

PARTNERS in Architecture, PLC
 65 MARKET STREET
 MOUNT CLEMENS, MI 48043
 P 586.469.3600
 F 586.469.3607

Statement of Intellectual Property
 The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, P.L.C. 65 Market Street, Mount Clemens, MI 48043 (P 586.469.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, P.L.C. This information is protected under U.S. Copyright Law, all rights reserved.

© Copyright 2013

CONSULTANT

KEY PLAN

OWNER

CITY OF NEW BALTIMORE

PROJECT NAME

Department of Public Service Building Addition

35389 Cricklewood
 New Baltimore, MI 48047

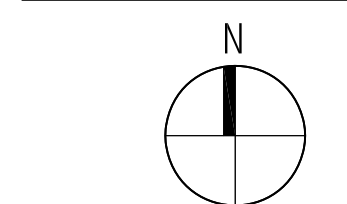
PROJECT NO.

13-107

ISSUES / REVISIONS

OWNER REVIEW 5/8/2013

BIDS/CONSTRUCTION 5/17/2013



DRAWN BY

KJB

CHECKED BY

APPROVED BY

SHEET NAME

LIFE SAFETY PLAN /
 CODE INFORMATION

SHEET NO.

A0-02

BUILDING CODE INFORMATION

OWNER: CITY OF NEW BALTIMORE

PROJECT: DPS GARAGE BUILDING ADDITION

ADDRESS: 35389 CRICKLEWOOD, NEW BALTIMORE, MICHIGAN 48047

PROPOSED USE: EXTERIOR WEATHER SHELTER FOR DPW RUCKS AND EQUIPMENT

GOVERNING CODE:

BUILDING: 2009 MICHIGAN BUILDING CODE
 MECHANICAL: 2009 MICHIGAN MECHANICAL CODE
 PLUMBING: 2009 MICHIGAN PLUMBING CODE
 ELECTRICAL: 2008 NATIONAL ELECTRICAL CODE
 AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (335-89S1)
 AISC CODE OF STANDARD PRACTICE FOR BUILDINGS (2009 EDITION)
 AWS D1.1-2009 STRUCTURAL WELDING CODE
 AISC STEEL CONSTRUCTION MANUAL, THIRTEENTH EDITION

BUILDING DATA SUMMARY:

CONSTRUCTION TYPE: B-2
 USE GROUP: S-1 (STORAGE, MODERATE - MOTOR VEHICAL REPAIR GARAGE)
 USE GROUP: S-2 (STORAGE, LOW - PARKING GARAGE)
 USE GROUP: B (BUSINESS - OFFICE)
 BUILDING HEIGHT: 1 STORY
 CODE ANALYSIS AREA CALCULATIONS:
 S-1 TOTAL NET AREA = 2,324 SQ FT
 S-2 TOTAL NET AREA = 6,274 SQ FT
 B TOTAL NET AREA = 1,459 SQ FT

CHAPTER 3 USE and OCCUPANCY CLASSIFICATION:
 SECTION 312.1: UTILITY AND MISCELLANEOUS GROUP U

CHAPTER 4 SPECIAL REQUIREMENTS:

SECTION 406.4: ENCLOSED PARKING GARAGES:

SECTION 406.6 REPAIR GARAGES:

CHAPTER 5 GENERAL BUILDING HEIGHT and AREA:

ALLOWABLE: PER 2003 MBC TABLE 503

GROUP B / TYPE 2-B
 AREA OF 23,000 S.F. PER FLOOR
 HEIGHT OF 3 STORIES

GROUP S-1 / TYPE 2-B
 AREA OF 17,500 S.F. PER FLOOR
 HEIGHT OF 2 STORIES

GROUP S-2 / TYPE 2-B
 AREA OF 26,000 S.F. PER FLOOR
 HEIGHT OF 3 STORIES

CHAPTER 6 TYPES of CONSTRUCTION:

PER TABLE MBC 601 TYPE 2-B

STRUCTURAL FRAME	0 HR....NA
BEARING WALLS	0 HR....NA
INTERIOR	
EXTERIOR	
NONBEARING WALLS & PARTITIONS	0 HR....NA
INTERIOR	
EXTERIOR	
FLOOR CONSTRUCTION	0 HR....NA
ROOF CONSTRUCTION	0 HR....NA

CHAPTER 10 MEANS of EGRESS REQUIREMENTS:

OCCUPANT LOAD MBC TABLE 1004.1.1

B - BUSINESS = 716 S.F. NET / 100 PER OCCUPANT = 8 OCCUPANTS
 S-1 REPAIR GARAGE = 2,324 S.F. NET / 200 PER OCCUPANT = 12 OCCUPANTS
 S-2 - PARKING GARAGE = 6,274 S.F. NET / 500 PER OCCUPANT = 13 OCCUPANTS

TOTAL TABULATED OCCUPANT LOAD = 40 OCCUPANTS

EXIT REQUIREMENTS

MBC 1014.2 EGRESS THROUGH INTERVENING SPACES

EGRESS MAY ONLY PASS THRU ROOM OR SPACES WHEN ADJOINING ROOMS ARE ACCESSORY TO ONE AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT.

MBC 1014.3 COMMON PATH OF TRAVEL MAXIMUM OF 75'-0" ALLOWED (PROVIDE 25'-0" MAX)

MBC 1016.1 EXIT ACCESS TRAVEL DISTANCE MAXIMUM OF 200'-0" ALLOWED (PROVIDE 75'-0" MAX)

DEAD END CORRIDOR

PER MBC 1018.3 = 20'-0" LIMIT MAXIMUM CONDITION

PER MBC 1020.1 NUMBER OF EXITS

(6) TOTAL DIRECT EXTERIOR

CHAPTER 11 ACCESSIBILITY:

MBC 1101.2 DESIGN

BUILDING AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH 1966 PA 1, MCL125.1351 TO 125.1356, THIS CODE AND ICC/ANSI A 117.1, EXCEPT SECTIONS 611 AND 707

CHAPTER 24 GLASS AND GLAZING:

MBC 2406 SAFETY GLAZING

2406.4 HAZARDOUS LOCATIONS: REQUIRE SAFETY GLAZING

CHAPTER 34 EXISTING STRUCTURES:

2009 MBC 3403.1 EXISTING BUILDINGS OR STRUCTURES

ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION

..... PORTIONS OF THE STRUCTURE NOT ALTERED AND NOT AFFECTED BY THE ALTERATION ARE NOT REQUIRED TO COMPLY WITH THE CODE REQUIREMENTS FOR A NEW

50% OF THE ENTIRE STRUCTURE / BUILDING.

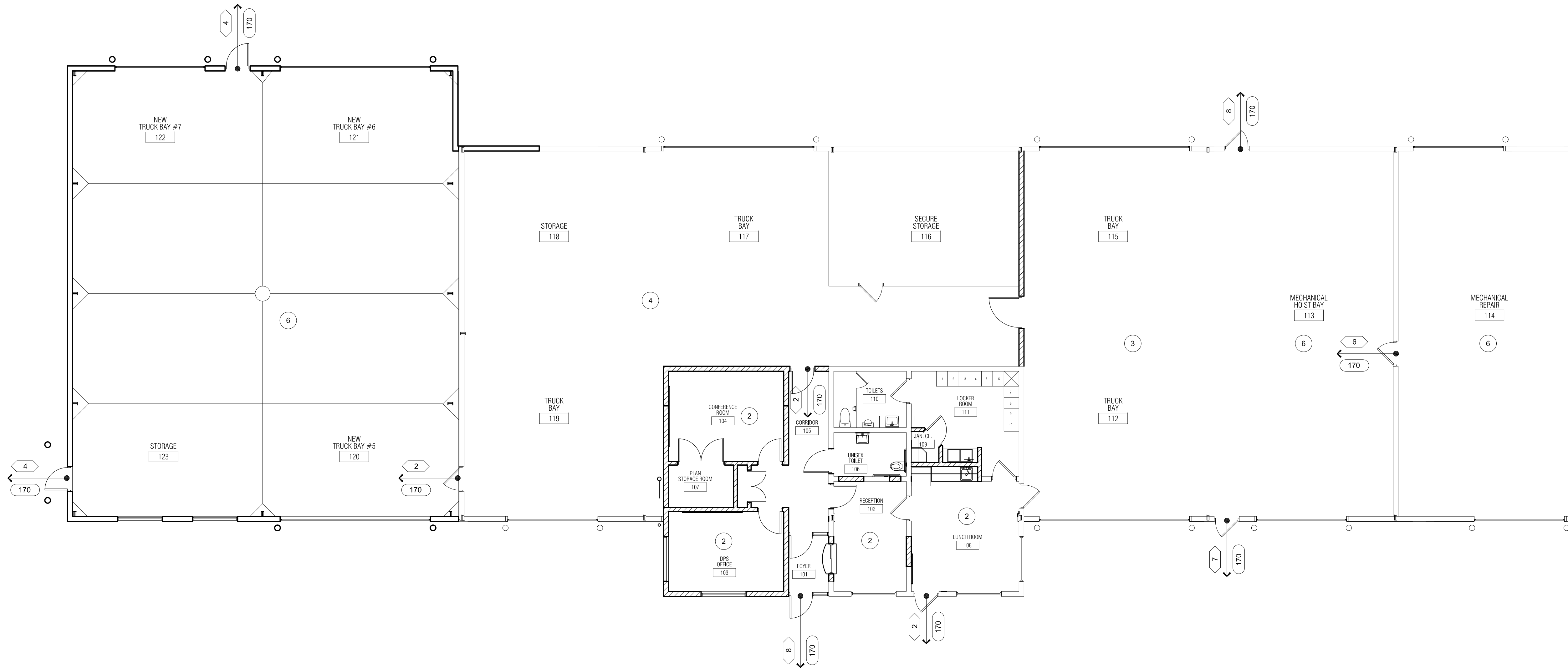
GENERAL LIFE SAFETY NOTES

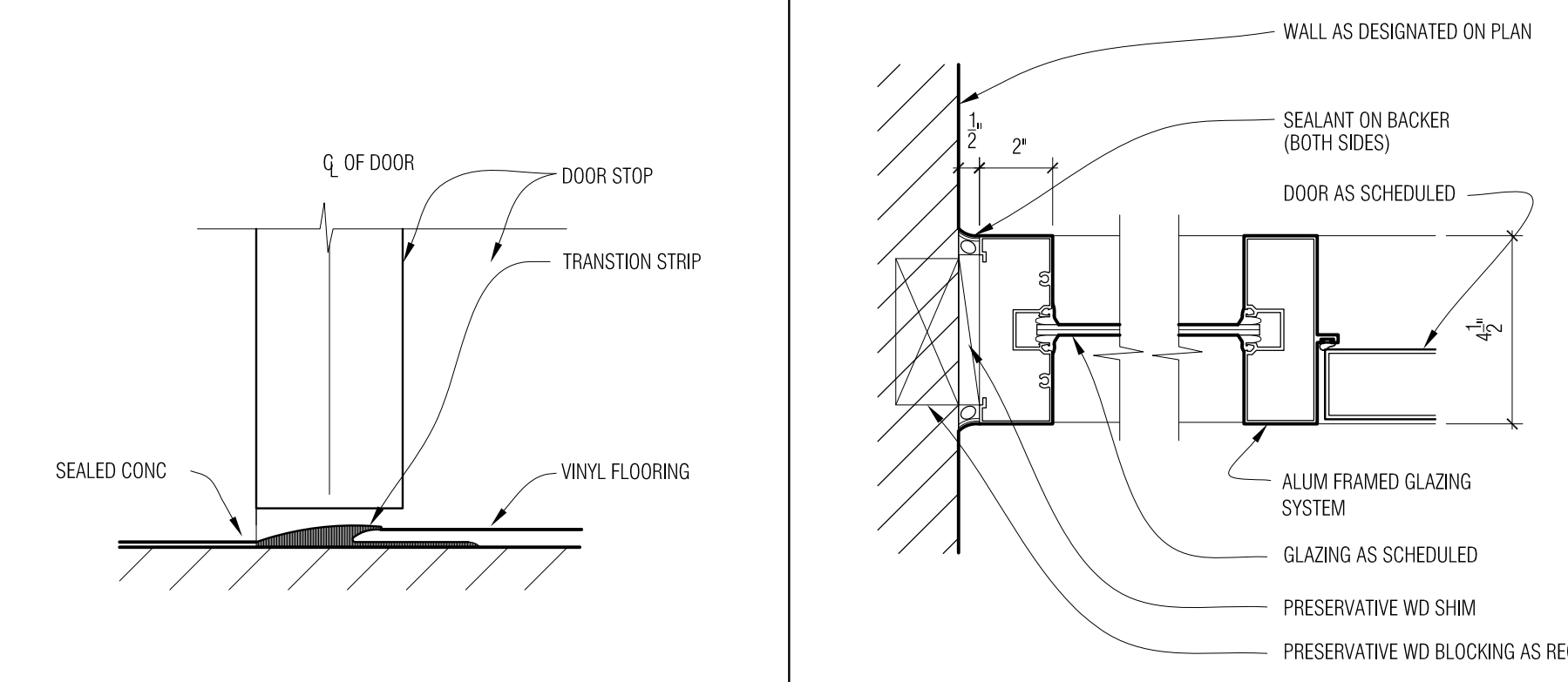
- ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS SHALL BE IDENTIFIED WITH SIGNS OR STENCILING (WHERE WALL AREAS ARE CONCEALED FROM VIEW) LETTERS MUST BE A MIN. 1/2" HEIGHT AND READ "FIRE AND/OR SMOKE BARRIER. PROTECT ALL OPENINGS" - SPACED AT 30'-0" O.C.
- THESE CODE ANALYSIS DRAWINGS (SHEET A0-02), NOTES, PLANS AND WALL IDENTIFICATION TYPES AND LOCATIONS ARE FOR FIRE RATINGS AND / OR SMOKE BARRIERS AS REQUIRED FOR LIFE SAFETY AND BUILDING CODE COMPLIANCE. ALL OTHER CONSTRUCTION REQUIREMENTS ARE INDICATED ON THE CONSTRUCTION DOCUMENTS.
- ALL FIRE RATED WALLS OF ANY TYPE SHALL BE SEALED TIGHT TO ROOF DECK SYSTEM ABOVE WITH UL APPROVED MATERIAL BY EITHER JOHNS MANSVILLE FIRETEMP, HILTI FIRESTOP COMPOUND, OR 3M. ALL PRODUCTS / MATERIALS MUST BE UL APPROVED AND CLASSIFIED AND SUBMITTED FOR REVIEW AND APPROVAL BY ARCHITECT BEFORE APPLICATION/INSTALLATION.

LEGEND

- NEW, OR EXISTING TO BE UPGRADED, 2-HOUR "FIRE WALL" CONSTRUCTION PER 2009 MBC SECTION 705. THIS WALL CONSTRUCTION HAS 90 MINUTE DOOR AND FRAME PROTECTIVES. PROVIDE FIRE / SMOKE DAMPERS AS REQUIRED PER 2009 MBC.
- NEW, OR EXISTING TO BE UPGRADED, 1-HOUR "FIRE BARRIER" CONSTRUCTION PER 2009 MBC SECTION 706. THIS WALL CONSTRUCTION HAS 45 MINUTE DOOR AND FRAME PROTECTIVES. PROVIDE FIRE / SMOKE DAMPERS AS REQUIRED PER 2009 MBC.
- NEW, OR EXISTING TO BE UPGRADED, 1-HOUR "FIRE PARTITION" CONSTRUCTION PER 2009 MBC SECTION 708. THIS WALL CONSTRUCTION HAS 20 MINUTE DOOR AND FRAME PROTECTIVES FOR ALL CORRIDORS. PROVIDE FIRE / SMOKE DAMPERS AS REQUIRED PER 2009 MBC.
- NEW, OR EXISTING TO BE UPGRADED, 2-HOUR "FIRE BARRIER" CONSTRUCTION PER 2009 MBC SECTION 708. THIS WALL CONSTRUCTION HAS 90 MINUTE DOOR AND FRAME PROTECTIVES. PROVIDE FIRE / SMOKE DAMPERS AS REQUIRED PER 2009 MBC.
- FEC FIRE EXTINGUISHER CABINET (75' MAX. TRAVEL DISTANCE)
- # OCCUPANT LOAD EXITING THROUGH EGRESS COMPONENT
- # OCCUPANT CAPACITY OF EGRESS COMPONENT
- # OCCUPANT LOAD OF ROOM OR AREA

1 Life Safety Plan
 1/8" = 1'-0"

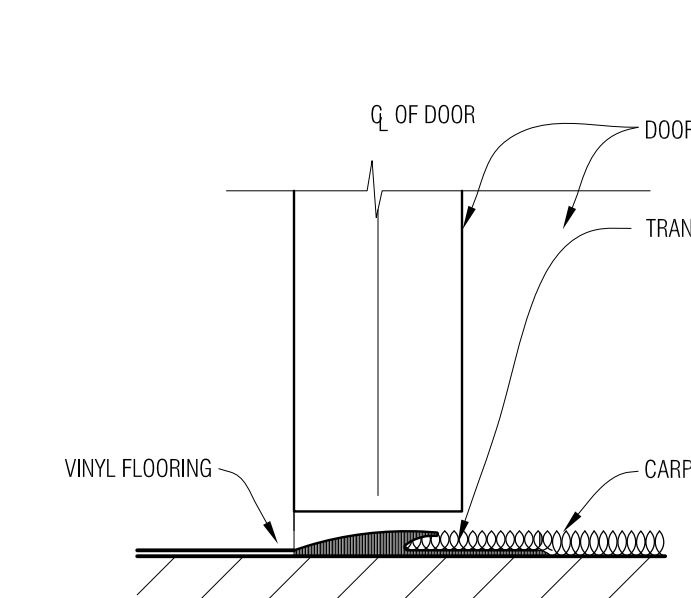




SEALED CONC TO VCT TRANSITION 6" = 1'-0"

T3

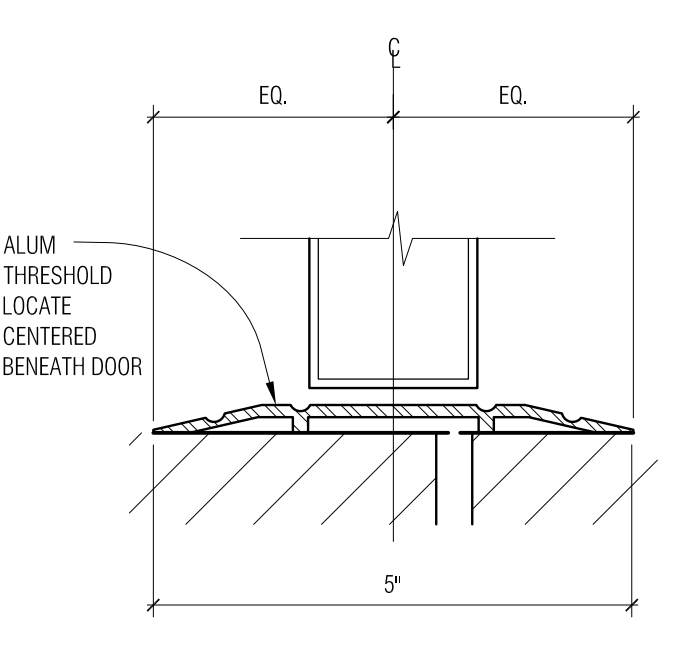
ALUM JAMB AT WALL 3" = 1'-0" D4



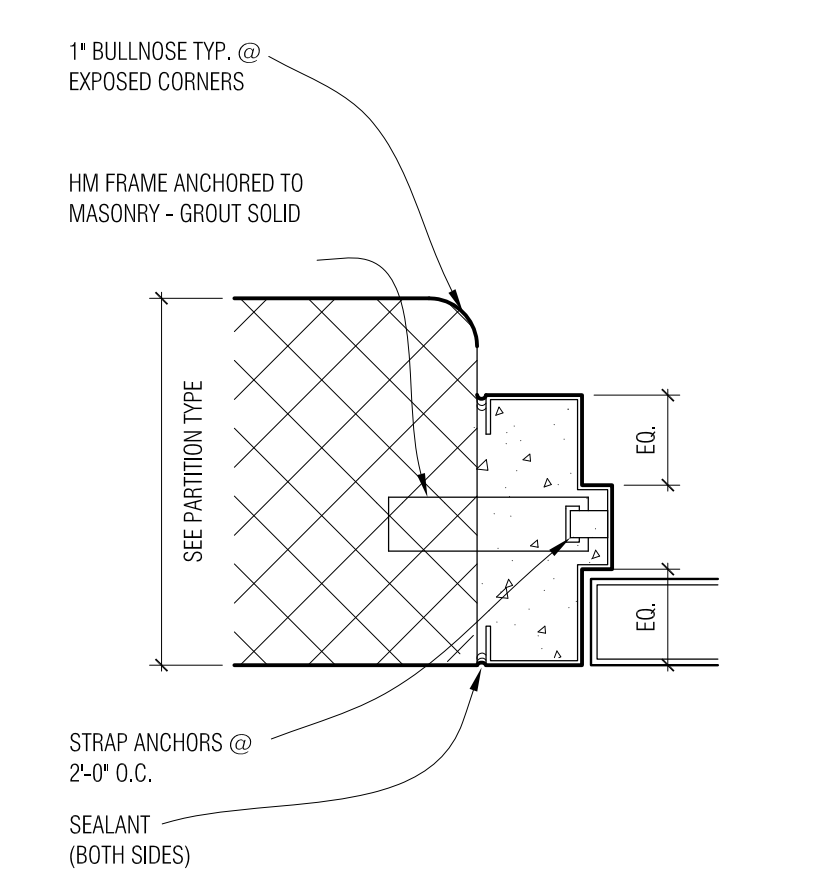
VINYL TO CARPET TRANSITION 6" = 1'-0"

T2

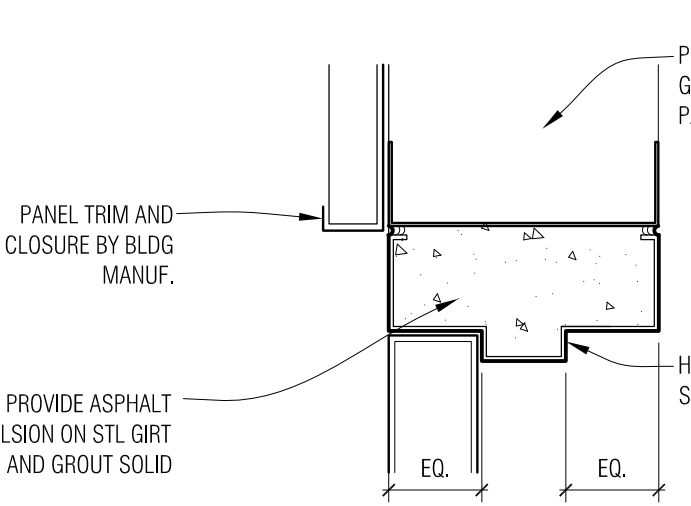
ALUM HEAD D3



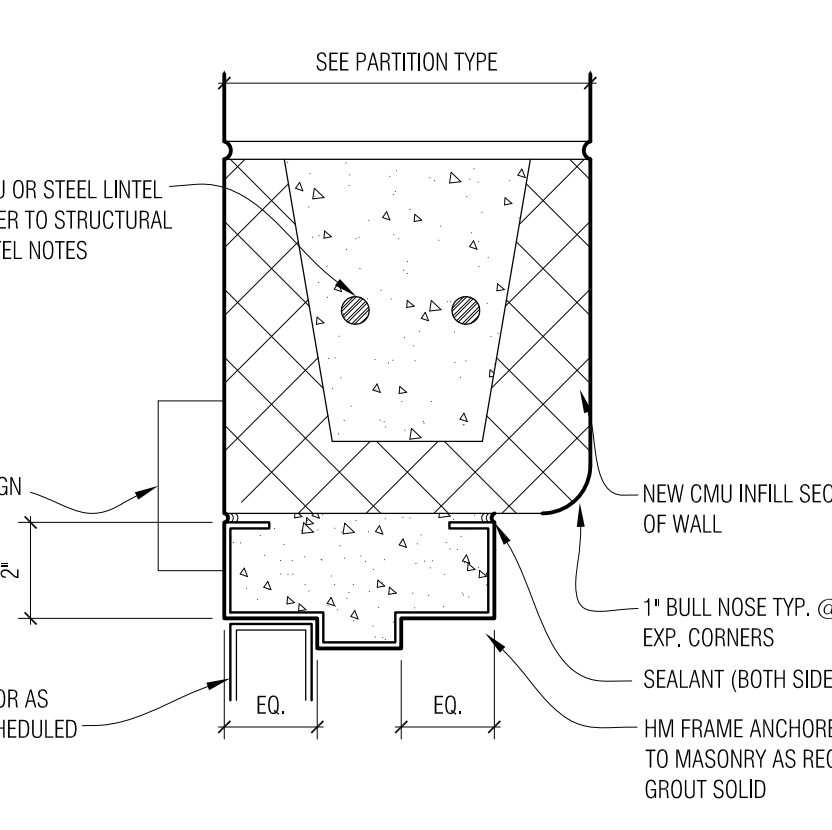
FULL SADDLE THRESHOLD 6" = 1'-0" T1



HM JAMB AT MASONRY 3" = 1'-0" D2



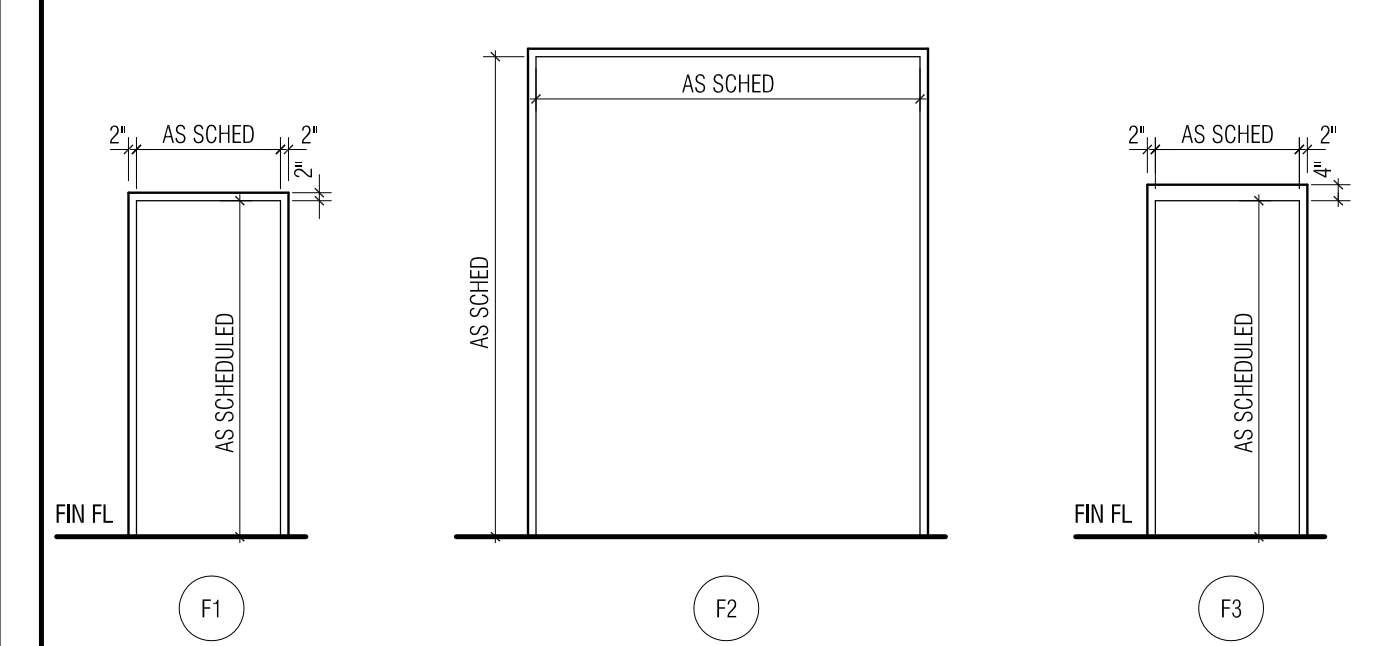
HM JAMB AT PREENGINEERED BLDG 3" = 1'-0" D5



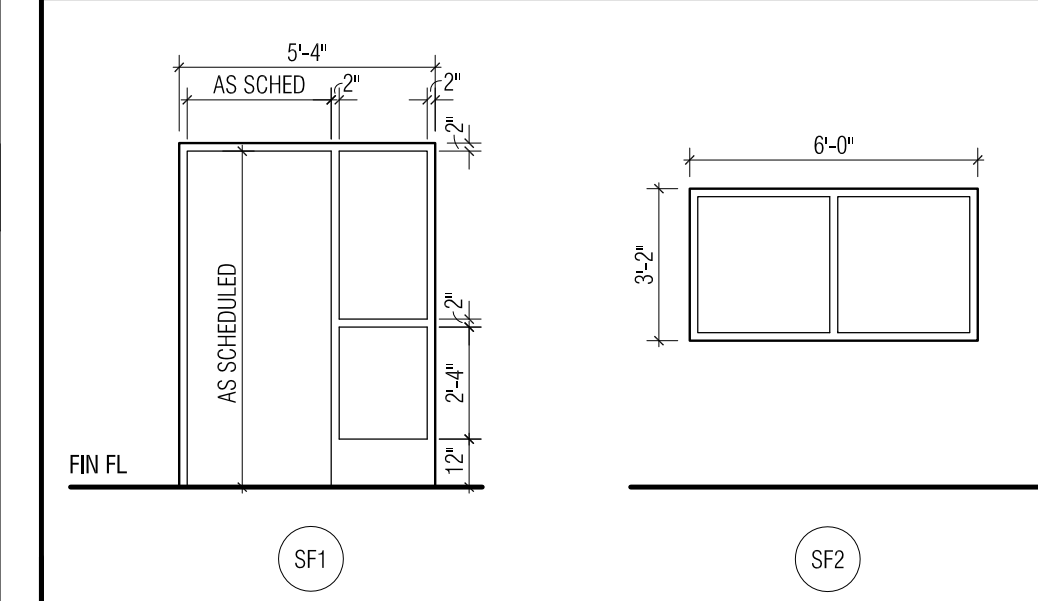
HM HEAD AT MASONRY 3" = 1'-0" D1

Door/Opening Schedule													
DOOR NO.	DOOR/OPENING SIZE (W x H) (CONTRACTOR TO VERIFY DOOR SIZE IF OPENING IS EXISTING)	DOOR			FRAME			DETAILS			HARDWARE SET #	LABEL (MIN)	DOOR/OPENING KEY NOTES
		TYPE	MAT.	FINISH	TYPE	MAT.	FINISH	HEAD	JAMB	THRES./SILL			
101A	3'-0" x 7'-2"	C	ALUM	FF	SF1	ALUM.	FF	D3	D4	T1	01	--	1, 2, 3
101B	3'-0" x 7'-2"	C	ALUM	FF	SF1	ALUM.	FF	D3	D4	-	02	--	3
102A	3'-0" x 7'-0"	D	HM	PNT	F3	HM	PNT	D1	D2	T2	03	--	--
102B	3'-0" x 7'-0"	D	HM	PNT	F3	HM	PNT	D1	D2	T2	11	--	--
103	3'-0" x 7'-0"	A	HM	PNT	F3	HM	PNT	D1	D2	T2	03	--	--
104	3'-0" x 7'-0"	A	HM	PNT	F3	HM	PNT	D1	D2	T2	03	--	--
105A	3'-0" x 7'-0"	D	HM	PNT	F3	HM	PNT	D1	D2	T3	04	--	4, 13
105B	PR 2'-2" x 7'-0"	B	HM	PNT	F3	HM	PNT	D1	D2	-	05	--	5
106	3'-0" x 7'-0"	B	HM	PNT	F3	HM	PNT	D1	D2	-	06	--	6
107	PR 3'-0" x 7'-0"	B	HM	PNT	F3	HM	PNT	D1	D2	T2	05	--	5
108	ETR	A	HM	PNT	F1	HM	PNT	-	-	T1	-	--	8, 2, 7, ALTERNATE #2
109	2'-08" x 7'-0"	B	HM	PNT	F3	HM	PNT	D1	D2	-	07	--	6, 7
117	4'-0" x 7'-0"	A	HM	PNT	F3	HM	PNT	D1	D2	T2	08	--	4, 13
119	ETR	ETR	HM	PNT	ETR	HM	PNT	ETR	ETR	ETR	-	--	4, 14
120	20'-0" x 14'-0"	E	MTL	FF	F2	STL	PNT	6/A6-01	6/A6-01	6/A6-01	09	--	1, 9, 10, 2
121	20'-0" x 14'-0"	E	MTL	FF	F2	STL	PNT	6/A6-01	6/A6-01	6/A6-01	09	--	1, 9, 10, 2
122A	3'-0" x 7'-0"	B	HM	PNT	F1	HM	PNT	D1	D2/D5	T1	10	--	2, 4, 7, 11, 12, 13
122B	12'-0" x 14'-0"	D	MTL	FF	F2	STL	PNT	6/A6-01	6/A6-01	6/A6-01	09	--	1, 9, 10, 2
123	3'-0" x 7'-0"	B	HM	PNT	F1	HM	PNT	D1	D2/D5	T1	10	--	2, 4, 7, 11, 12, 3

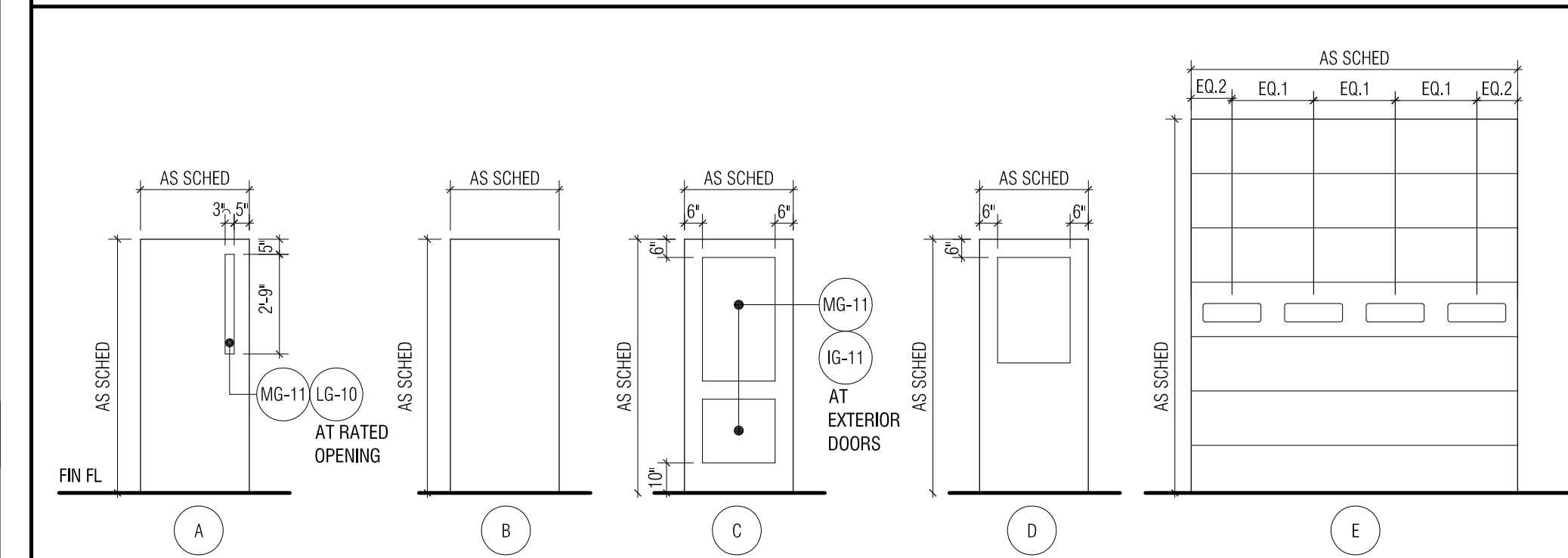
Frame Types



Storefronts



Door Types



Door/ Openings General Notes:

- A. FIELD VERIFY ALL OPENINGS PRIOR TO DOOR/FRAME FABRICATION.
- B. PROVIDE STRUCTURAL STEEL WELDED ANCHORS AT DOOR FRAME INSTALLATION IN PRE-ENG. BLDG. SYSTEM.
- C. EXISTING EXTERIOR MAN DOORS AND FRAMES TO BE PAINTED. PREP DOOR/FRAME TO RECEIVE FINISH.
- D. EXISTING EXTERIOR O.H. DOOR FRAMES TO BE PAINTED. PREP FRAME TO RECEIVE FINISH. REMOVE SPALLING RUSTED AREAS AND REPAIR FRAME PRIOR TO PAINTING. PRIME UNPRIMED SURFACES, V.I.F.

Door/ Opening Key Notes:

1. DOOR AND FRAME GLAZING TO BE 1" INSUL. GLASS. MATCH EXISTING WINDOW GLAZING TINT, V.I.F.
2. PROVIDE FULL SET OF WEATHER STRIPPING.
3. DOOR TO BE PREPARED FOR FUTURE CARD READER ACCESS. SET AND REINFORCE FRAME FOR FUTURE ELEC. STRIKE W/ CONDUIT PATH INSTALLED IN FRAME.
4. PROVIDE OVERSIZED KICK PLATE ON BOTH SIDES OF DOOR.
5. PROVIDE ACTIVE LEAF AND INACTIVE LEAF W/ FLUSH BOLT FLOOR RECEIVER. COORDINATE INSTALLATION IN EXISTING CONC. FLOOR.
6. UNDERCUT DOOR 3/4". COORDINATE W/ THRESHOLD AS OCCURS.
7. PROVIDE GALV. DOOR AND FRAME THIS OPENING. PREP FOR PAINT.
8. DOOR TO BE REPLACED AS PART OF ALT. #2. COORDINATE HARDWARE LOCATION W/ EXISTING DOOR FRAME TO REMAIN.
9. MATCH EXIST. O.H. DOOR WINDOW ELEV./PANEL LOCATION.
10. PRE-DRILL STL FRAME AND HEAD FOR WEATHER STRIP INSTALL.
11. PROVIDE FRAME ANCHORS FOR MASONRY AND STL STRUCTURE CONNECTION TO PRE-ENG. SUBFRAMING.
12. FILL FRAME CAVITY W/ INSUL. AND SEAL AT EXTERIOR METAL PANEL AND INTERIOR STL SUB FRAME.
13. PROVIDE HOLD OPEN ARM ON DOOR CLOSER.
14. EXISTING DOOR AND FRAME TO REMAIN. COORDINATE HARDWARE CHANGE W/ EXISTING DOOR/FRAME CONSTRUCTION.

Room Finish Schedule												
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING FIN.	ROOM FINISH KEY NOTES			
				NORTH	EAST	SOUTH	WEST					
101	FOYER	VCT-	RB-	PNT-	PNT-	PNT-	PNT-	ACT-	1			
102	RECEPTION	CPT-	RB	PNT-	PNT-	PNT-	PNT-	ACT-	1,8			
103	DPS OFFICE	VCT-	RB	PNT-	PNT-	PNT-	PNT-	ACT-	2			
104	CONFERENCE ROOM	VCT-	RB	PNT-	PNT-	PNT-	PNT-	ACT-	2			
105	CORRIDOR	VCT-	RB-	PNT-	PNT-	PNT-	PNT-	ACT-	1,3			
106	UNISEX TOILET	VCT-	RB-	PNT-	PNT-	PNT-	PNT-	ACT-	1,3,4,5			
107	PLAN STORAGE ROOM	VCT-	RB-	PNT-	PNT-	PNT-	PNT-	ACT-	3			
108	LUNCH ROOM	VCT-	RB-	PNT-	PNT-	PNT-	PNT-	ACT-	1,2,3,6,7,8,9			
109	JAN CLST	QT-	RB-	PNT-	PNT-	PNT-	PNT-	ACT-	10			
110	TOILET ROOM	ERT	ETR	ETR	ETR	ETR	ETR	ETR/ALT#3	11			
111	LOCKER ROOM	ERT/OT	ETR/OT	ETR	ETR/PNT	PNT	ETR/PNT	ETR/ALT#3	9, 10, 11			
115	BAY AREA	ETR	NR	NA	NA	NA	-PNT-	ETR	12			
116	SECURE STORAGE	ETR	ETR	NA	PNT-	NA	NA	ETR	12			
117	BAY AREA	ETR	NR	NA	NA	PNT-	NA	ETR	12			
119	BAY AREA	ETR	NR	NA	PNT-	PNT-	NA	ETR	12, 8			
120	BAY AREA	CONC/SEAL	NR	NA	PNT-	PNT-	NA	EXP	13, 14, 8, 15			
121	BAY AREA	CONC/SEAL	NR	PNT	PNT-	NA	NA	EXP	13, 14, 15			
122	BAY AREA	CONC/SEAL	NR	PNT	NA	NA	PNT-	EXP	13, 15, 16			
123	STORAGE	CONC/SEAL	NR	NA	NA	PNT-	PNT-	EXP	13, 15, 16, 17			

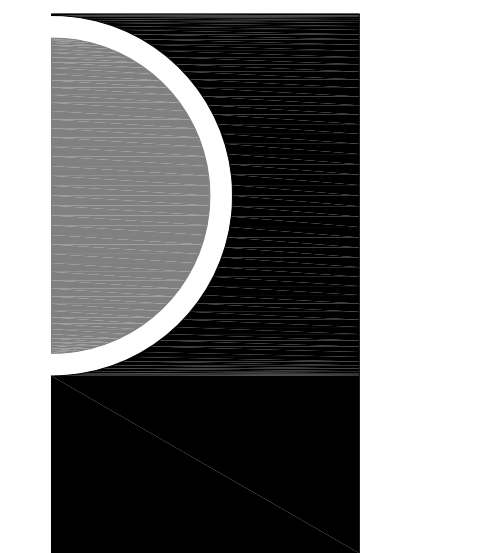
General Notes:

- REPAIR AND REFINISH ITEMS OF EXIST. CONSTRUCTION ALTERED AS PART OF THE DEMOLITION OR NEW CONSTRUCTION INSTALLATION. MATCH EXIST/NEW FINISH OF AREA.
- EXISTING/NEW SERVICE BAY AREAS. STEEL MAIN FRAME AND SUBFRAMING ARE TO REMAIN W/ PRIMED FINISH ONLY U.N.O.
- STEEL SUPPORT FRAMING AT NEW AND EXIST. OVERHEAD AND MAN DOORS IS TO BE PAINTED WITH THE EXTERIOR COLOR SELECTED TO NEAREST INTERIOR EDGE.
- PREP EXIST. CONCRETE FLOOR INCLUDING SHOT BLASTING TO REMOVE GREASE, OIL, DIRT, FINISH MATERIAL ADHESIVES, ETC. FOR INSTALLATION OF NEW FLOOR FINISH.
- NEW EXTERIOR GUARD BOLLARDS TO BE PAINTED SAFETY YELLOW TO MATCH EXISTING BOLLARDS TO REMAIN.
- PREP EXIST. METAL SIDING WALL PANELS, GUTTERS, DOWNSPOUTS. TO RECEIVE NEW PAINTED FINISH, INCLUDING BONDERIZING AGENT RECOMMENDED BY EXIST. PREENG. BLDG. MANUFACTURER, BUTLE BUILDING CO.
- EXISTING PREENG. METAL ROOF PANELS ARE NOT TO BE PAINTED INCLUDING END PROFILE CAP TRIMS, GUTTERS AND CABLE END TRIMS TO BE PAINTED.

Room Finish Key Notes:

1. PROVIDE ADDITIONAL PRIMER COAT ON MASONRY INFILL AREA.
2. PAINT WALL PRIOR TO MARKER OR TACK BOARD INSTALLATION.
3. PROVIDE FLOOR PREP AT CONCRETE FLOOR INFILL AND REPAIR AREAS.
4. PROVIDE MATCHING VCT FLOOR, BASE AND WALL TILE FINISH AT REMOVED FIXTURES. MATCH TILE PATTERN AND COLOR.
5. INFILL FASTENER HOLES IN TILE FINISH W/ MATCHING SEALANT IF 5/16" OR LESS. IF FASTENER HOLE IS GREATER THAN 5/16" REPLACE PENETRATED TILE W/ MATCHING TILE AND GROUT JT.
6. PREP EXIST. FLOOR AT REMOVED QUARRY TILE FINISH TO RECEIVE NEW VCT FINISH. GRIND FLOOR AS RECD.
7. PRIME/PAINT NEW WALL SURFACE PRIOR TO CASEWORK INSTALLATION.
8. PREP. EXIST. DOOR AND FRAME FOR NEW PAINTED FINISH.
9. PRIME AND PAINT NEW GYP BD WALL CONSTRUCTION AT MEZZANINE ABOVE.
10. PATCH, REPAIR AND EXTEND QUARRY TILE FINISH AT REMOVED SHOWER UNIT/PLUMBING FIXTURE.
11. ALTERNATE #3 FOR NEW ACOUSTIC CEILING AND LIGHTING. REMOVE EXISTING CEILING TILE, GRID, LIGHTS AND DIFFUSERS FOR NEW CEILING LIGHTING AND DIFFUSER INSTALLATION.
12. PAINT NEW WALL SURFACE.
13. PAINT NEW MASONRY SILL WALL.
14. PAINT EXPOSED METAL WALL PANEL.
15. PAINT NEW O.H. DOOR JAMBS AND HEAD.
16. PAINT NEW MAN DOOR AND FRAME.
17. PROVIDE PLAM SILL AND PAINT JAMB STEEL AT WINDOW INSTALLATION.

PARTNERS



PARTNERS in Architecture, PLC
 65 MARKET STREET
 MOUNT CLEMENS, MI 48043
 P 586.469.3600
 F 586.469.3607

Statement of Intellectual Property
 The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, PLC, 65 Market Street, Mount Clemens, MI 48043 (P 586.469.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, PLC. This information is protected under U.S. Copyright Law, all rights reserved.
 © Copyright 2013

CONSULTANT

KEY PLAN

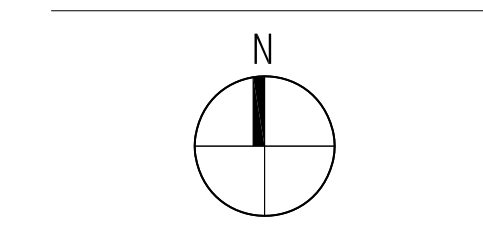
OWNER
 CITY OF
 NEW BALTIMORE

PROJECT NAME
 Department of
 Public Service
 Building Addition

35389 Cricklewood
 New Baltimore, MI 48047

PROJECT NO.
 13-107

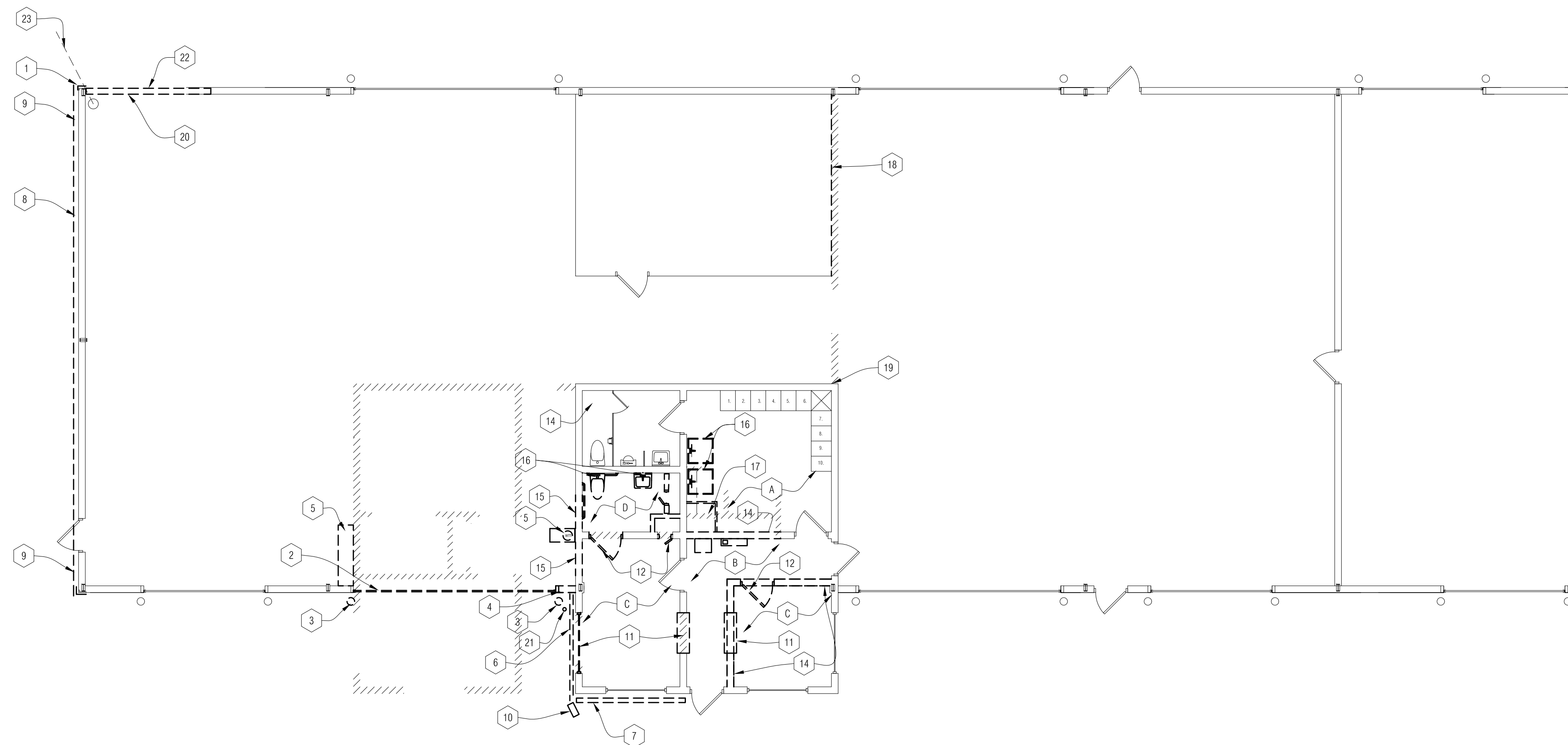
ISSUES / REVISIONS
 OWNER REVIEW 5/8/2013
 BIDS/CONSTRUCTION 5/17/2013



DRAWN BY
 KJB
 CHECKED BY
 APPROVED BY

SHEET NAME
 SCHEDULES, FRAME
 TYPES & WALL TYPES

SHEET NO.
 A0-03



1 Demo Floor Plan
1/8" = 1'-0"

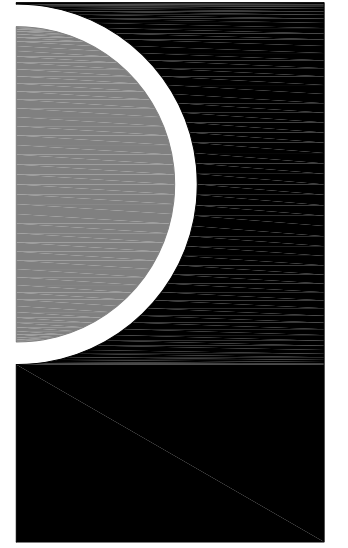
DEMO FLOOR PLAN GENERAL NOTES:

- A. ALL DEMOLITION DRAWINGS AND DEMOLITION DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NEW WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS (AND ARE DESIGNATED WITH DASHED, HIDDEN OR STRUCK THRU LINES). COORDINATE ALL DEMOLITION WORK WITH ALL ARCHITECTURAL, CIVIL, STRUCT., MECH. AND ELEC. DRAWINGS. CONTRACTOR RESPONSIBLE TO REFERENCE ALL DRAWINGS/ SPECIFICATIONS TO CONFIRM EXTENT OF DEMOLITION WORK.
- B. ALL REMOVED ITEMS, WALLS, FLOORS CEILING, OPENINGS, ETC ARE TO BE PATCHED/REPAIRED AND PREPARED TO RECEIVE NEW WORK AND/OR FINISHES.
- C. WALL REMOVAL THAT TERMINATES INTO A WALL OR CEILING TO REMAIN SHALL BE COMPLETELY REMOVED FREE OF PROJECTIONS, READY TO RECEIVE NEW FINISHES.
- D. DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF-SITE. U.O.N.
- E. CONTRACTOR TO COORD. EXIST. CONC. SLAB REMOVAL THAT IS REQUIRED FOR INSTALLATION OF NEW UNDERGROUND PLUMBING AND DEMOLITION CONTRACTOR.
- F. STRUCTURAL ELEMENTS SHALL NOT BE REMOVED OR MODIFIED UNLESS DIRECTED TO DO SO BY CONSTRUCTION DOCUMENTS - SEE STRUCTURAL.
- G. REFER TO REFLECTED CEILING PLAN SHEETS FOR FURTHER DEMOLITION INFORMATION.
- H. REFER TO NEW WORK PLANS FOR ADDITIONAL DIMENSIONS.
- I. EXISTING FLOOR FINISHES ARE CARPET AND VINYL. TILE TO BE REMOVED W/ BASE & MASTIC COMPLETE U.O.N. PREP FLOOR TO RECEIVE NEW FINISH.
- J. EXISTING GARAGE STRUCTURE IS AN EXISTING PRE-ENGINEERED METAL BUILDING BY BUTLER MANUFACTURING. MODIFICATION AND REMOVAL OF STRUCTURAL ELEMENTS AND CLADDING COMPONENTS SHALL MEET THE REQUIREMENTS AND PROCEDURES OF THE ORIGINAL MANUFACTURER.
- K. REFER TO CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

DEMO FLOOR PLAN KEY NOTES:

- 1 EXISTING EXTERIOR MASONRY COLUMN COVERS TO BE REMOVED AT LOWER SILL WALL INCLUDING GROUT AND ANCHORS FOR REPLACEMENT.
- 2 EXISTING OVER HEAD DOOR, TRACK, LIFT MECHANISM, AND OPERATION CONTROLS. TO BE REMOVED COMPLETE INCLUDING METAL PANEL SIDING AND TRIM CLOSURES. TURN DOOR PANELS AND LIFT MOTOR OVER TO OWNER.
- 3 EXISTING STEEL PIPE BOLLARD TO BE REMOVED.
- 4 EXISTING MASONRY SILL WALL AND METAL PANEL SIDING TO BE REMOVED FOR NEW CONSTRUCTION. COORDINATE PANEL REMOVAL HEIGHT WITH NEW WORK PLAN.
- 5 EXISTING WATER METER AND CONC FLOOR REMOVAL FOR RELOCATION OF WATER METER. REFER TO MECHANICAL.
- 6 EXISTING METAL CLAD FASCIA AND OVERHANG W/ SOFFIT TO BE REMOVED INCLUDING ROOF MODIFICATION FOR NEW ADDITION CONSTRUCTION.
- 7 EXISTING GUTTER AND FASCIA TO BE MODIFIED FOR EXTENSION / TRANSITION TO NEW CONSTRUCTION.
- 8 EXISTING METAL PANEL GABLE END TRIM TO BE REMOVED FOR NEW ROOF / METAL PANEL INSTALLATION.
- 9 EXISTING ELECTRICAL FIXTURE TO BE REMOVED AND RELOCATED. REFER TO ELECTRICAL.
- 10 EXISTING SECURITY CAMERA TO BE REMOVED AND REINSTALLED. COORDINATE WITH ELECTRICAL.
- 11 EXIST WINDOW, EXTERIOR STONE SILL AND INTERIOR SILL TO BE REMOVED FOR NEW CONSTRUCTION. INCLUDING APPLIED WOOD JAMB AND TRIM.
- 12 EXISTING DOOR AND FRAME TO BE REMOVED COMPLETE INCLUDING TOOTHED MASONRY FOR INFILL MATCHING EXISTING MASONRY CURSING.
- 13 EXISTING EWC TO BE REMOVED AND TURNED OVER TO OWNER.
- 14 EXISTING BLOCK MASONRY WALL CONSTRUCTION TO BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE.
- 15 EXISTING MASONRY TO BE REMOVED FOR NEW DOOR OPENING, INCLUDING AREA FOR PRECAST LINTEL INSTALLATION.
- 16 EXISTING PLUMBING FIXTURES AND PIPING TO BE REMOVED. REFER TO MECHANICAL.
- 17 EXISTING PREFAB SHOWER UNIT TO BE REMOVED COMPLETE INCLUDING QUARRY TILE, BASE.
- 18 EXISTING CHAIN LINK FENCE WITH POST AND CONNECTION BRACKETS TO BE REMOVED COMPLETE.
- 19 EXISTING PLYWOOD FRAMING CLOSURE AT EXISTING DECK FRAMING TO BE REMOVED, MODIFIED AND REINSTALLED FOR NEW MASONRY WALL CONSTRUCTION.
- 20 EXISTING 4'-0" HIGH MASONRY BLOCK SILL WALL TO BE REMOVED TO FLOOR LINE FOR WALL REPAIR. REFER TO NEW WORK PLAN. REMOVE EXISTING METAL PANEL CONNECTION ANGLE AND INSULATED VAPOR RETARDER AS REQUIRED TO COMPLETE REPAIRS.
- 21 EXISTING ANTENNA TO BE REMOVED AND RELOCATED. COORDINATE DISCONNECTION AND REINSTALLATION REQUIREMENTS WITH OWNER.
- 22 PROVIDE TEMPORARY SUPPORT FOR ELEC. CONDUIT AT MASONRY REPAIR. REMOVE AND REINSTALL AS REQD.
- 23 EXIST. UNDERGROUND ELEC. FEED TO OUT BUILDING TO REMAIN. PROTECT DURING DEMOLITION AND COVER.

PARTNERS



PARTNERS in Architecture, PLC

65 MARKET STREET
MOUNT CLEMENS, MI 48043
P 586.469.3600
F 586.469.3607

Statement of Intellectual Property

The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, P.L.C. 65 Market Street, Mount Clemens, MI 48043 (P 586.469.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, P.L.C. This information is protected under U.S. Copyright Law, all rights reserved.

© Copyright 2013

CONSULTANT

KEY PLAN

OWNER

CITY OF
NEW BALTIMORE

PROJECT NAME

Department of
Public Service
Building Addition

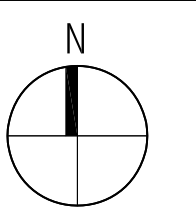
35389 Cricklewood
New Baltimore, MI 48047

PROJECT NO.

13-107

ISSUES / REVISIONS

OWNER REVIEW	5/8/2013
BIDS/CONSTRUCTION	5/17/2013



DRAWN BY

KJB

CHECKED BY

APPROVED BY

SHEET NAME

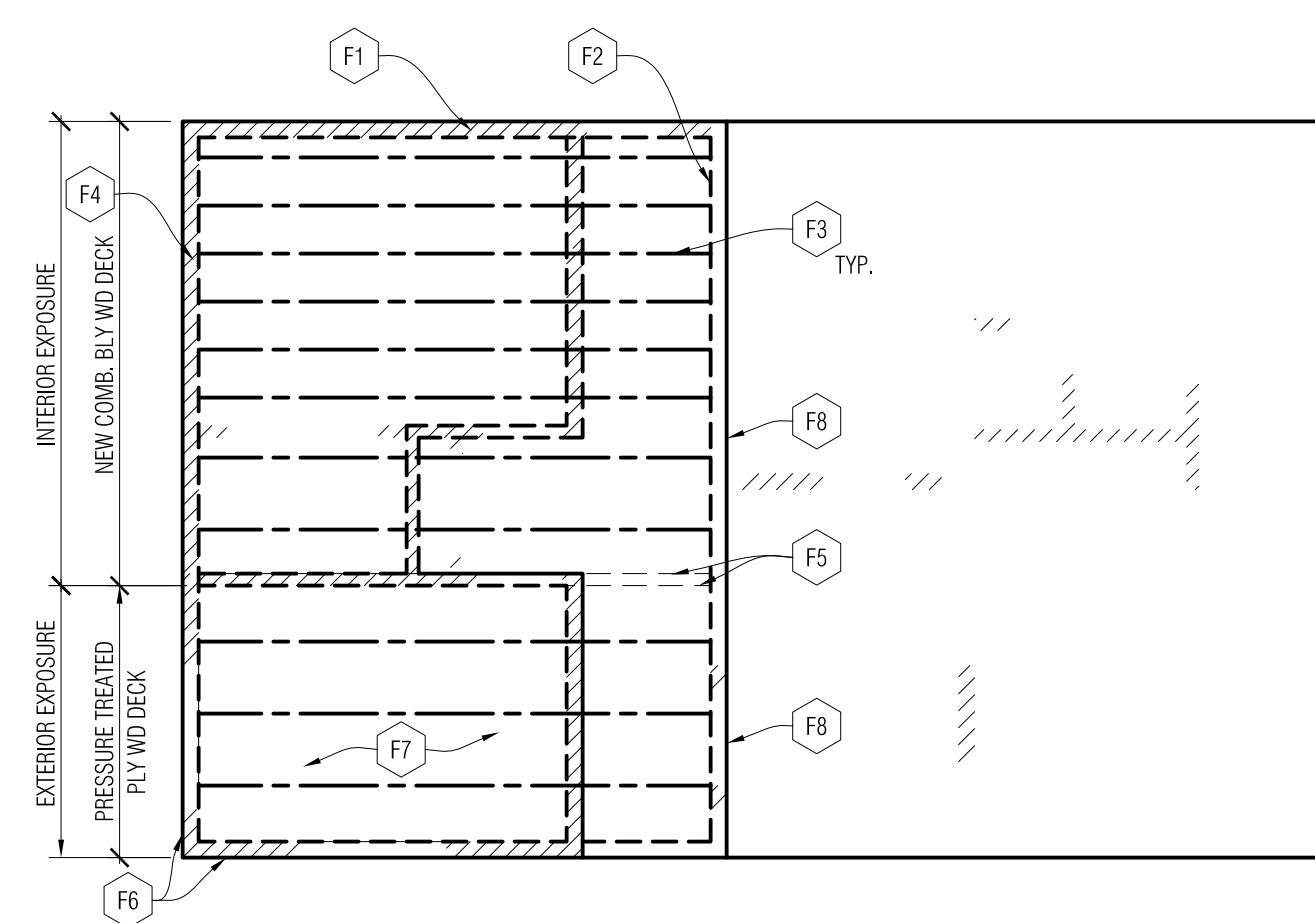
DEMO FLOOR
PLAN

SHEET NO.

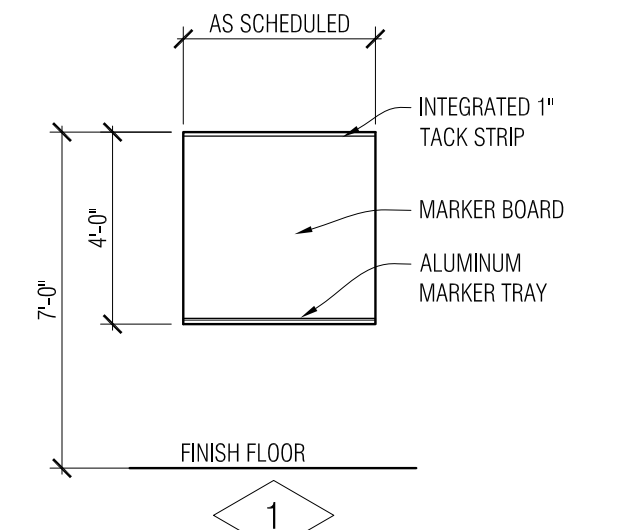
A1-01

FRAMING PLAN KEY NOTES:

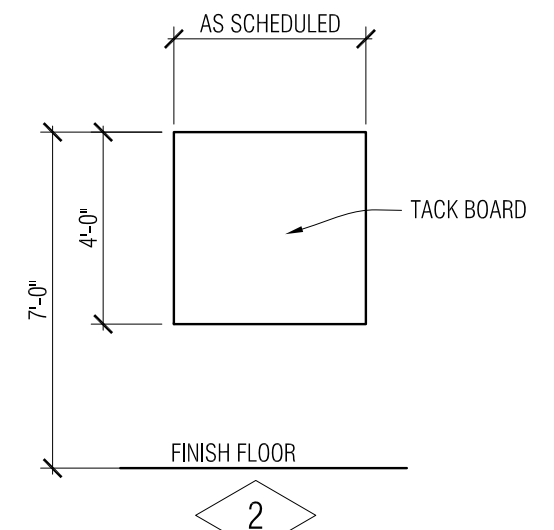
- F1 LINE OF NEW MASONRY BEARING WALLS BELOW. PROVIDE NON-COMBUSTIBLE, WD NAILER SET AND LEVELED TO MATCH EXISTING DECK ELEVATION.
- F2 LINE OF NEW STEEL RIM JOIST AND ANCHORS TO EXISTING OFFICE WALL CONSTRUCTION AND BLOCK. REFER TO DETAIL 2 ON A3-01.
- F3 LINE OF 10" STEEL JOIST INSTALLATION AT 16" O.C. REFER TO STRUCTURAL.
- F4 PERIMETER 10" STEEL JOIST W/ GYP BD. COVER. MATCH DEPTH AND DIMENSION OF EXISTING PLYWOOD FRAMING COVER.
- F5 LINE OF PRESSURE TREATED WOOD CURB CONSTRUCTION ABOVE DECK AT TRANSITION TO EXTERIOR DECK. REFER TO DETAIL 3 ON A6-01.
- F6 PROVIDE NON COMBUSTIBLE 2 X 10 INFILL BLOCKING AT EXTERIOR PERIMETER JOIST FRAMING.
- F7 PROVIDE ISOLATION MEMBRANE BETWEEN TREATED PLYWOOD DECK AND STEEL JOIST FRAMING.
- F8 MATCH EXISTING DECK ELEVATION.



2 Framing Plan
1/8" = 1'-0"

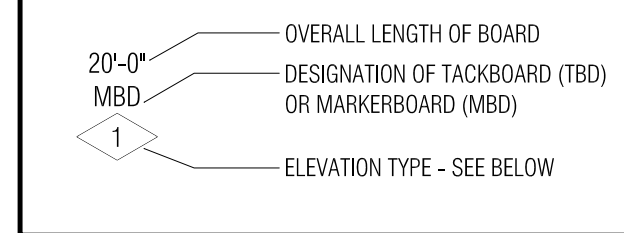


3 Marker Board Elevation
1/4" = 1'-0"



4 Tack Board Elevation
1/4" = 1'-0"

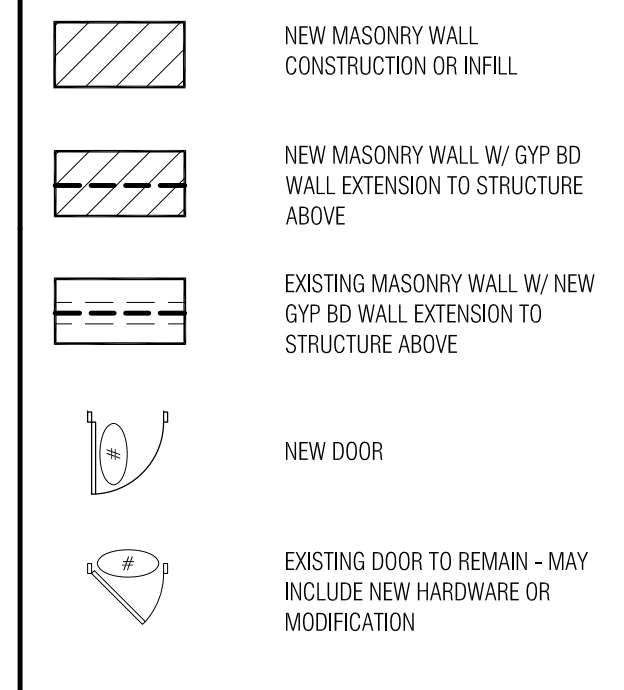
Markerboard / Tackboard Legend:



Markerboard / Tackboard Types:

- 1 48" TALL WITH INTEGRATED 1" TACK STRIP AT TOP OF UNIT - REFER TO SPECIFICATIONS FOR COMPLETE REQUIREMENTS
- 2 48" TALL TACKBOARD

Floor Plan Legend:

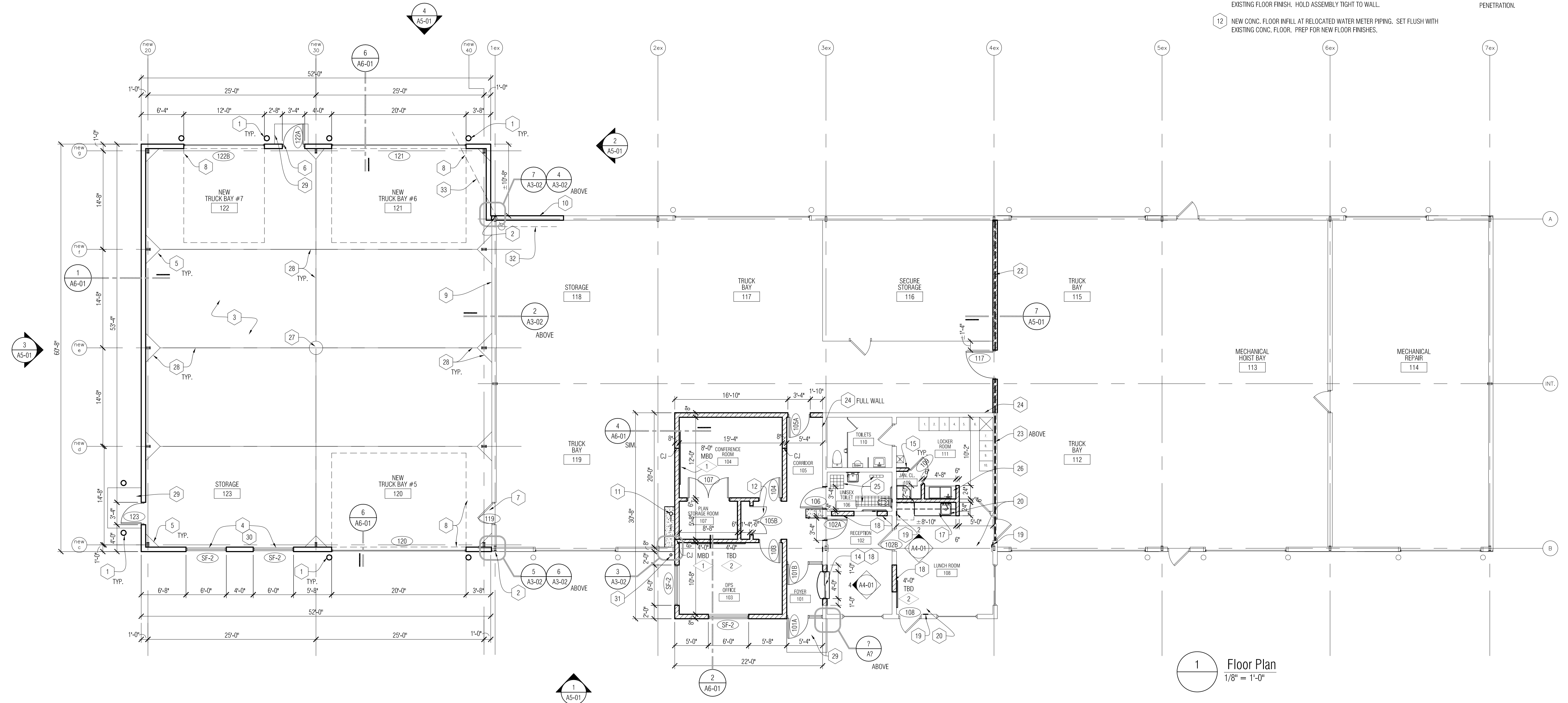


FLOOR PLAN GENERAL NOTES:

- A. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL - WALL THICKNESSES ARE SHOWN NOMINAL.
- B. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- C. EXISTING MASONRY WALL INTERSECTIONS WHICH ARE LEFT EXPOSED AFTER DEMOLITION OF ADJACENT MASONRY CONSTRUCTION MUST BE PATCHED AND REPAIRED WITH NEW MASONRY OR EXISTING BRICK VENEER, TOOTH-IN TO MATCH EXISTING COURSING AND BOND PATTERN, TYPICAL AT ALL LOCATIONS.
- D. ALL NEW WALLS TO EXTEND TO UNDERSIDE OF STRUCTURE U.O.N. - REFER TO WALL SECTIONS ON DRAWING A6-01 FOR CONSTRUCTION METHODS.
- E. REFER TO GENERAL PROJECT INFORMATION FOR ABBREVIATIONS AND OTHER SYMBOL DEFINITIONS.
- F. FIELD VERIFY ALL EXISTING OPENINGS TO RECEIVE NEW WORK PRIOR TO FABRICATION OF ANY FRAME TYPES - NOTIFY ARCHITECT OF ANY DISCREPANCIES.

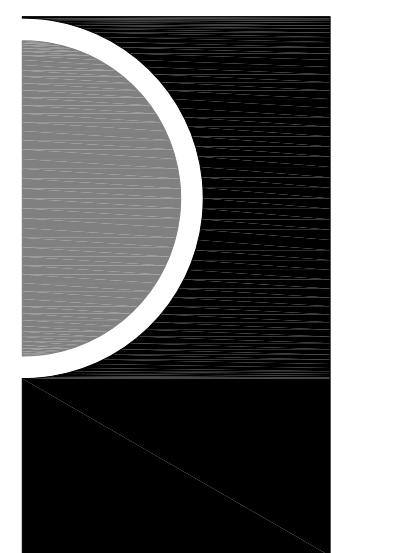
FLOOR PLAN KEY NOTES:

- 1 NEW STEEL PIPE BOLLARDS W/ PVC COVERS. REFER TO DETAIL 5 ON A6-01.
- 2 STEEL COL. COVER TO BE REMOVED AND REPLACED AT LOW MASONRY SILL WALL.
- 3 NEW 6" REINF. CONC. FLOOR SLOPE TO DRAIN.
- 4 ALUM. GLAZED STOREFRONT WINDOW OPENINGS. PROVIDE ADDITIONAL STEEL SUB GIRT FRAMING TO SUPPORT WINDOW FRAMING.
- 5 STEEL MAIN FRAME STRUCT. AND END WALL POSTS (TYP). PROVIDE SLAB ISOLATION JOINTS 2'-0" FROM COLUMN & AS INDICATED.
- 6 NEW HM DOOR AND FRAME. PROVIDE ADDITIONAL STEEL BUILDING SUB FRAMING TO SUPPORT DOOR FRAME.
- 7 EXIST. HM DOOR AND FRAME TO BE PAINTED. PROVIDE HARDWARE MODIFICATIONS. REFER TO DOOR SCHEDULE.
- 8 LINE OF OVERHEAD DOOR IN FULL OPEN POSITION. COORD. W/ LIGHTING AND MECHANICAL INSTALLATIONS. PROVIDE ADDITIONAL STEEL GIRT SUB FRAMING FOR MOUNTING OF COUNTER BALANCE SPRING AND AXLE ASSEMBLY. COORD. WITH OVERHEAD DOOR MFR.
- 9 EXIST. METAL WALL PANEL ABOVE LOWER BLOCK MASONRY SILL WALL. PREP AND PRIME TO RECEIVE NEW PAINTED WALL FINISH FULL HEIGHT.
- 10 EXIST. 4'-0" HEIGHT MASONRY SILL WALL TO BE REMOVED AND REBUILT. TOOTH INTO EXIST. MASONRY SILL WALL TO REMAIN. PAINT INTERIOR AND EXTERIOR TO MATCH EXIST. / NEW FINISHES.
- 11 NEW WATER METER AND BACKFLOW PREVENTER LOCATION. REFER TO MECHANICAL. PATCH IN CONC. FLOOR CONSTRUCTION AND SEAL TO MATCH EXISTING FLOOR FINISH. HOLD ASSEMBLY TIGHT TO WALL.
- 12 NEW CONC. FLOOR INFILL AT RELOCATED WATER METER PIPING. SET FLUSH WITH EXISTING CONC. FLOOR. PREP FOR NEW FLOOR FINISHES.
- 13 MASONRY INFILL AT REMOVED O.H. DOOR.
- 14 NEW PLASTIC LAM. COUNTER WITH SLIDING SERVICE WINDOW. REFER TO SPECIFICATION FOR WINDOW.
- 15 MODIFY EXISTING QUARRY TILE FLOOR FINISH FOR NEW WALL CONSTRUCTION. INSTALL NEW MATCHING O.T. BASE ON NEW WALL CONSTRUCTION.
- 16 NEW PREFABRICATED COUNTER AND SERVICE SINK. WALL HUNG FIXT.
- 17 UPPER AND LOWER COUNTER AND CABINETS.
- 18 MATCHING MASONRY INFILL AT DEMOLISHED OPENING. REFER TO DEMO PLAN. TOOTH-IN NEW MASONRY.
- 19 PATCH IN MASONRY AT REMOVED MASONRY WALL. REFER TO DEMO. PLAN. MATCH EXISTING COURSING.
- 20 PROVIDE ADDITIONAL FLOOR PREP. FILL / GRIND AT REMOVED WALL FOR NEW FLOOR FINISH INSTALLATION.
- 21 PROVIDE NEW CHAIN LINK FENCE POST AND CONNECTION BRACKET TO NEW MASONRY WALL CONSTR.
- 22 NEW 8" MASONRY WALL 10'-0" HEIGHT. ALIGN W/ OFFICE MASONRY WALL/HEIGHT. REFER TO SECTION 7 ON A6-01. PROVIDE WELDED ANCHORS AT EXISTING STEEL STRUCTURE.
- 23 NEW GYP BD CLOSURE WALL TO UNDERSIDE OF EXIST. STL FRAME.
- 24 REMOVE, MODIFY AND REINSTALL EXIST. PLY WD CLOSURE AT OFFICE DECK FRAMING FOR INSTALLATION OF NEW WALL LINE.
- 25 PATCH CERAMIC TILE FLOOR/WALL FINISH AT REMOVED TOILET FIXTURE AND UNDER FLOOR PIPING MODIFICATIONS. MATCH EXIST. TILE COLOR AND PATTERN.
- 26 NEW PREFABRICATED SINK AND COUNTER TOP. COORDINATE WALL DIM. AND SINK UNIT. PROVIDE MATCHING BACKSPASH MATERIAL ON ADJACENT WALL SURFACES AND SEAL. COORD. W/ MECH.
- 27 NEW C.B. FLOOR DRAIN - REFER TO MECHANICAL. PROVIDE EXP. JT. AT FLOOR W/ SEALANT JT.
- 28 CONC. FLOOR CONTROL JT. FORM AND SEAL JT. TYP.
- 29 LINE OF CONC. SUPPORTED SLABS AT MAN DOOR. REFER TO STRUCT.
- 30 NEW EXTERIOR STONE SILL TO MATCH EXISTING. PROVIDE SOLID BULLNOSE CONC. BLOCK SILL AT INTERIOR.
- 31 REINSTALLED ANTENNA UNIT. PROVIDE STAND-OFF BRACKETS FOR MOUNTING ON BUILDING.
- 32 RESECURE/REINSTALL EXIST. ELEC. SERVICE CONDUIT TO OUT BUILDING AT NEW WALL REPAIR.
- 33 EXIST. UNDERGROUND ELEC. SERVICE FLEED TO TOUT BUILDING. PROTECT DURING NEW CONSTRUCTION. PROVIDE ISOLATION SHEET AT NEW FOUNDATION PENETRATION.



1 Floor Plan
1/8" = 1'-0"

PARTNERS



PARTNERS in Architecture, PLC

65 MARKET STREET
MOUNT CLEMENS, MI 48043
P 586.463.3600
F 586.463.3607

Statement of Intellectual Property
The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, P.L.C. 65 Market Street, Mount Clemens, MI 48043 (P 586.463.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, P.L.C. This information is protected under U.S. Copyright Law, all rights reserved.

© Copyright 2013

CONSULTANT

KEY PLAN

OWNER

CITY OF
NEW BALTIMORE

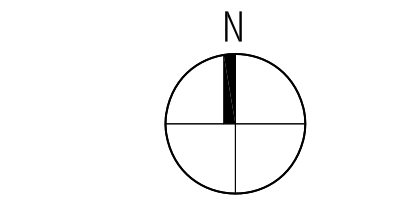
PROJECT NAME
Department of
Public Service
Building Addition

35389 Cricklewood
New Baltimore, MI 48047

PROJECT NO.

13-107

ISSUES / REVISIONS
OWNER REVIEW 5/8/2013
BIDS/CONSTRUCTION 5/17/2013



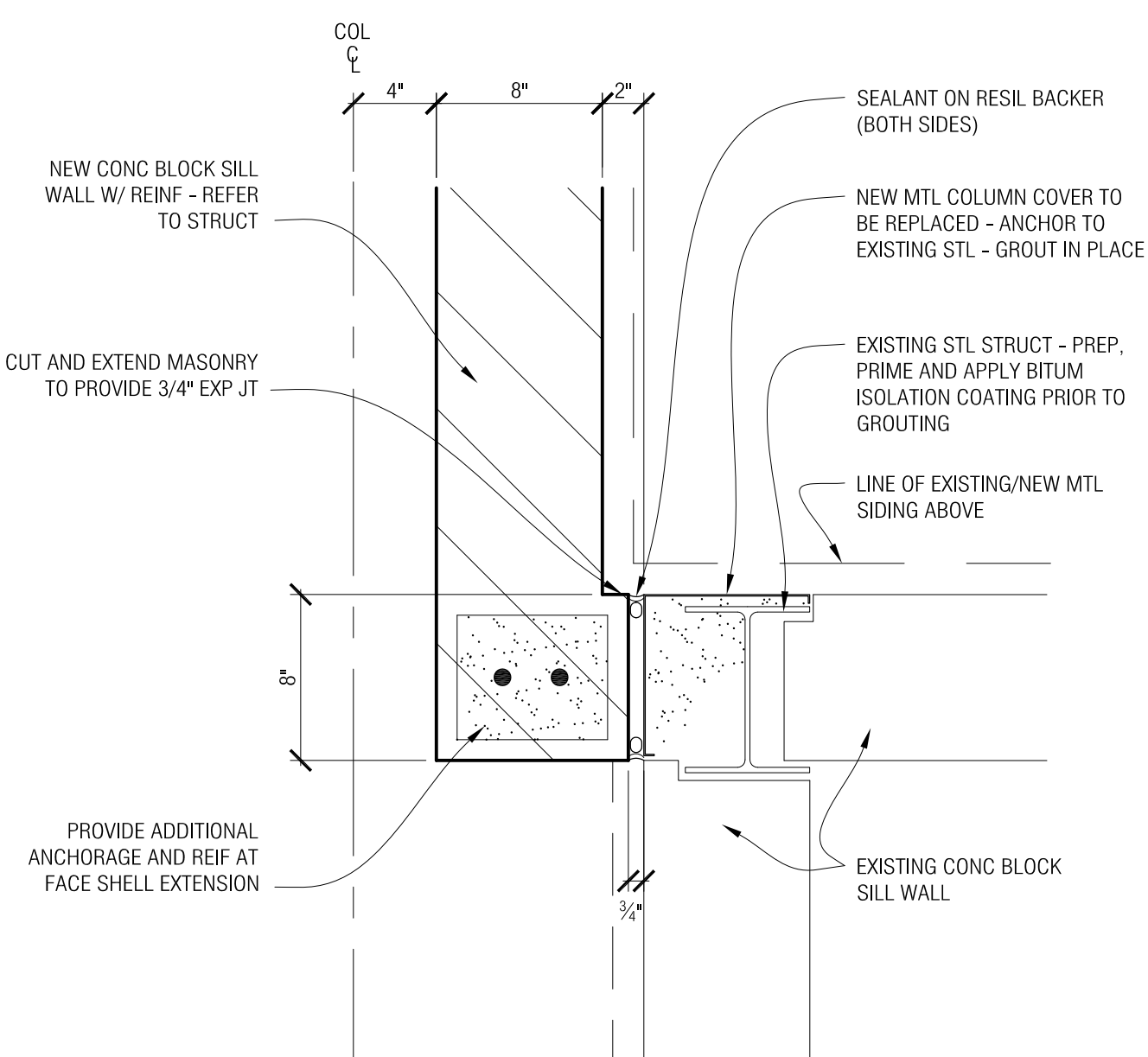
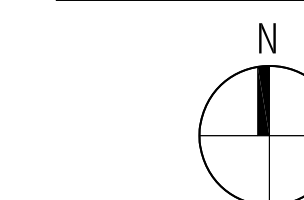
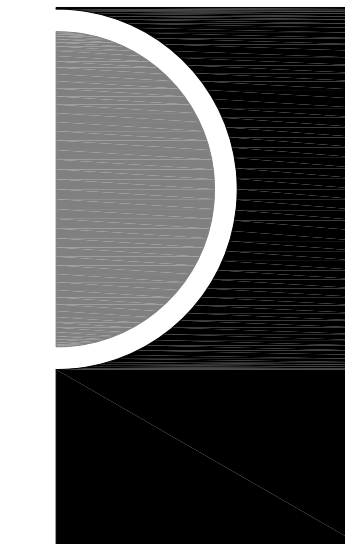
DRAWN BY
KJB

CHECKED BY

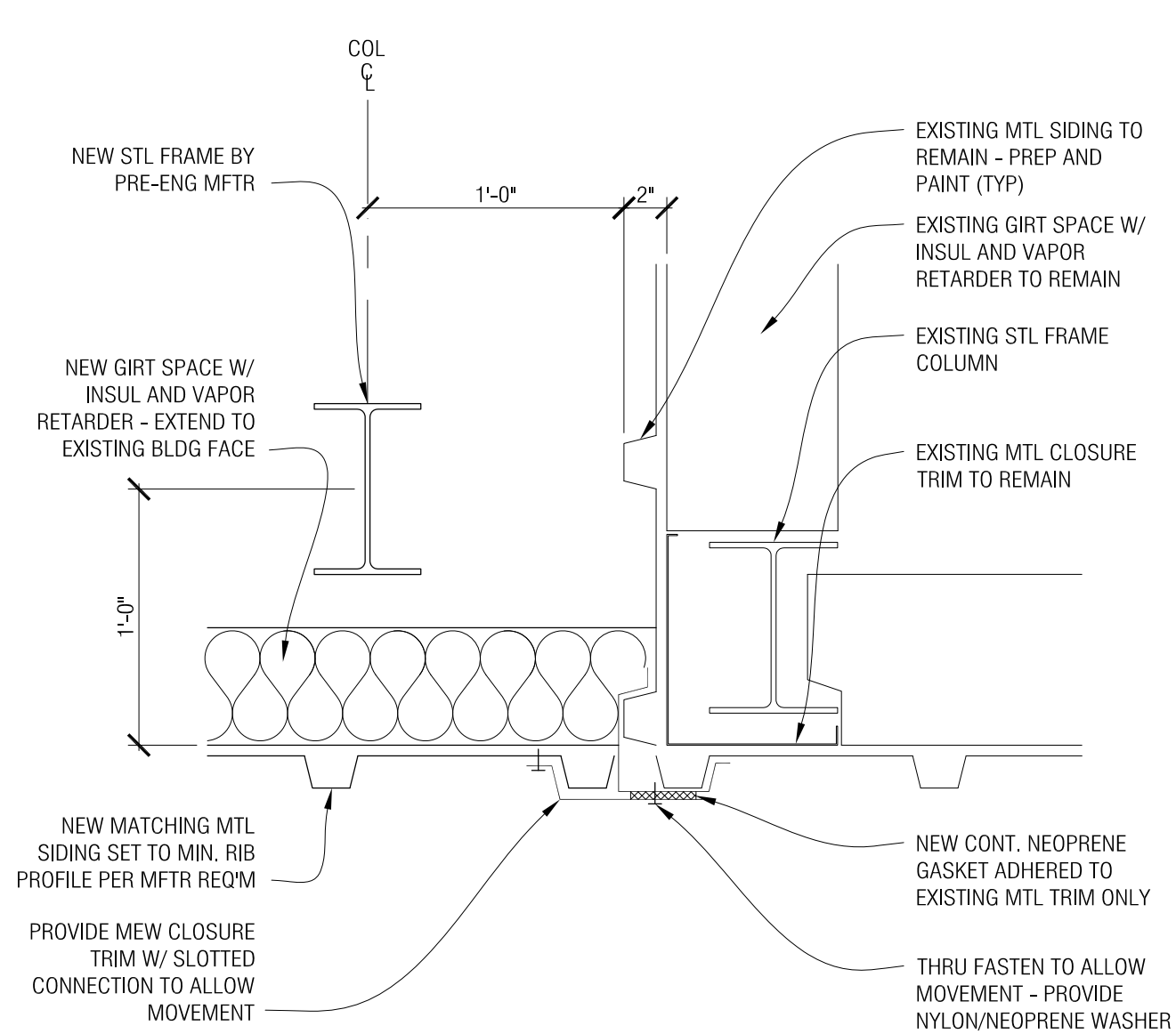
APPROVED BY

SHEET NAME
FLOOR PLAN

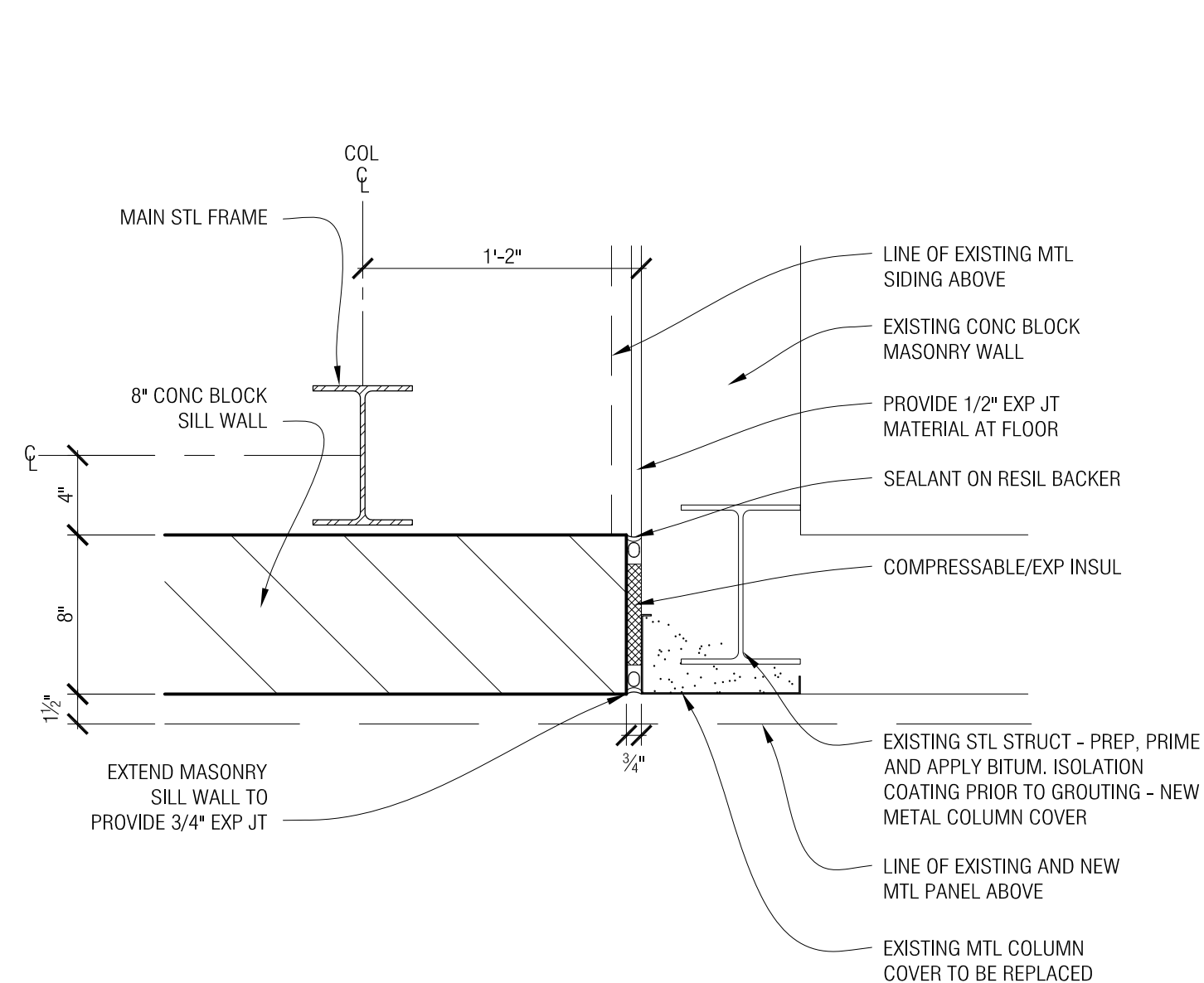
SHEET NO.
A3-01



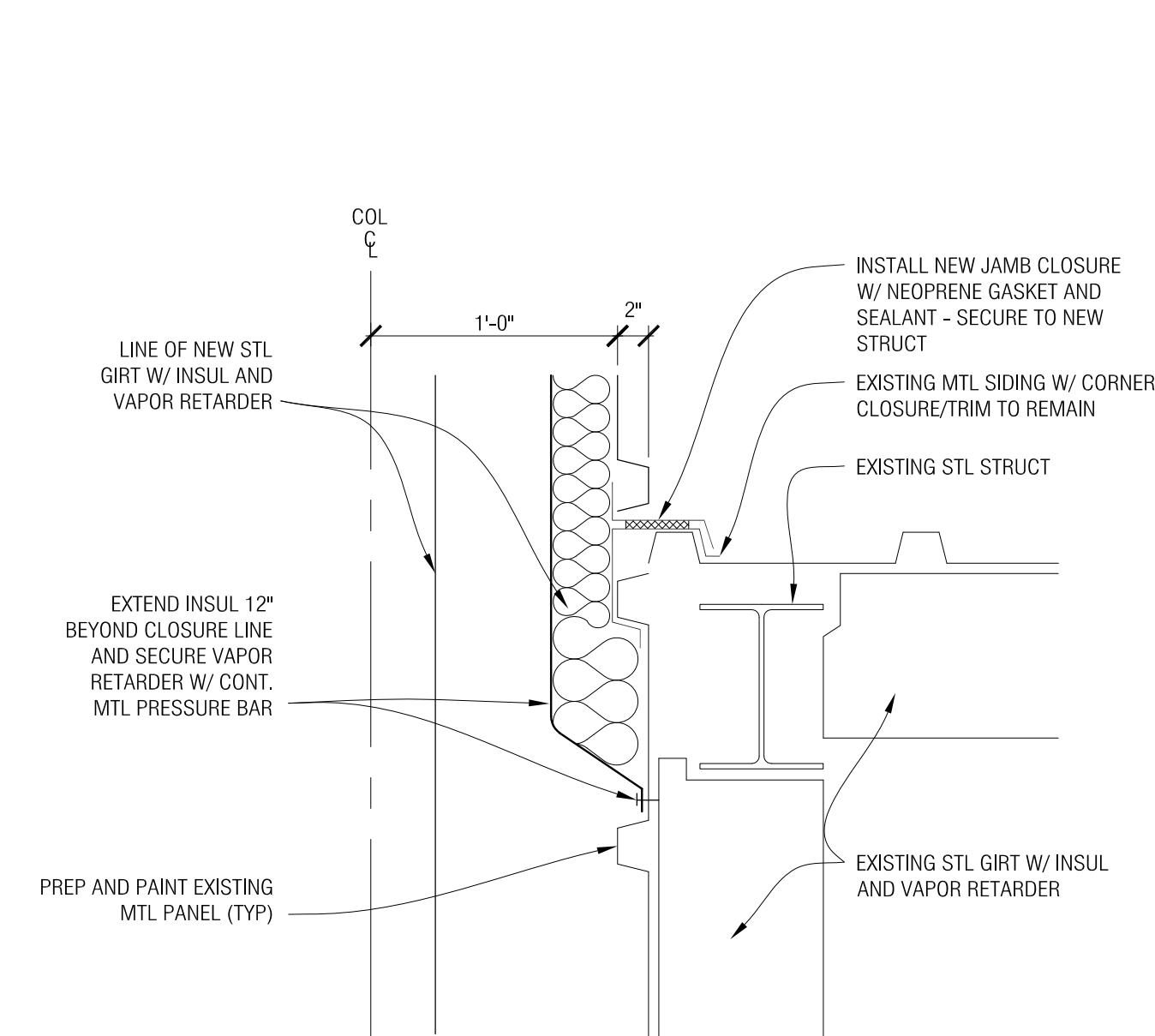
7 Plan Detail
 A3-01 1 1/2" = 1'-0"



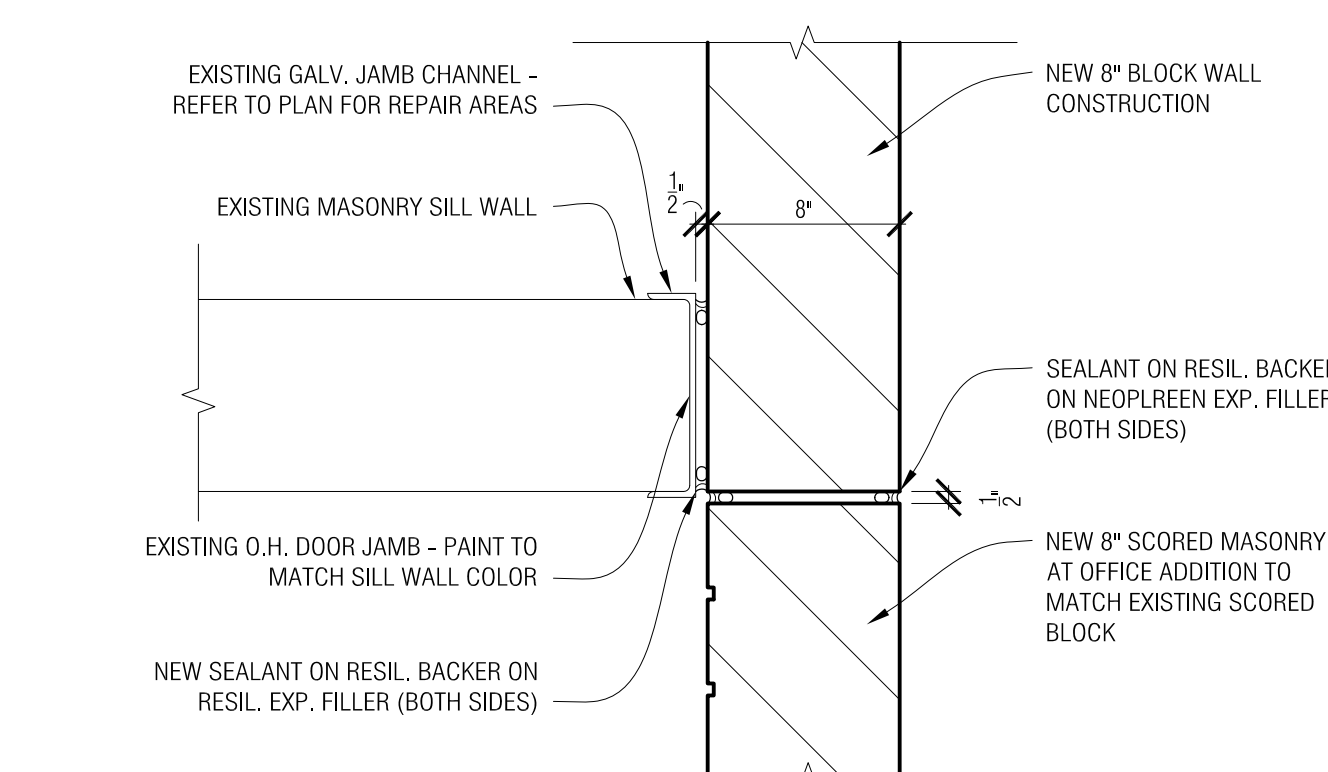
6 Plan Detail
 A3-01 1 1/2" = 1'-0"



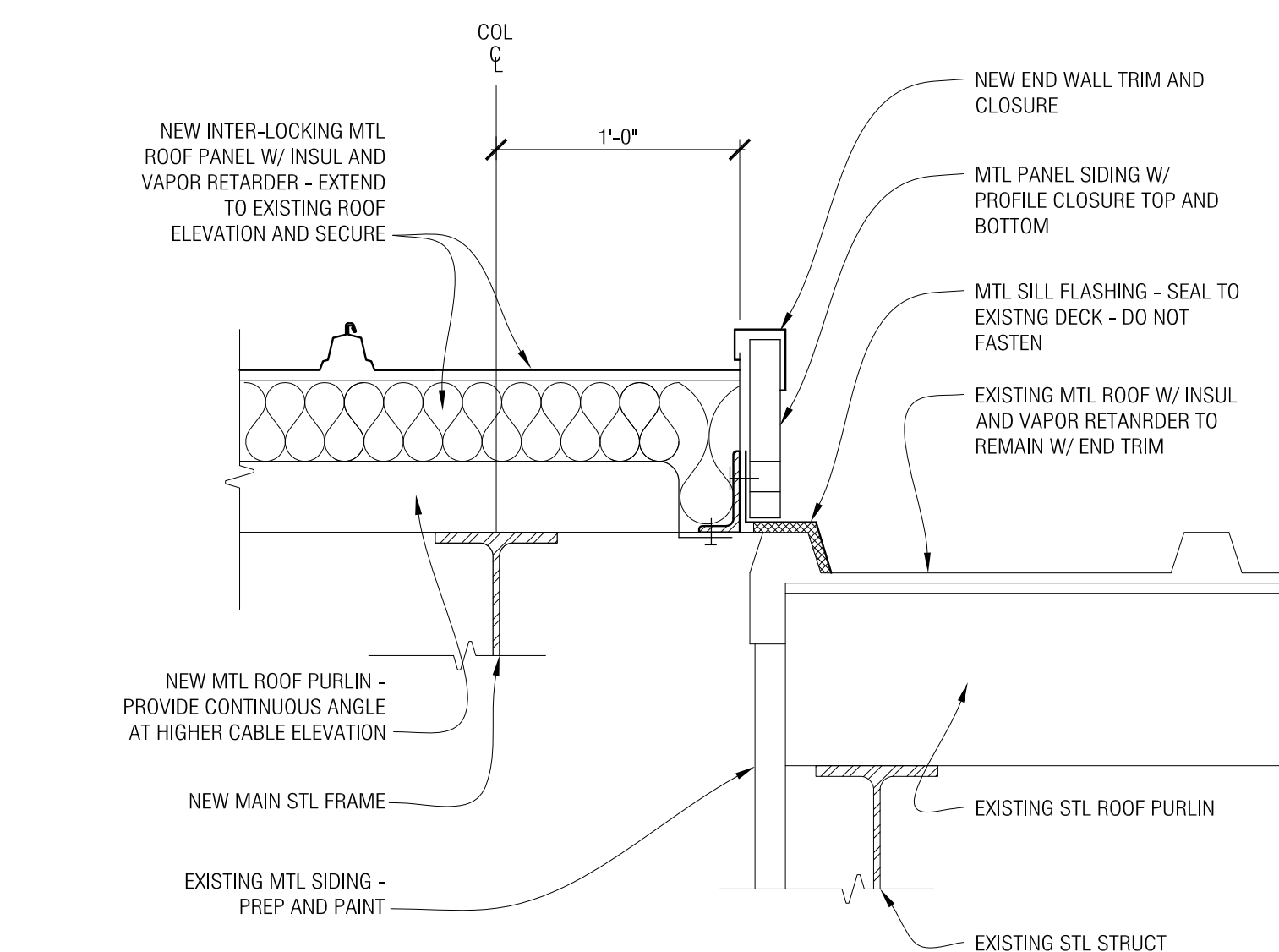
5 Plan Detail
 A3-01 1 1/2" = 1'-0"



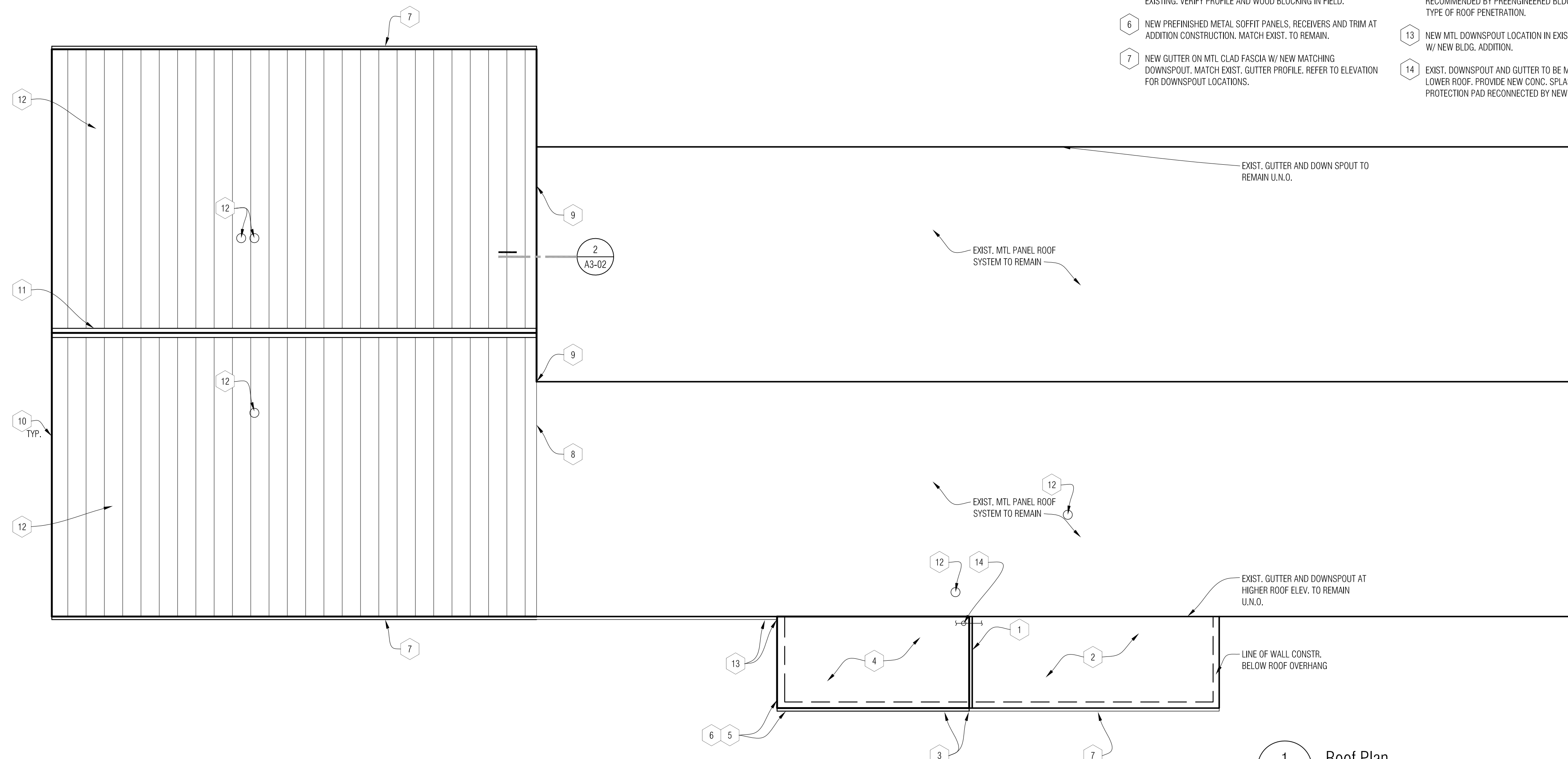
4 Plan Detail
 A3-01 1 1/2" = 1'-0"



3 Plan Detail
 A3-01 1 1/2" = 1'-0"



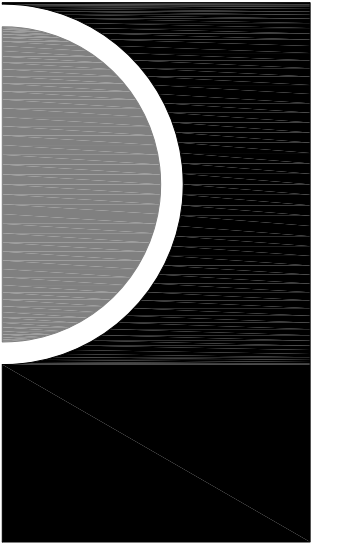
2 Roof Section Detail
 A3-02 1 1/2" = 1'-0"



1 Roof Plan
 1/8" = 1'-0"

ROOF PLAN KEY NOTES:

- 1 NEW MODIFIED BITUMINOUS ROOF, TIE-IN TO EXIST. MODIFIED BITUMINOUS ROOF MEMBRANE.
- 2 EXIST. MODIFIED BITUMINOUS ROOF MEMBRANE ON RIGID INSUL. ON W/D ROOF DECK TO REMAIN W/ MODIFICATION FOR NEW ADDITION CONSTRUCTION.
- 3 NEW GUTTER AND DOWNSPOUT W/ CONC. SPLASH BLOCK DISCHARGE IN LANDSCAPE AREA.
- 4 NEW MODIFIED BITUMINOUS ROOF W/ ALUMINIZED COATING ON RIGID INSUL. ON BASE SHEET ON NEW PLY W/D DECK. MECHANICALLY FASTEN. MATCH EXISTING ROOF ELEVATION AND SCOPE.
- 5 NEW MATCHING MTL CLAD FASCIA AND TRIM BOARD TO MATCH EXISTING. VERIFY PROFILE AND WOOD BLOCKING IN FIELD.
- 6 NEW PREFINISHED METAL SOFFIT PANELS, RECEIVERS AND TRIM AT ADDITION CONSTRUCTION. MATCH EXIST. TO REMAIN.
- 7 NEW GUTTER ON MTL CLAD FASCIA W/ NEW MATCHING DOWNSPOUT. MATCH EXIST. GUTTER PROFILE. REFER TO ELEVATION FOR DOWNSPOUT LOCATIONS.
- 8 NEW MTL EXPANSION SPLICE PLATE CONNECTION FROM NEW TO EXISTING MTL PANEL ROOF SYSTEM.
- 9 NEW ROOF EDGE TRIM AND WALL SIDING AT HIGHER ROOF ELEV. PROVIDE PANEL CLOSURE AND MEMBRANE FLASHING PER PREENGINEERED BLDG. PLATE CONNECTOR.
- 10 NEW GABLE END ROOF TRIM AND CLOSURE PER PREENG. BLDG. MANUFACTURER. PROVIDE PROFILE CLOSURE AT MTL WALL PANEL.
- 11 NEW METAL PANEL RIDGE FLASHING/PLATE CONNECTOR.
- 12 NEW MECH. EXHAUST FLUE, AIR INTAKE DUCT, REFER TO MECH. COORD. ROOF PENETRATIONS W/ ROOF PANEL, RIBS AND FRAMING. PROVIDE ADDITIONAL SUBFRAMING TO SUPPORT PENETRATION. INCLUDE MTL FLASHING TRIM AND WATER PROOF MEMBRANE AS RECOMMENDED BY PREENGINEERED BLDG MANUFACTURER FOR TYPE OF ROOF PENETRATION.
- 13 NEW MTL DOWNSPOUT LOCATION IN EXIST. MTL GUTTER TO COORD. W/ NEW BLDG. ADDITION.
- 14 EXIST. DOWNSPOUT AND GUTTER TO BE MODIFIED TO SPILL ON NEW LOWER ROOF. PROVIDE NEW CONC. SPLASH BLOCK AND ROOF PROTECTION PAD RECONNECTED BY NEW ROOF MANUFACTURER.



REFLECTED CEILING PLAN GENERAL NOTES:

- A. REFER TO FLOOR PLANS FOR ROOM NAMES, NUMBERS AND ROOM DIMENSIONS
- B. REFER TO ELECTRICAL FOR LIGHT FIXTURE TYPES AND SPECIFICATIONS
- C. REFER TO MECHANICAL FOR DIFFUSERS, REGISTERS, AND RETURNS
- D. ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN CEILING TILE AND GYP SOFFIT U.O.N.
- E. CEILING GRID IS TO BE TYPICALLY CENTERED IN ROOM U.O.N.
- F. ACOUSTIC CEILING INSTALLATION IS TO MATCH REMOVED CEILING ELEVATION U.O.N.

REFLECTED CEILING PLAN KEY NOTES:

- 1 MODIFY EXISTING CEILING GRID AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 2 EXISTING CEILING GRID TO REMAIN.
- 3 MECHANICAL EQUIPMENT - REFER TO MECH.
- 4 MOTOR FOR OVERHEAD DOORS - REFER TO ELEC.
- 5 LINE OF O.H. DOOR TRACK. FOLLOW SLOPE OF ROOF FRAMING. PROVIDE ADDITIONAL BRACKETS FOR MOUNTING TO STEEL ROOF PURLINS.
- 6 CENTER LINE OF NEW MAIN STL. FRAME. PROVIDE/COORD. INSUL. AND VAPOR RETARDER INSTALLATION AT STL. COL. AND FRAME.
- 7 COORD. NEW CEILING GRID HANGERS AND EXIST. MECH. DUCT RELOCATIONS W/ EXIST. WOOD FRAME DECK.
- 8 RELOCATE EXIST. MECH. AIR SUPPLY AND RETURN REGISTERS INTO NEW CEILING GRID. COORD. W/ MECH.

Ceiling Symbols Legend	
	5/8" GYP BD ON 3 5/8" METAL STUD CONSTRUCTION AT 16" O.C. SECURE TO STRUCTURE ABOVE AT 48" O.C. MAX EACH WAY
	2' X 4' LAY-IN FLUORESCENT FIXTURE IN GRID
	2' X 4' PENDANT FIXTURE
	1' X 4' PENDANT FIXTURE
	EXIT LIGHTS - CEILING & WALL MOUNTED
	EMERGENCY LIGHTS - WALL MOUNTED

KEY PLAN

OWNER

CITY OF
 NEW BALTIMORE

PROJECT NAME

Department of
 Public Service
 Building Addition

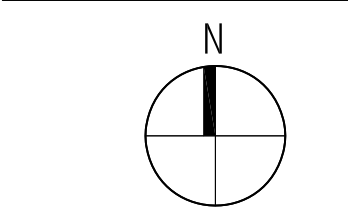
35389 Cricklewood
 New Baltimore, MI 48047

PROJECT NO.

13-107

ISSUES / REVISIONS

OWNER REVIEW 5/8/2013
 BIDS/CONSTRUCTION 5/17/2013



DRAWN BY

KJB

CHECKED BY

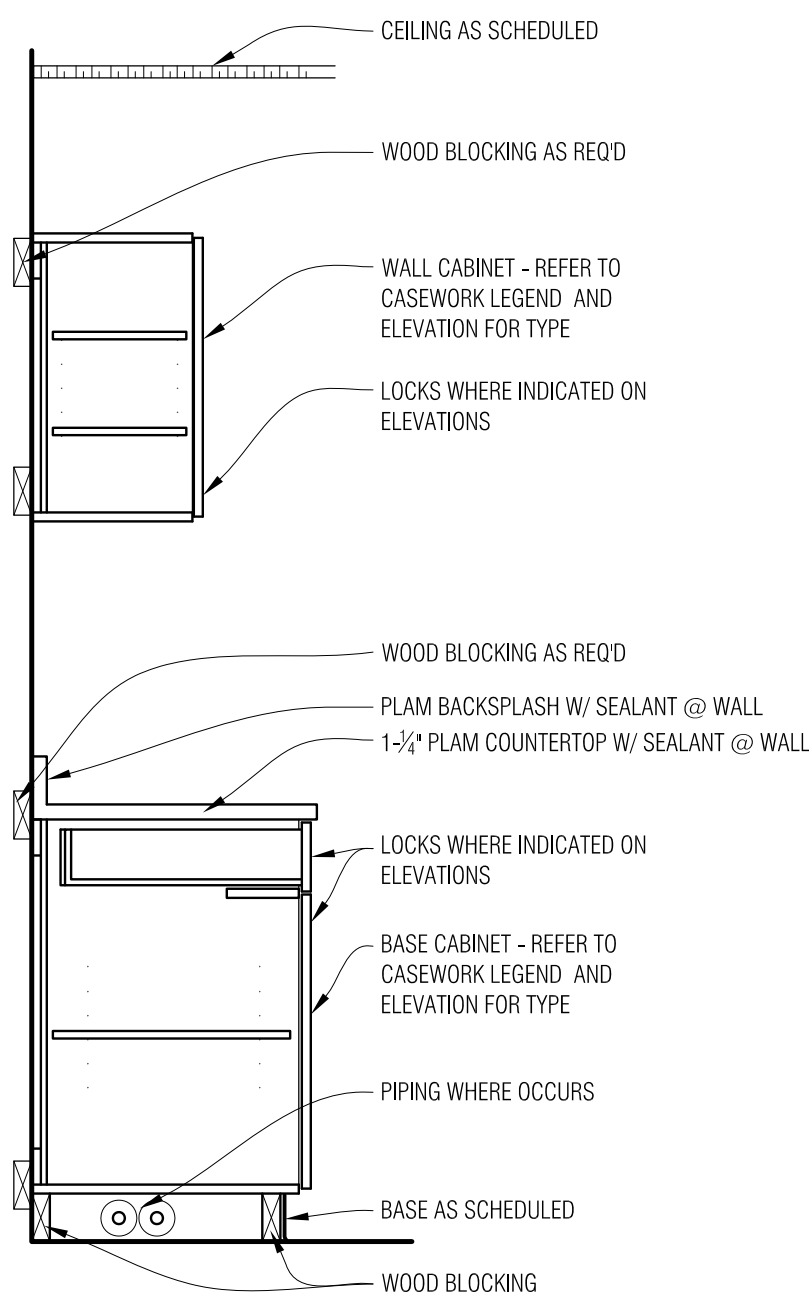
APPROVED BY

SHEET NAME

REFLECTED
 CEILING PLAN

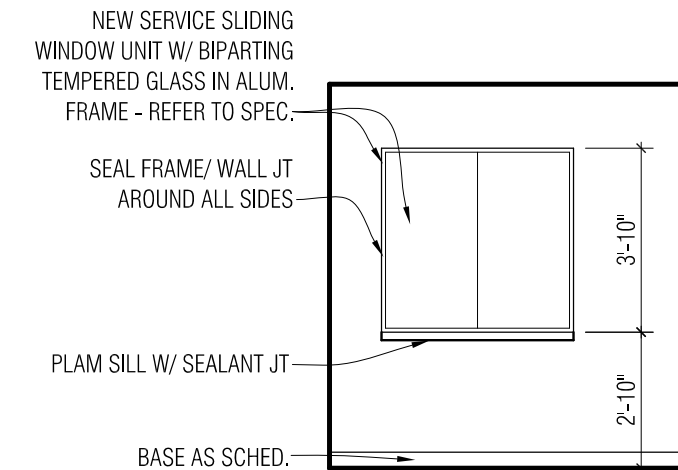
SHEET NO.

A4-01

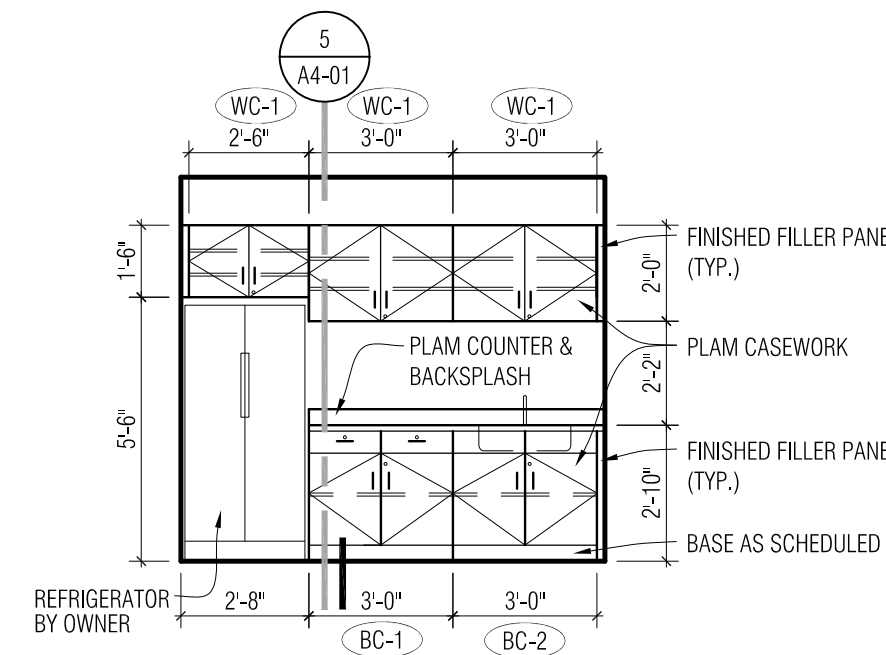


5 Millwork Section
 A4-01 3/4" = 1'-0"

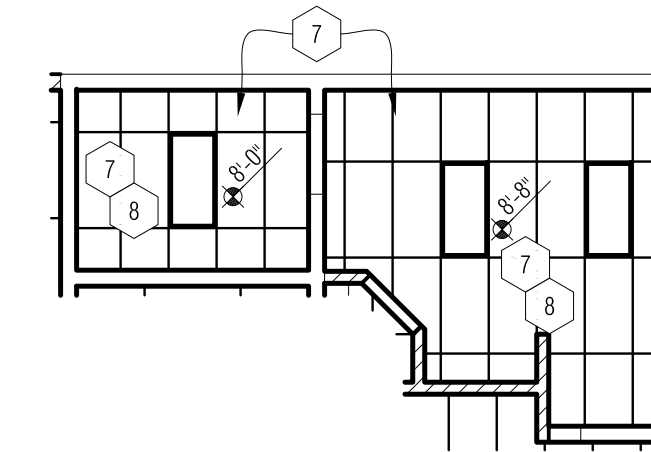
CASEWORK LEGEND	
CASEWORK MODEL NUMBERS ARE DERIVED FOR BASIS OF DESIGN FROM CASE SYSTEMS DESIGN CORPORATION	
BASE CABINETS	BC-1 B3100 - DOOR/DRAWER STORAGE
	BC-2 B2100 - SINK CABINET
WALL CABINETS	WC-1 W0100 - STORAGE W/ DOORS
GENERAL CASEWORK NOTES: 1. ALL EXPOSED SURFACES ARE TO BE FINISHED 2. PROVIDE FINISHED FILLER PANELS AS REQUIRED AT ALL SPACES BETWEEN CABINETS AND BETWEEN CASEWORK AND WALLS 3. CAULK AROUND ENTIRE PERIMETER OF ALL CABINETS AND COUNTERTOPS AT INTERSECTION OF DISMILAR SURFACES 4. BASE CABINET DEPTH IS TO BE 24" (U.O.N.) AND UPPER CABINET DEPTH IS TO BE 12" DEEP (U.O.N.)	



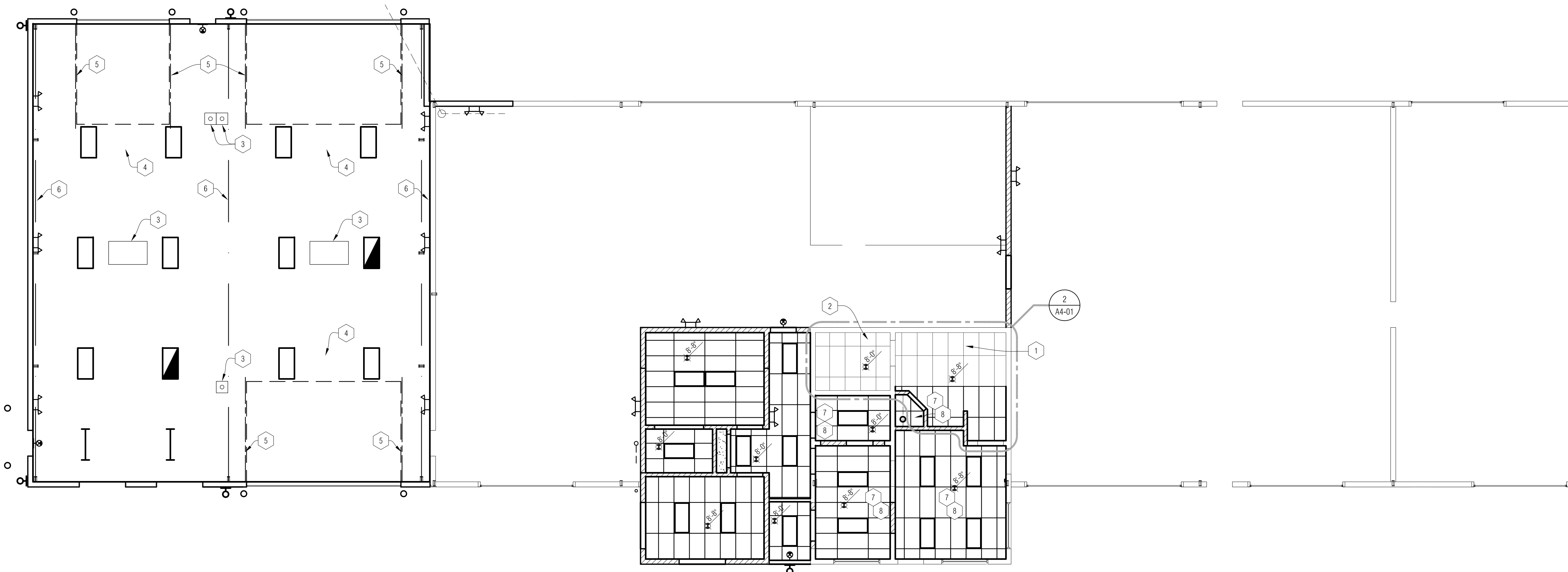
4 Interior Elevation
 A4-01 1/4" = 1'-0"



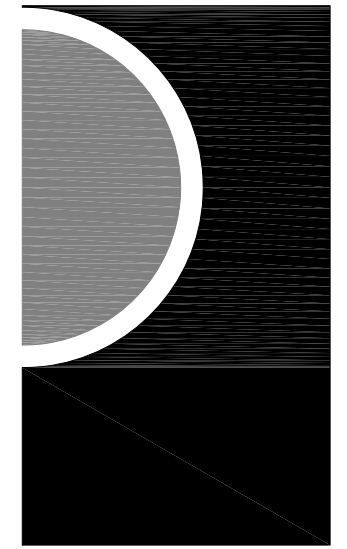
3 Interior Elevation
 A4-01 1/4" = 1'-0"



2 Alternate Reflected Ceiling Plan
 A4-01 1/8" = 1'-0"



1 Reflected Ceiling Plan
 A4-01 1/8" = 1'-0"



Statement of Intellectual Property

The ideas, concepts, drawings and thoughts conveyed herein are the intellectual property of PARTNERS in Architecture, P.L.C. 65 Market Street, Mount Clemens, MI 48043 (P 586.463.3600). This set of drawings, in whole or in part, may not be reproduced, without the written consent of PARTNERS in Architecture, P.L.C. This information is protected under U.S. Copyright Law, all rights reserved.

© Copyright 2013

CONSULTANT

KEY PLAN

OWNER

**CITY OF
 NEW BALTIMORE**

PROJECT NAME

**Department of
 Public Service
 Building Addition**

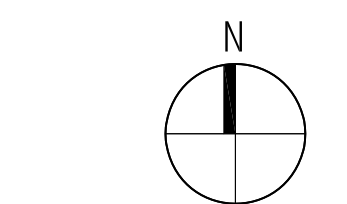
35389 Cricklewood
 New Baltimore, MI 48047

PROJECT NO.

13-107

ISSUES / REVISIONS

OWNER REVIEW	5/8/2013
BIDS/CONSTRUCTION	5/17/2013



DRAWN BY

KJB

CHECKED BY

APPROVED BY

SHEET NAME

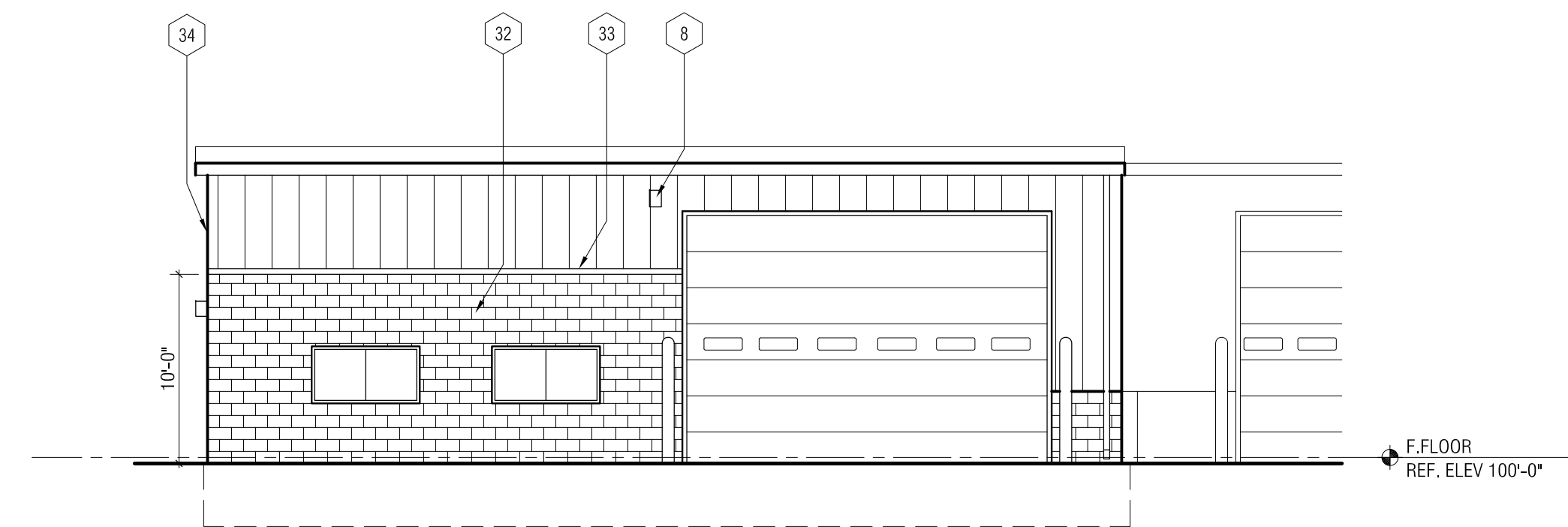
**EXTERIOR
 ELEVATIONS**

SHEET NO.

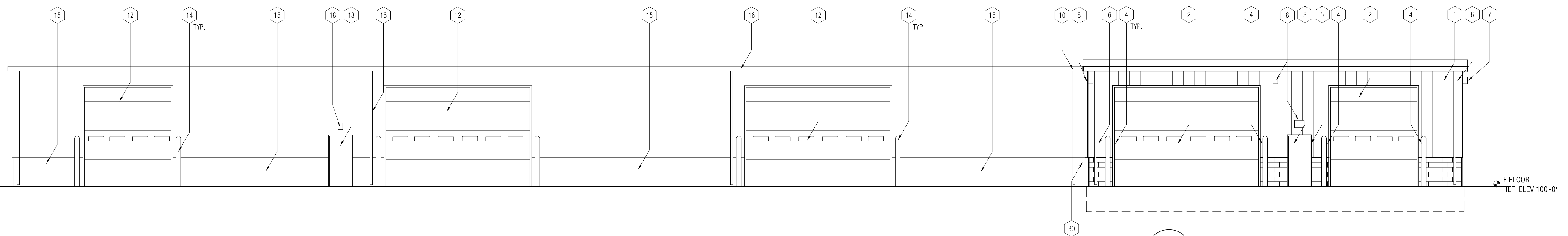
A5-01

EXTERIOR ELEVATIONS KEY NOTES:

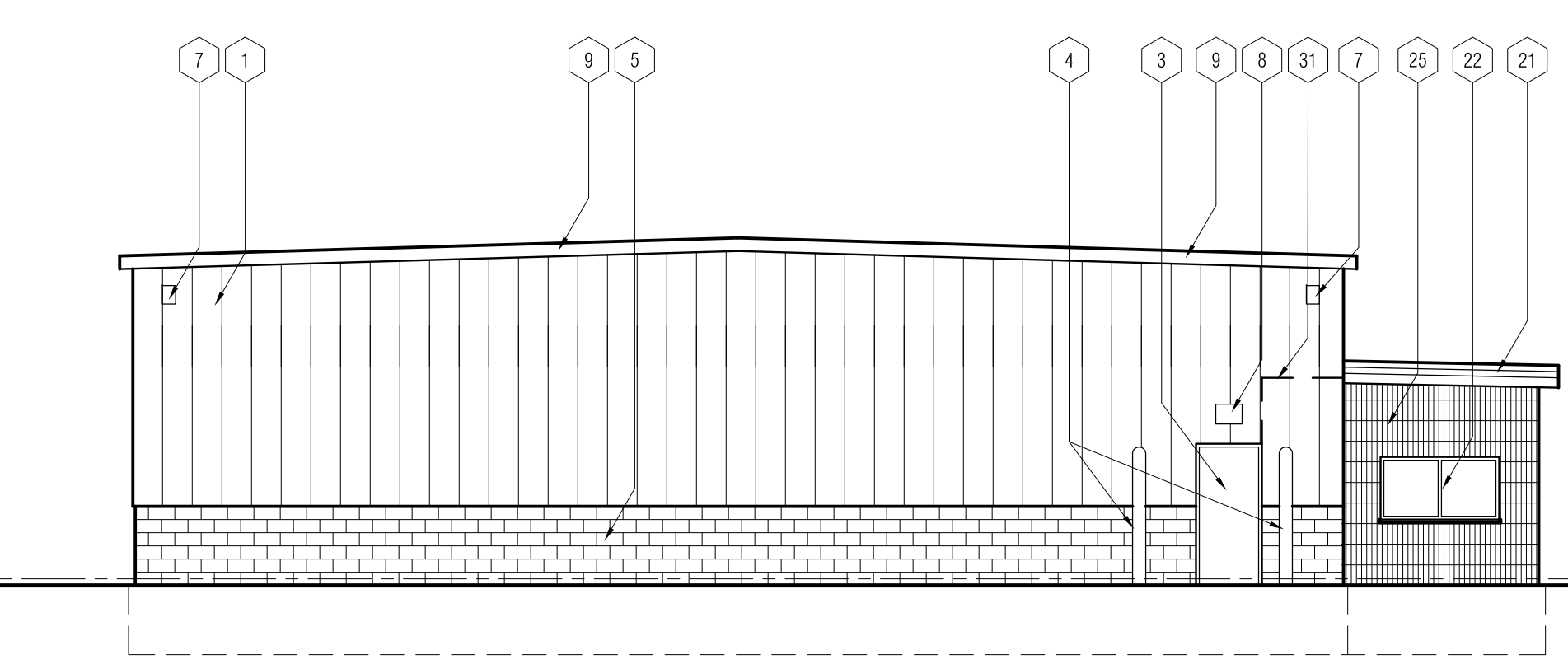
- 1 NEW MTL PANEL VERTICAL SIDING.
- 2 NEW O.H. DOOR, 14'-0" HEIGHT.
- 3 NEW HM MAIN DOOR.
- 4 NEW STL PIPE BOLLARD (TYP).
- 5 NEW BLOCK MASONRY SILL WALL TYP.
- 6 NEW MTL GUTTER & DOWN SPOUT.
- 7 RELOCATED LIGHT FIXT.
- 8 NEW EXTERIOR LIGHT FIXT.
- 9 NEW CABLE END FASCIA.
- 10 NEW MTL PANEL SIDING ABOVE EXIST. ROOF.
- 11 EXIST. MTL PANEL SIDING TO BE PAINTED.
- 12 EXIST. O.H. DOOR TO BE PAINTED.
- 13 EXIST. MAIN DOOR.
- 14 EXIST. BOLLARD TO REMAIN (TYP) U.O.N.
- 15 EXIST. MASONRY SILL WALL TO BE PAINTED.
- 16 EXIST. GUTTER & DOWN SPOUT TO BE PAINTED (TYP) THIS ROOF EDGE.
- 17 NEW INFILL MATCHING MTL PANEL AT REMOVED O.H. DOOR.
- 18 EXIST. LIGHT FIXT. TO REMAIN.
- 19 EXIST. CABLE END FASCIA TO BE REPAINTED (P-1)
- 20 NEW MASONRY SILL WALL INFILL AT REMOVED O.H. DOOR.
- 21 NEW MTL CLAD FASCIA AND TRIM.
- 22 NEW ALUM. WINDOW AND STONE EXT. SILL - MATCH.
- 23 NEW ALUM. DOOR SYSTEM.
- 24 RELOCATED FACILITY SIGNAGE.
- 25 NEW SCORED BLOCK EXT. WALL - MATCH.
- 26 EXIST. BLOCK TO BE PAINTED.
- 27 EXIST. MTL DEDICATION PLAQUE TO BE RELOCATED TO THIS LOCATION.
- 28 EXIST. HM DOOR AND FRAME TO BE PAINTED.
- 29 EXIST. SECURITY CAMERA TO BE RELOCATED TO THIS LOCATION.
- 30 EXIST. MTL COLUMN CLOSURE TO BE REMOVED AND REPLACED W/ NEW GALV. MTL CLOSURES.
- 31 ALTERNATE #1: CARRY 10'-0" BLOCK MASONRY AROUND CORNER TO DOOR SUPPORT CHANNEL. CARRY SIDING OVER MASONRY W/ EDGE TRIM THIS ELEVATION.
- 32 ALTERNATE #1: CARRY SCORED BLOCK MASONRY TO 10'-0" ABOVE FINISH FLOOR.
- 33 PROVIDE EXTENDED SILL TRIM AT SIDING AS REQ'D TO COVER SCORED MASONRY.
- 34 PROVIDE SIDING EDGE TRIM AT OVER-LAPPED SIDING ON WEST ELEVATION.
- 35 ALTERNATE #2: PROVIDE NEW HM. DOOR IN EXISTING FRAME. COORDINATE HINGE AND HARDWARE LOCATION.
- 36 REMOVE AND RELOCATE EXISTING KNOX BOX FROM EXISTING DOOR TO MASONRY WALL. REPAIR AND REFINISH DOOR. COORDINATE RELOCATION W/ LOCAL FIRE DEPARTMENT.
- 37 EXISTING EXTERIOR LIGHT TO BE REMOVED. PROVIDE WATERPROOF COVER. PAINT TO MATCH WALL COLOR.



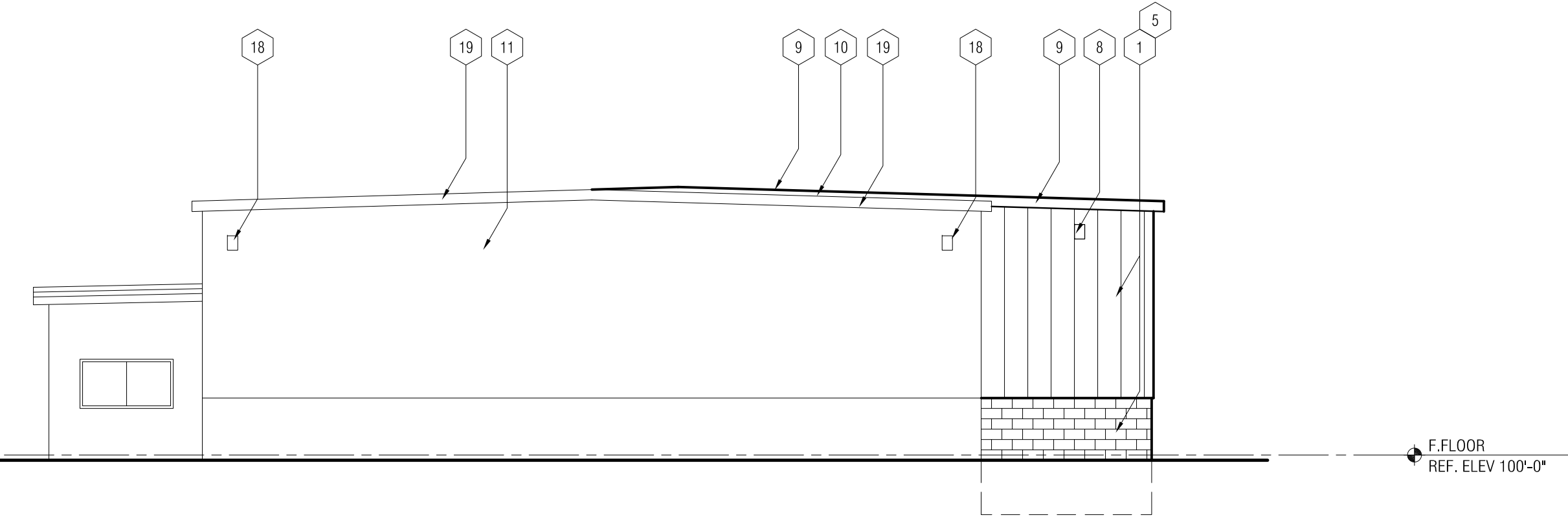
5
 A3-01
 Alternate #1 - Partial South Elevation
 1/8" = 1'-0"



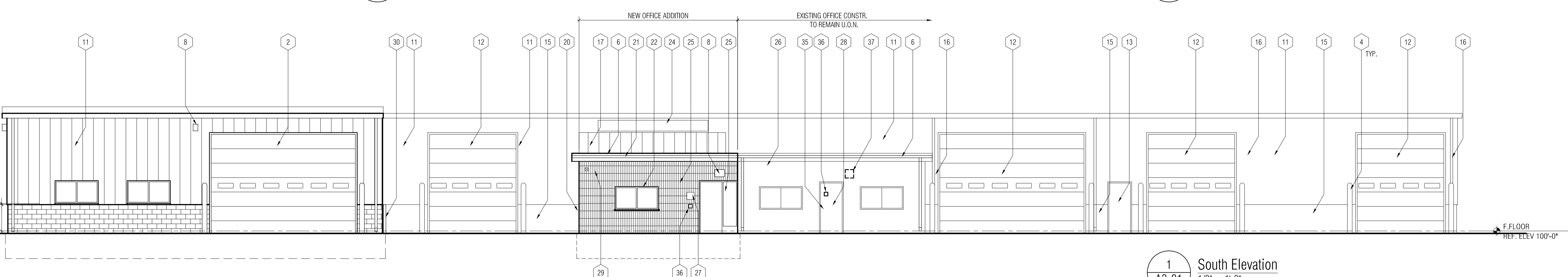
4
 A3-01
 North Elevation
 1/8" = 1'-0"



3
 A3-01
 West Elevation
 1/8" = 1'-0"



2
 A3-01
 East Elevation
 1/8" = 1'-0"



1
 A3-01
 South Elevation
 1/8" = 1'-0"

