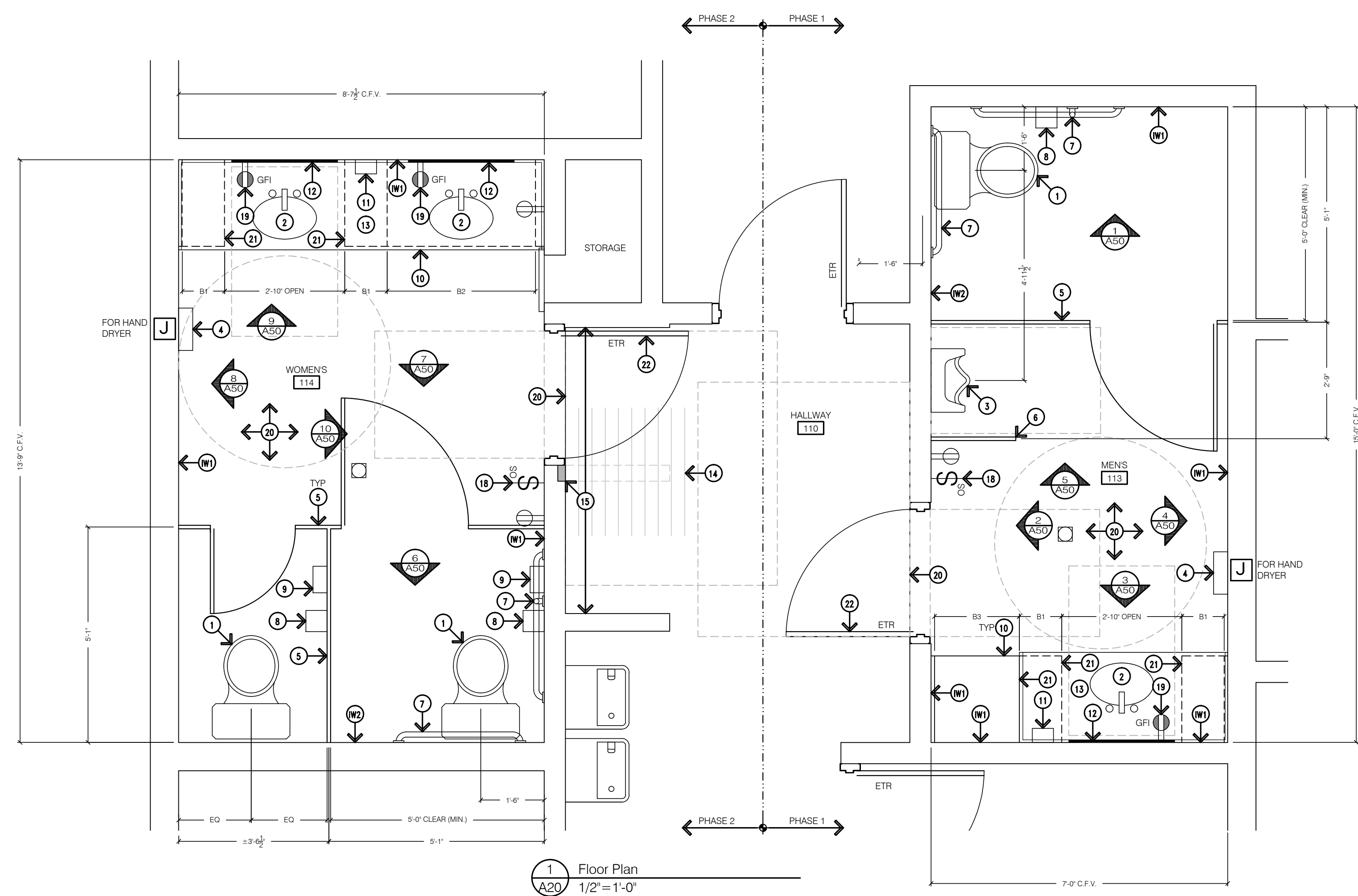
CABINET SCHEDULE						
NO.	DESCRIPTION	HEIGHT (IN)	DEPTH (IN)	LOCK	STEVENS MODEL NO.	REMARKS
B2	42" WIDE SINK BASE WITH DOORS	32"	24"	NO	#10479	NOTES C1, C2, C3, C4
B3	24" WIDE SHELF TALL	72"	24"	NO	#24120	NOTES C1, C2, C3, C4

CABINET SCHEDULE NOTES:

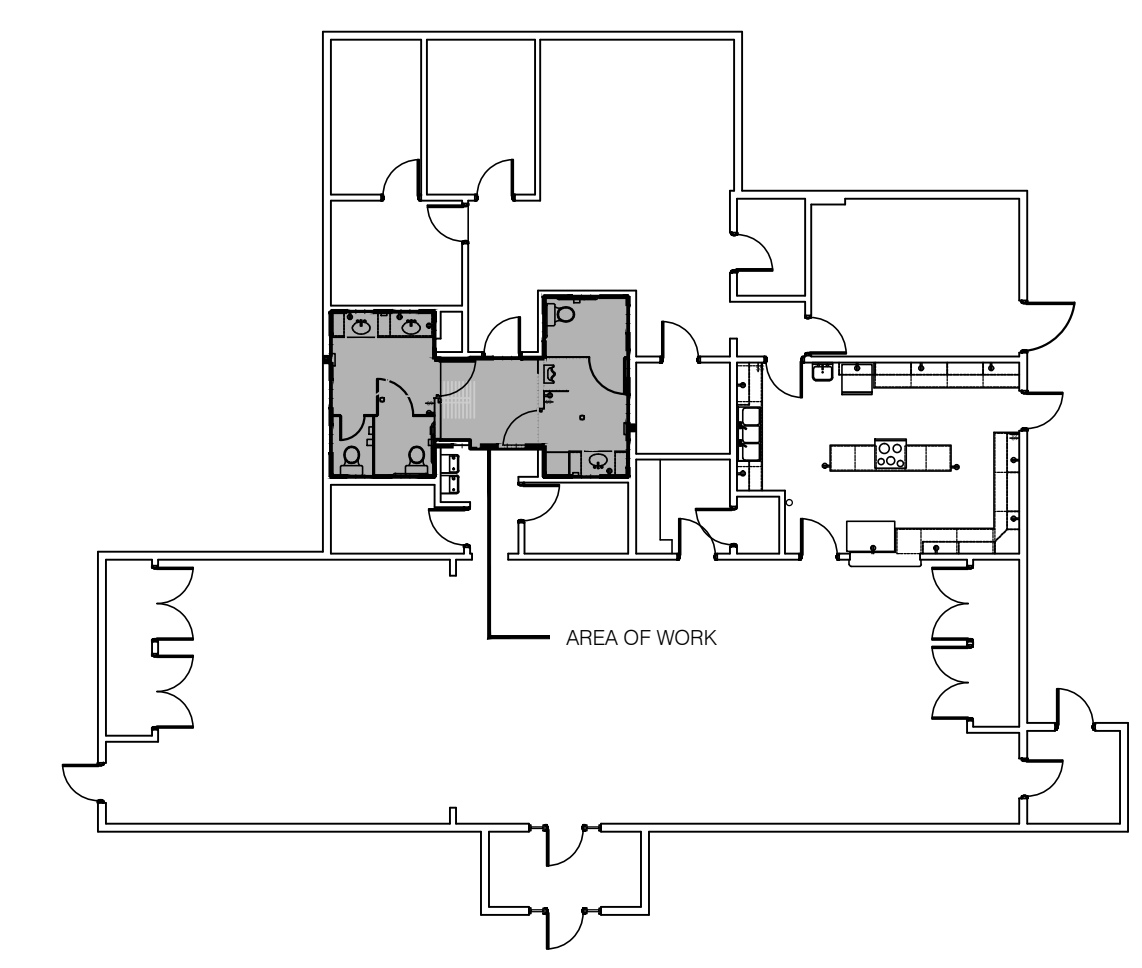
- C1. FULL DEPTH ADJUSTABLE SHELF (S)
- C2. FINISHED BOTTOM - TO MATCH CABINET
- C3. FINISHED END PANEL WHEN EXPOSED TO VIEW - TO MATCH CABINET
- C4. PROVIDE MINIMUM LEG CLEARANCES PER BARRIER-FREE CODE.

DRAWING NOTES:

- 1. FLOOR MOUNTED WATER CLOSET - ADA
 - MANSFIELD SUMMIT 384 - 386
 - WHITE
 - SEAT BEAMS 1958S5TFR W/ STA-TITE FASTENERS.
 - WAX RING AND ACCESSORIES FOR A COMPLETE INSTALL.
 - PROVIDE ALL SLEEVES, TEMPLATES, ETC. AS REQUIRED FOR ROUGH-IN OF FIXTURES.
- 2. 19" ROUND SELF RIMMING LAVATORY - ADA. MOUNT IN LOCATION PER ALL CODE REQUIREMENTS.
 - MANSFIELD 249-4 MAVERICK
 - WHITE
 - 4" FAUCET CENTER
 - DRAIN ASSEMBLY WITH 1" TRAP
 - ZURN Z6915 - XL-ACA W/ AQUA SENSE PLUG-IN POWERED FAUCET W/ P6900-MV TEMPERATURE MIXING VALVE
 - PROVIDE WRAP ON SUPPLY AND WASTE PIPING EQUAL TO KEENEY TRAP WRAP
 - PROVIDE ALL SLEEVES, TEMPLATES, ETC. AS REQUIRED FOR ROUGH-IN OF FIXTURES
- 3. URINAL - ADA
 - MANSFIELD CASCADE 410HE
 - WHITE
 - FLUSH VALVE: MANUAL OPERATION DELTA 81T231
 - CHAIR CARRIER W/ FOOT SUPPORTS. MOUNT PER ADA REQUIREMENTS.
 - PROVIDE ALL SLEEVES, TEMPLATES, ETC. AS REQUIRED FOR ROUGH-IN OF FIXTURES
- 4. ELECTRIC HAND DRYER, MOUNTED AT BARRIER FREE HEIGHT. WITH STAINLESS STEEL WALL PLATE. REFER TO INTERIOR ELEVATIONS AND SPECIFICATIONS FOR FURTHER INFORMATION.
- 5. FLOOR MOUNTED, OVER-HEAD BRACED PLASTIC TOILET COMPARTMENT WITH DOOR, HINGES, SLIDE LATCH, DOOR PULL, COAT HOOK, ETC. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION
- 6. WALL MOUNTED, PLASTIC URINAL SCREEN WITH CONTINUOUS WALL BRACKET. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
- 7. GRAB BAR. REFER TO INTERIOR ELEVATIONS AND SPECIFICATIONS FOR FURTHER INFORMATION. PROVIDE ALL GRAB BARS NECESSARY TO MEET BARRIER FREE REQUIREMENTS. REFER TO ALTERNATE #1.
- 8. TOILET TISSUE DISPENSER. FURNISHED AND INSTALLED BY THE OWNER.
- 9. FEMININE HYGIENE DISPOSAL. REFER TO INTERIOR ELEVATIONS AND SPECIFICATIONS FOR FURTHER INFORMATION.
- 10. PLASTIC LAMINATE BASE CABINETS - REFER TO CABINET SCHEDULE.
- 11. SOAP DISPENSER. FURNISHED AND INSTALLED BY THE OWNER.
- 12. MIRROR. REFER TO INTERIOR ELEVATIONS AND SPECIFICATIONS FOR FURTHER INFORMATION.
- 13. PLASTIC LAMINATE COUNTER TOP WITH BACK & SIDE SPLASHES TO SUIT CONDITIONS.
- 14. REPAIR LVT FLOOR AS REQUIRED AT WALL REMOVAL TO INSTALL FULL SIZE PLANKS. USE OWNER PROVIDED ATTIC STOCK.
- 15. PATCH AND REPAIR EXISTING GYPSUM BOARD FROM WALL REMOVAL CONTRACTOR TO PAINT THE COMPLETE WALL 3 COATS FROM CORNER TO CORNER. - MATCH EXISTING PAINT.
- 16. REPAIR GYPSUM BOARD SOFFIT AS REQUIRED AT WALL REMOVAL. FINISH 3 COATS THE COMPLETE SOFFIT
- 17. PATCH AND REPAIR EXISTING GYPSUM BOARD CEILING - PAINT ONE COAT
- 18. WALL MOUNTED OCCUPANCY SENSOR
 - SENSOR SWITCH WSX PDT DUAL TECHNOLOGY MICROPHONICS.
 - AUTO ON
 - WHITE
 - CIRCUITING AND VOLTAGE BY CONTRACTOR.
- 19. DUPLEX POWER UNDER COUNTER FOR AUTO-FAUCET INFRA-RED SENSORS.
 - WHITE
 - CIRCUITING AND VOLTAGE BY CONTRACTOR.
- 20. SHEET VINYL FLOORING WITH WELDED SEAMS. PROVIDE 4" COVED RUBBER BASE (EXCEPT AT CERAMIC WALL TILE).
- 21. FINISHED END PANEL.
- 22. PAINT RESTROOM SIDE OF EXISTING DOOR AND FRAME.
- 23. RELOCATE EXISTING LIGHT FIXTURE, WIRING, ELECTRICAL BOX, ETC. AS REQUIRED TO AVOID NEW WALL VANITY. REPAIR CEILING AS REQUIRED.



1 Floor Plan
A20 1/2" = 1'-0"



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Plans Scale: As Noted

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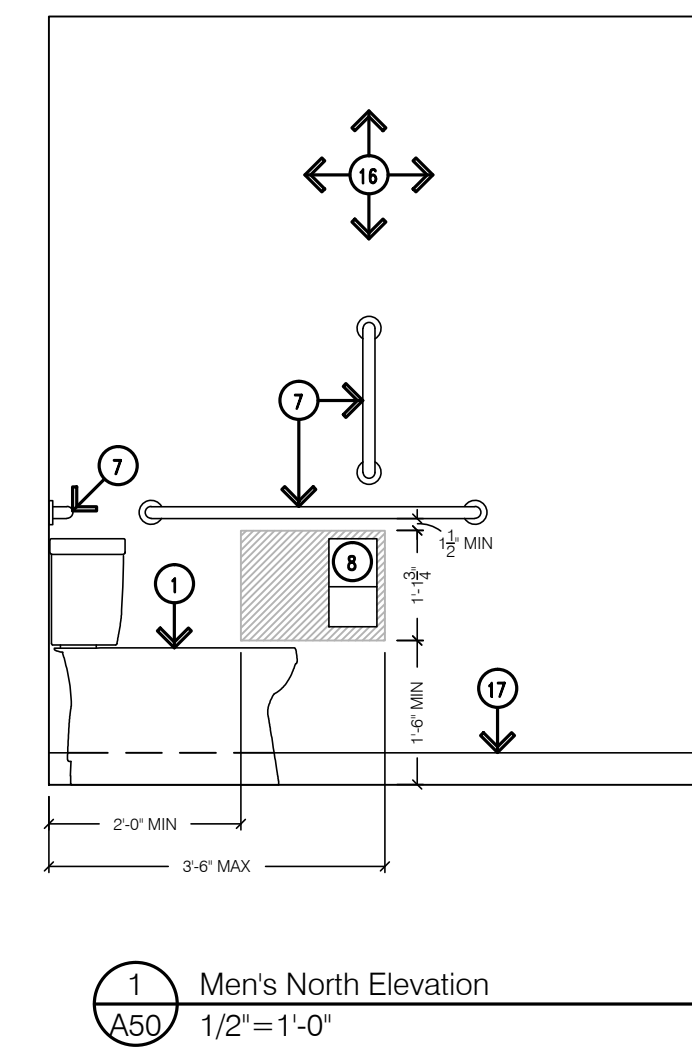
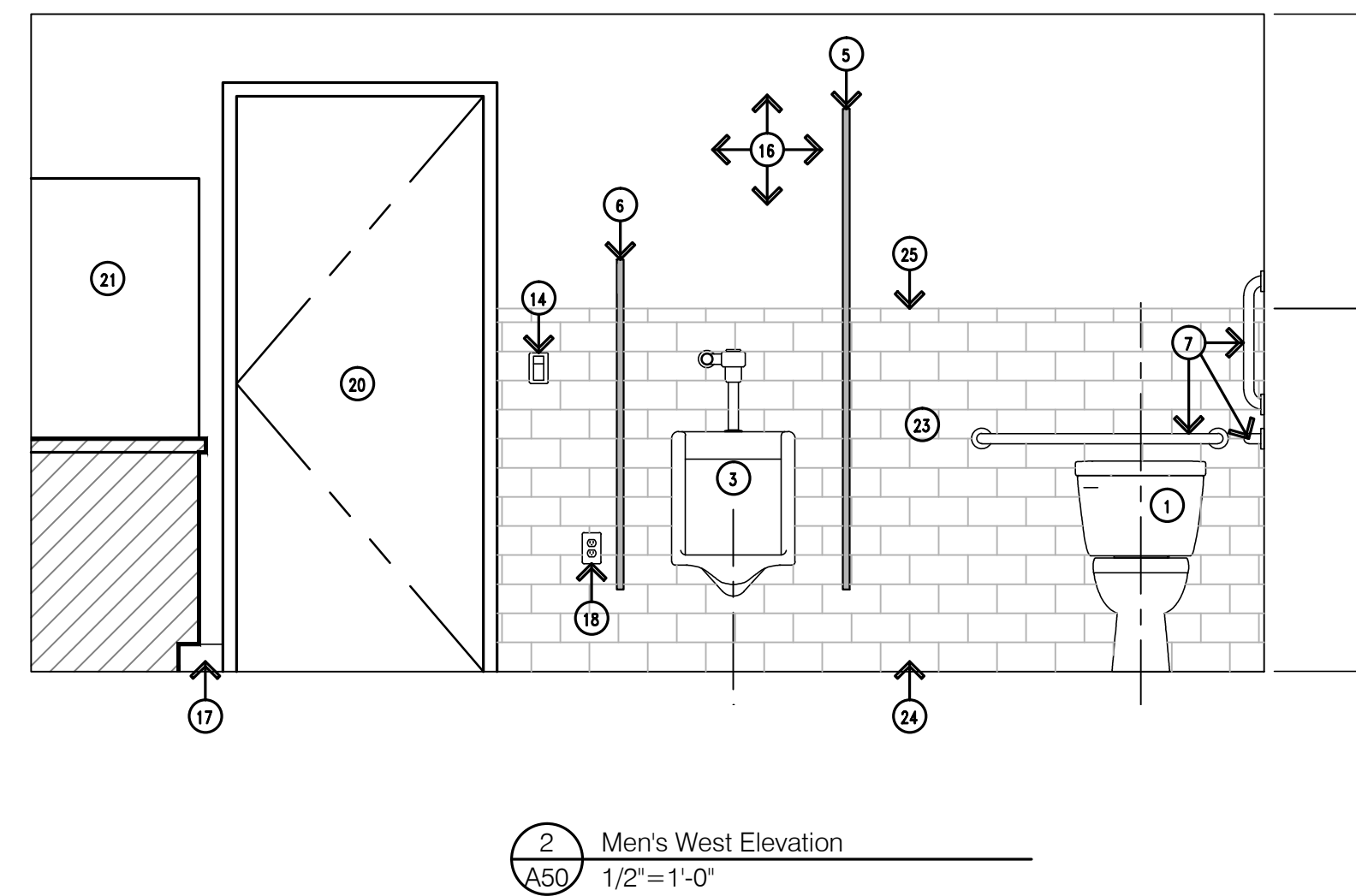
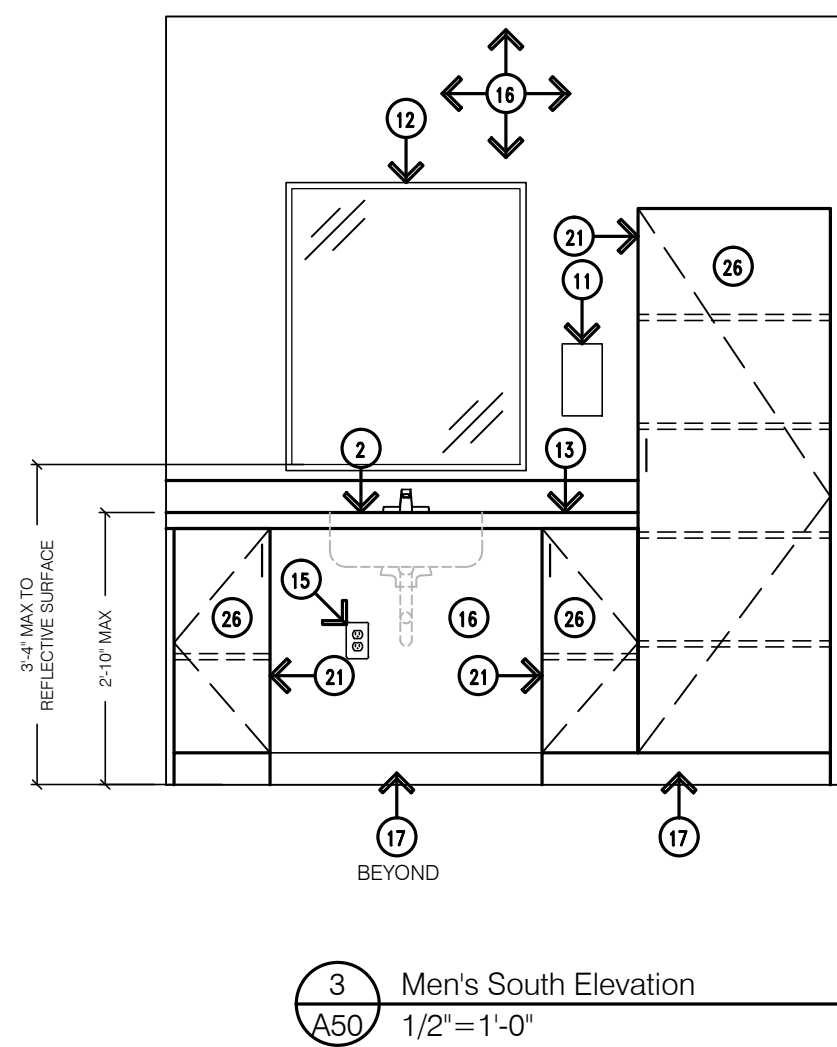
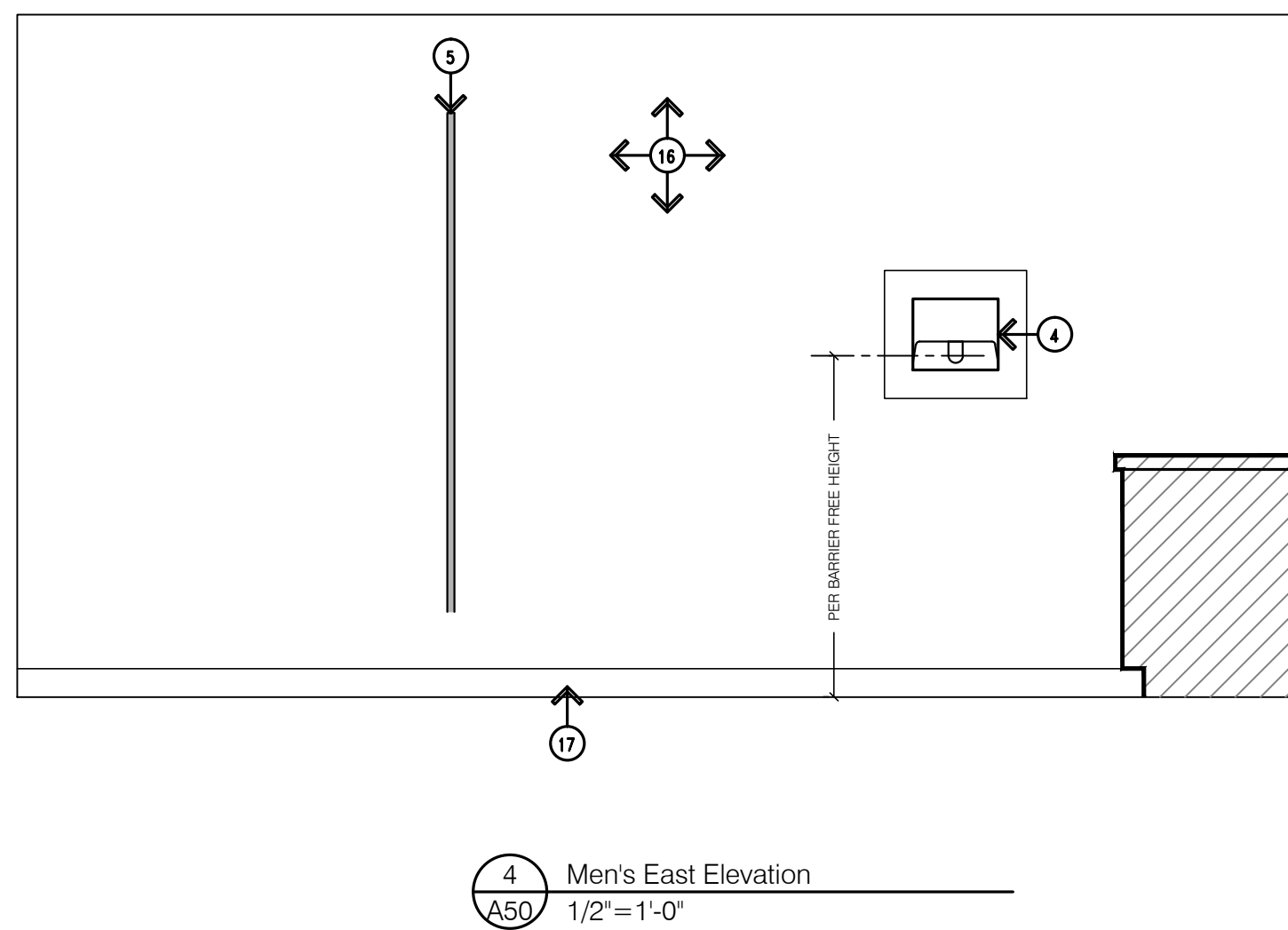
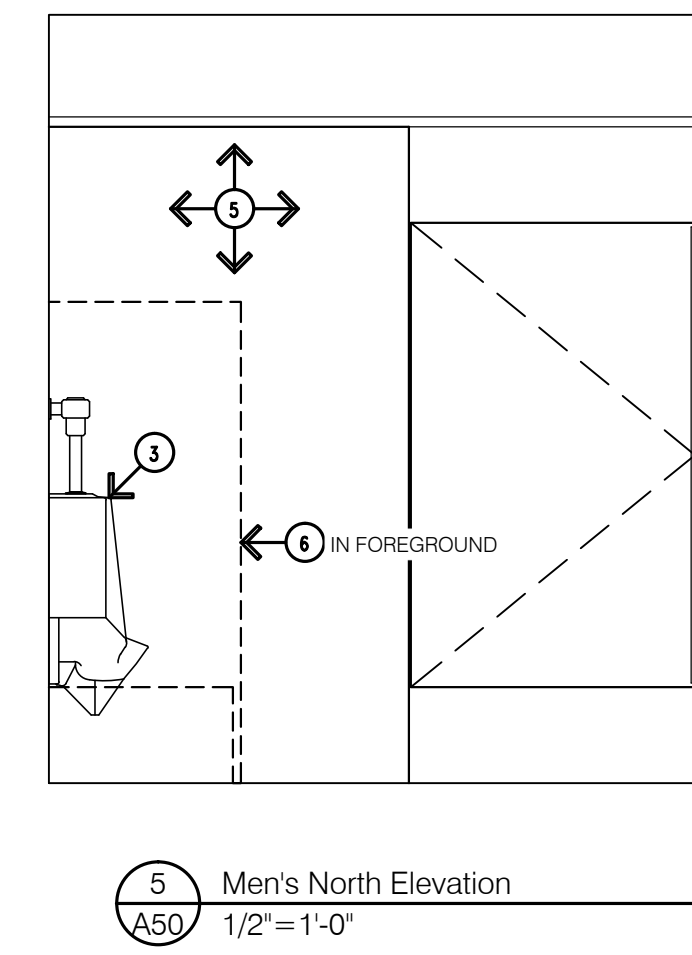
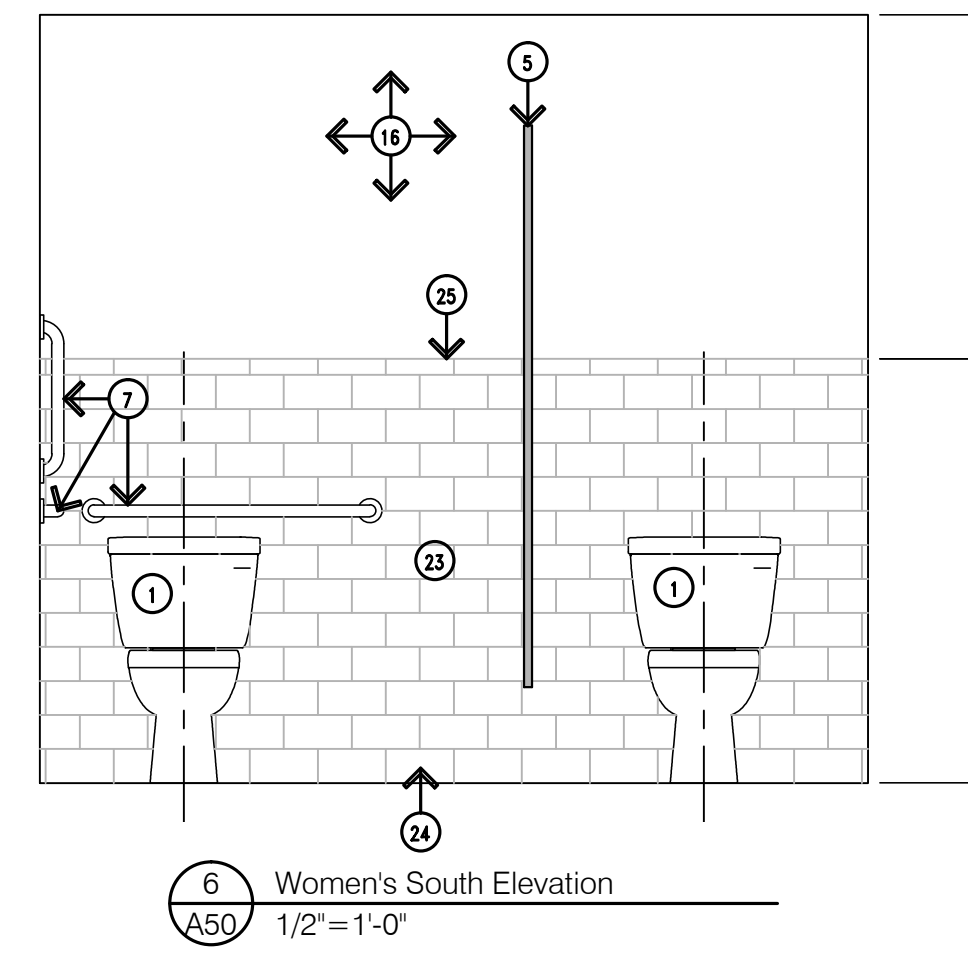
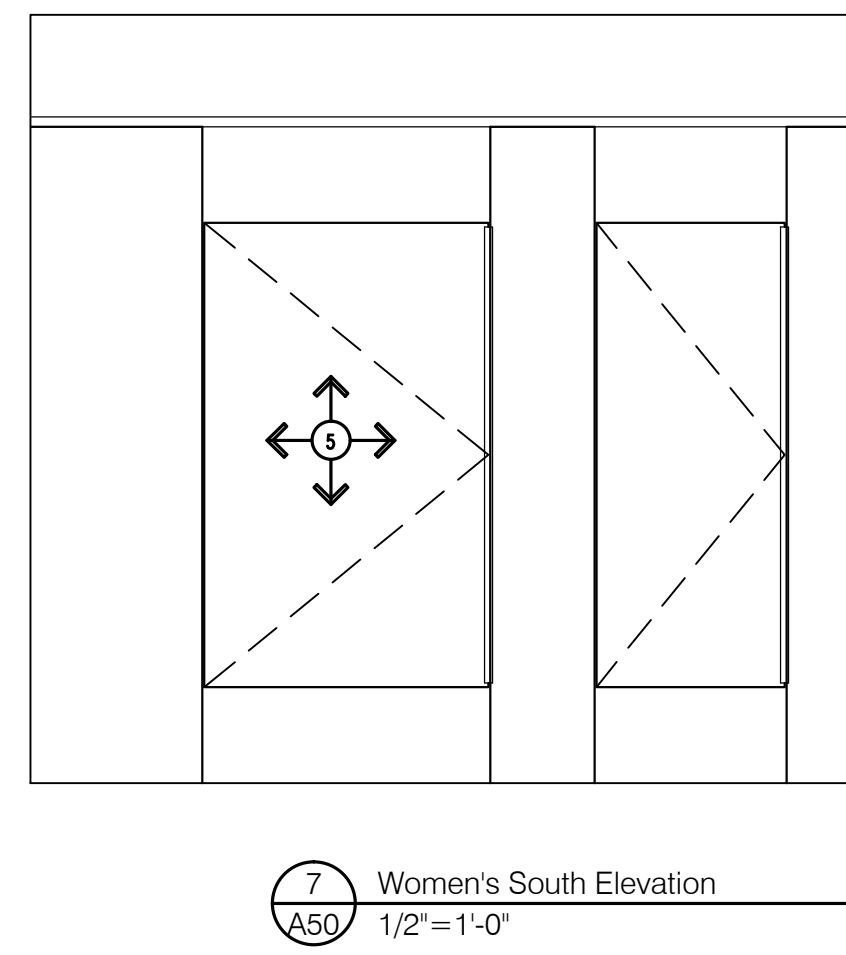
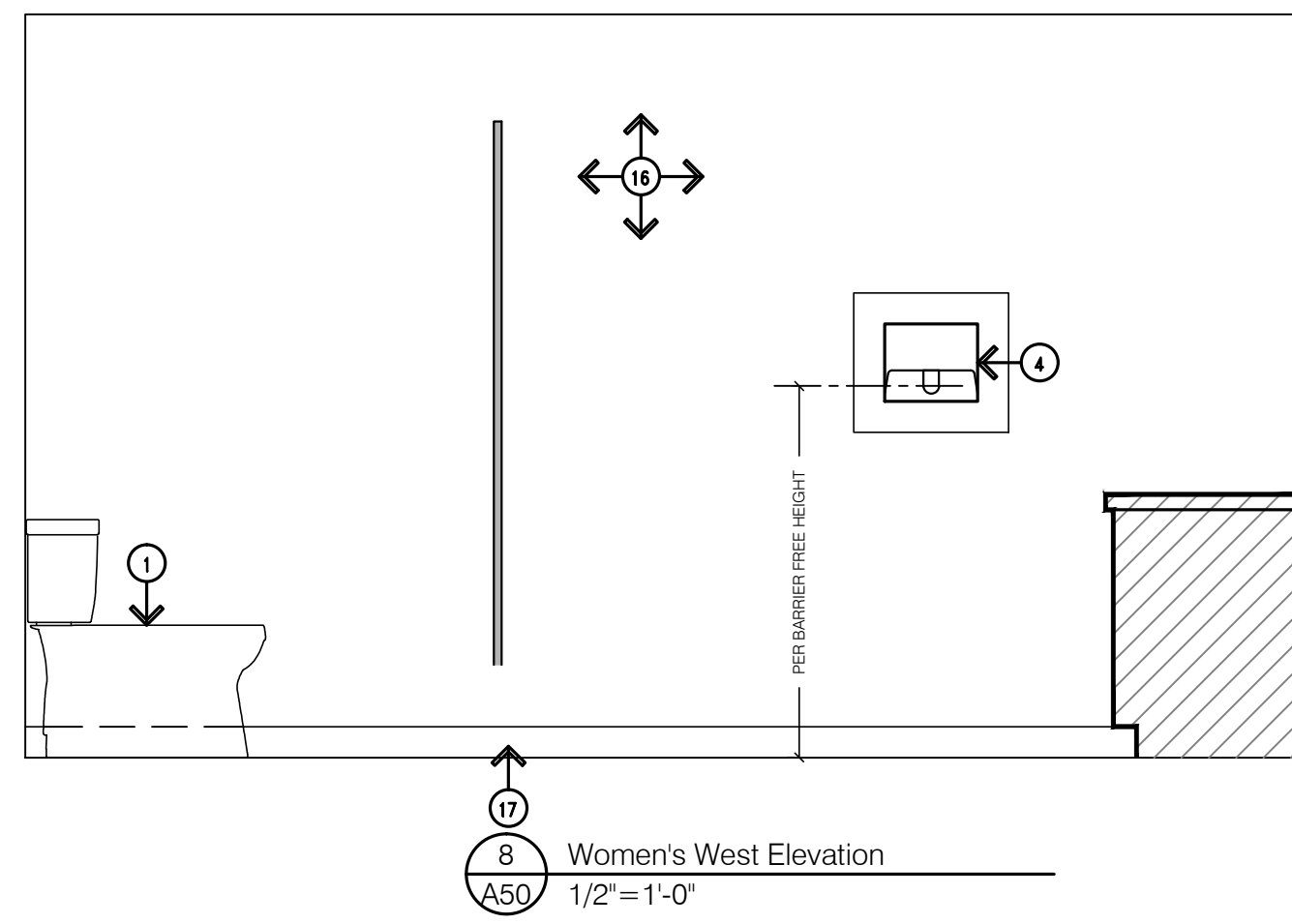
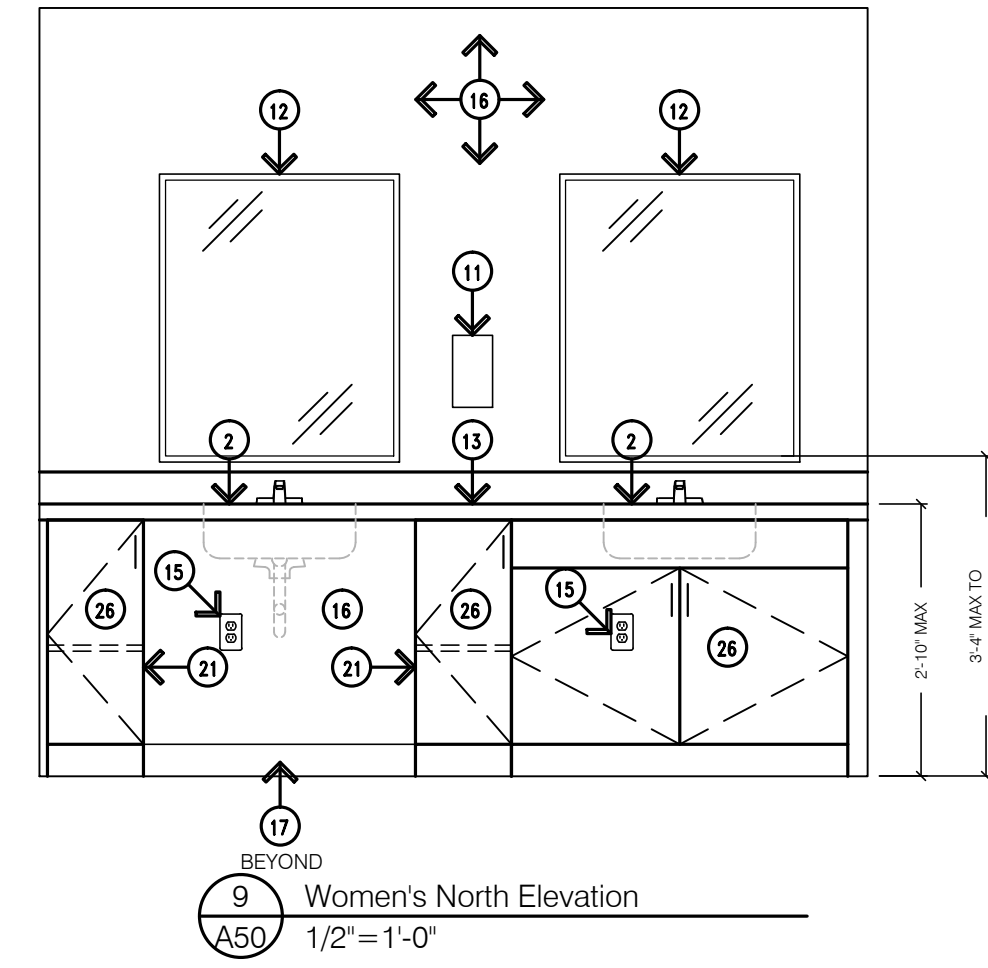
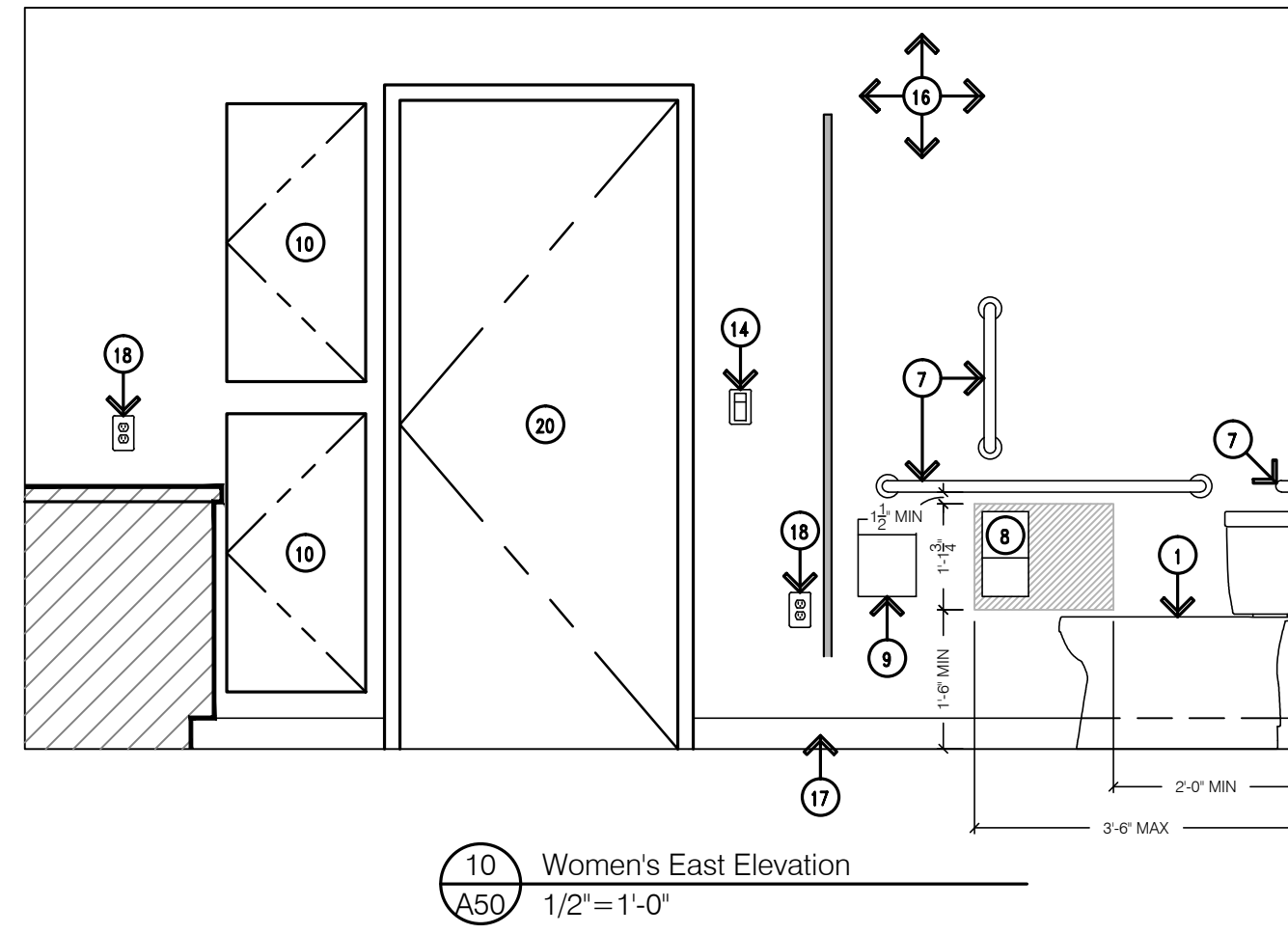


GENERAL NOTES:

- G1. CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC, ALL STATE AND LOCAL ELECTRICAL CODES AND THE CURRENT EDITION OF THE MICHIGAN PLUMBING CODE.
- G2. CONTRACTOR TO PATCH/REPAIR ALL WALLS PRIOR TO PAINTING

DRAWING NOTES:

- 1. WATER CLOSET - REFER TO SHEET AT A20 FOR MORE INFORMATION.
- 2. LAVATORY - REFER TO SHEET AT A20 FOR MORE INFORMATION.
- 3. URINAL - REFER TO SHEET AT A20 FOR MORE INFORMATION.
- 4. ELECTRIC HAND DRYER.
- 5. PLASTIC TOILET PARTITION.
- 6. PLASTIC URINAL SCREEN.
- 7. GRAB BAR. PER CODE REQUIREMENTS - REFER TO ALTERNATE #1.
- 8. TOILET TISSUE DISPENSER. FURNISHED AND INSTALLED BY OWNER.
- 9. FEMININE HYGIENE DISPENSER.
- 10. EXISTING WOOD DOORS - PAINT.
- 11. SOAP DISPENSER. FURNISHED AND INSTALLED BY OWNER.
- 12. MIRROR - MOUNT PER B.F. REQUIREMENTS.
- 13. PLASTIC LAMINATE COUNTER TOP.
- 14. WALL MOUNTED OCCUPANCY SENSOR SWITCH.
- 15. ELECTRICAL OUTLET - REFER TO A20.
- 16. EXISTING GYPSUM BOARD - PAINTED.
- 17. WALL BASE.
- 18. EXISTING ELECTRICAL OUTLET.
- 19. CERAMIC WALL TILE WITH COVE BASE AND BULLNOSE TOP.
- 20. EXISTING DOOR - PAINT RESTROOM SIDE ONE COAT.
- 21. FINISHED END PANEL.
- 22. EXISTING DOOR FRAME - PAINT RESTROOM SIDE ONE COAT.
- 23. CERAMIC WALL TILE.
- 24. CERAMIC WALL BASE.
- 25. CERAMIC BULLNOSE.
- 26. PLASTIC LAMINATE CABINET - REFER TO SCHEDULE.



Bidding: 19 January 2016

Interior Elevations

Scale: As Noted

Ehresman Associates, Inc.
architects • engineers

Edna Burton Senior Center
Ortonville MI
Restroom Remodeling

Project No. 8315.a

A50

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