

Owner Review	3/26/2013
Bidding / Construction	4/2/2013

DEMOLITION KEY NOTES

FLOOR PLANS:

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- 102 CAREFULLY CUT & REMOVE PORTION OF EXISTING RUBBER BASE TO ALLOW FOR NEW WORK TO BE INSTALLED FLUSH TO EXISTING CONSTRUCTION.
- 103 EXISTING TERRAZZO FLOOR - PROTECT DURING CONSTRUCTION
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- 201 CAREFULLY REMOVE EXISTING CEILING GRID AND PADS AS REQUIRED FOR INSTALLATION OF NEW WORK. SALVAGE FOR REINSTALLATION.
- 202 CAREFULLY REMOVE EXISTING SPEAKER. SALVAGE FOR RELOCATION.
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- 204 EXISTING WALL MTD TV TO REMAIN - PROTECT DURING CONSTRUCTION
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- 207 EXISTING GYPSUM BD BULKHEAD

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- 302 VIDEO / INTERCOM UNIT WITH DOOR RELEASE
- 303 NEW ALUM / GLASS STOREFRONT WITH DOOR(S) AS SCHEDULED. REFER TO ELEVATIONS FOR GLASS TYPES.
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- 309 PATCH & REPAIR HOLE WITH TOOTHED-IN MASONRY. PAINT WALL FROM CORNER TO CORNER, FLOOR TO CEILING TO MATCH EXISTING.
- 310 PATCH & REPAIR WALL & MULLION TO LIKE NEW CONDITION. PAINT TO MATCH EXISTING.
- 311 NEW DOOR LITE & TRIM KIT INSTALLED INTO EXISTING HM DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

CEILING PLANS:

- 401 MODIFY AND REINSTALL SALVAGED CEILING GRID AND PADS. PROVIDE NEW CEILING GRID AND PADS AS REQUIRED TO COMPLETE CEILING SYSTEM.
- 402 PAINT EXISTING BULKHEAD. PATCH & REPAIR AS NECESSARY FOR LIKE NEW FINISH.
- 403 REINSTALL EXISTING SALVAGED SPEAKER IN EXISTING CEILING TILE

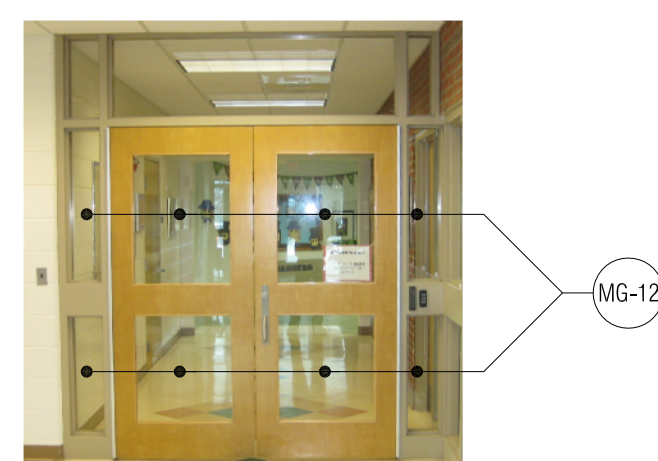
FINISH FLOOR PLANS:

- 501 PATCH FLOOR WITH CONCRETE FILLER AND PREPARE FOR NEW VCT PATCH TO MATCH EXISTING FOR LIKE NEW FINISH
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INSTALL SURFACE APPLIED FILM (SAF-1) AT GLAZING AS SHOWN - REFER TO SPECIFICATION



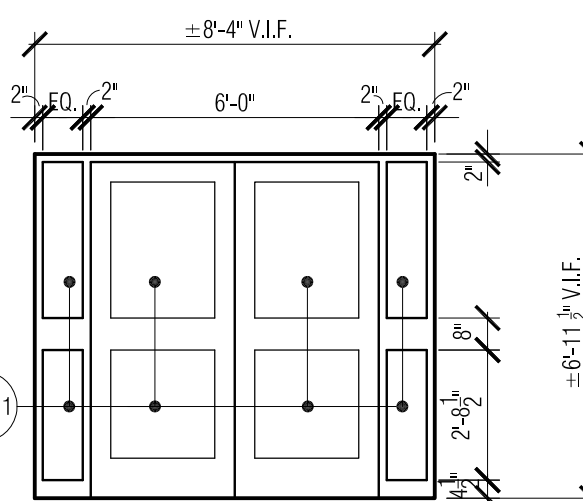
APPROXIMATE GLAZING AREA: 24 SF

9 Existing HM Frame Elevation  
 A3-02



APPROXIMATE GLAZING AREA: 4 SF

8 Existing Door Elevation  
 A3-02



7 Storefront Elevation  
 1/4" = 1'-0"



APPROXIMATE GLAZING AREA: 34 SF

13 Existing Exterior Storefront @ Gym  
 A1-01



APPROXIMATE GLAZING AREA: 34 SF

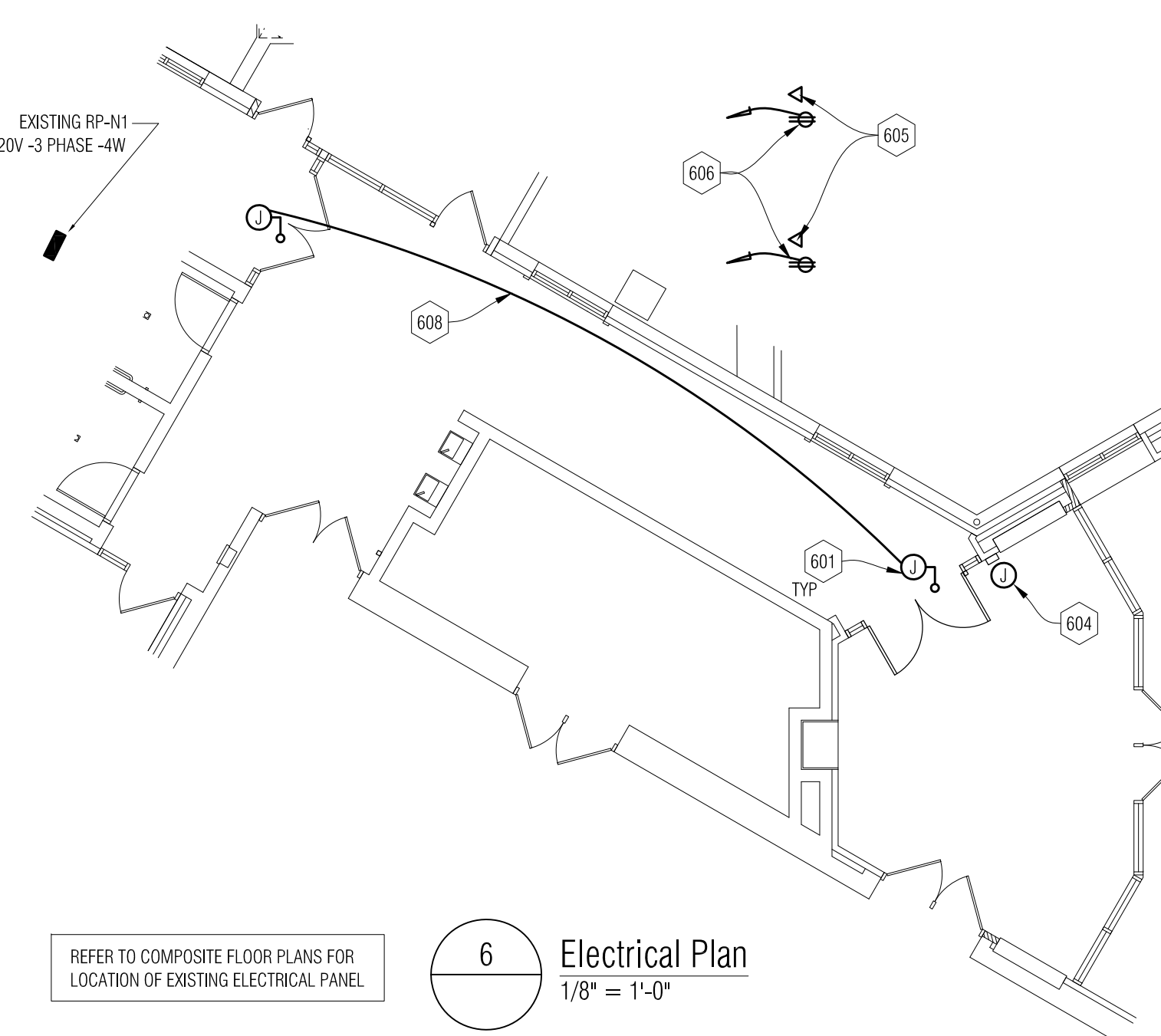
12 Existing Exterior Storefront @ Gym  
 A1-01



APPROXIMATE GLAZING AREA: 26 SF

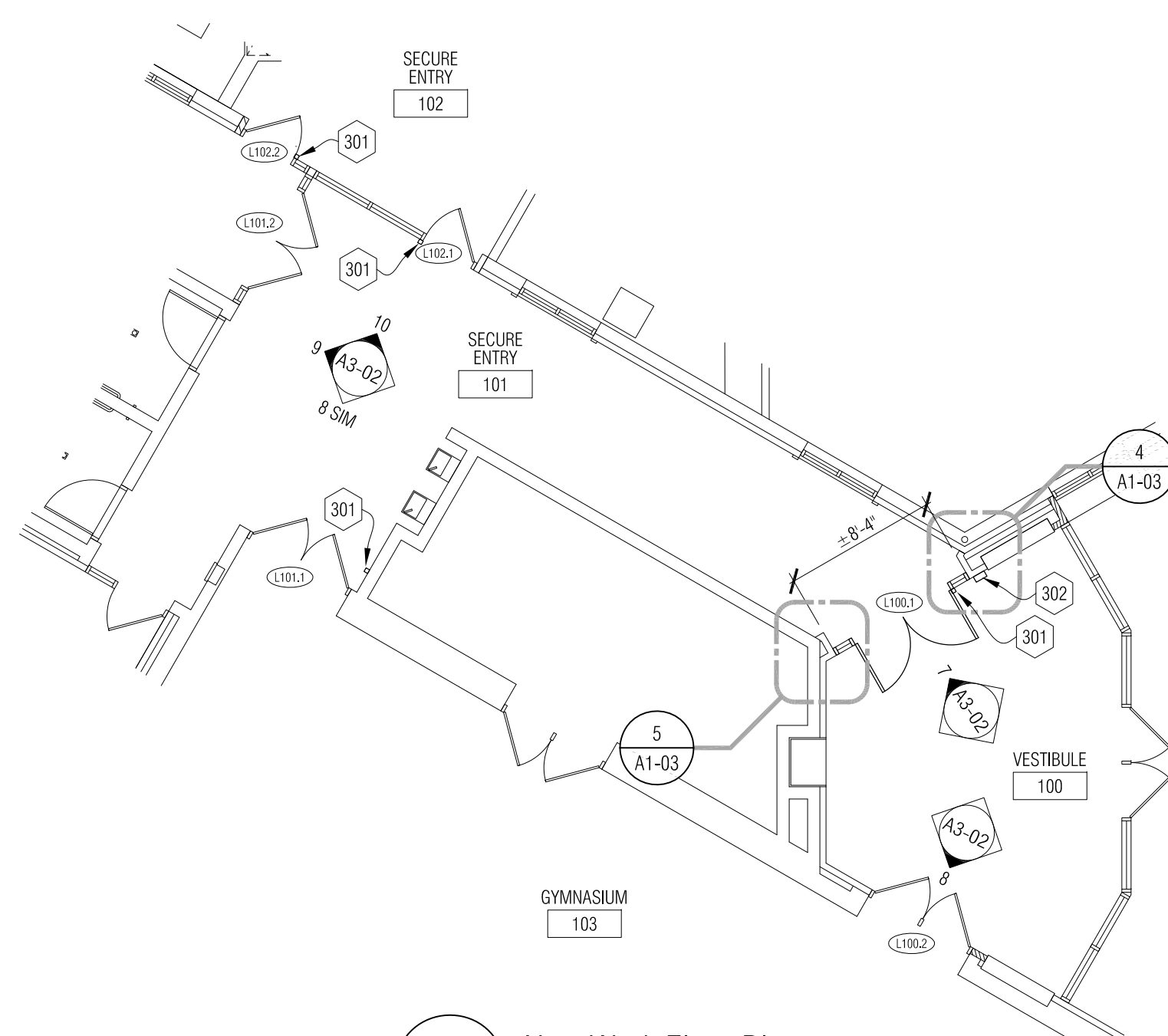
11 Existing Exterior Storefront @ Gym  
 A1-01

INSTALL SURFACE APPLIED FILM (SAF-2) AT GYM GLAZING AS SHOWN - REFER TO SPECIFICATION

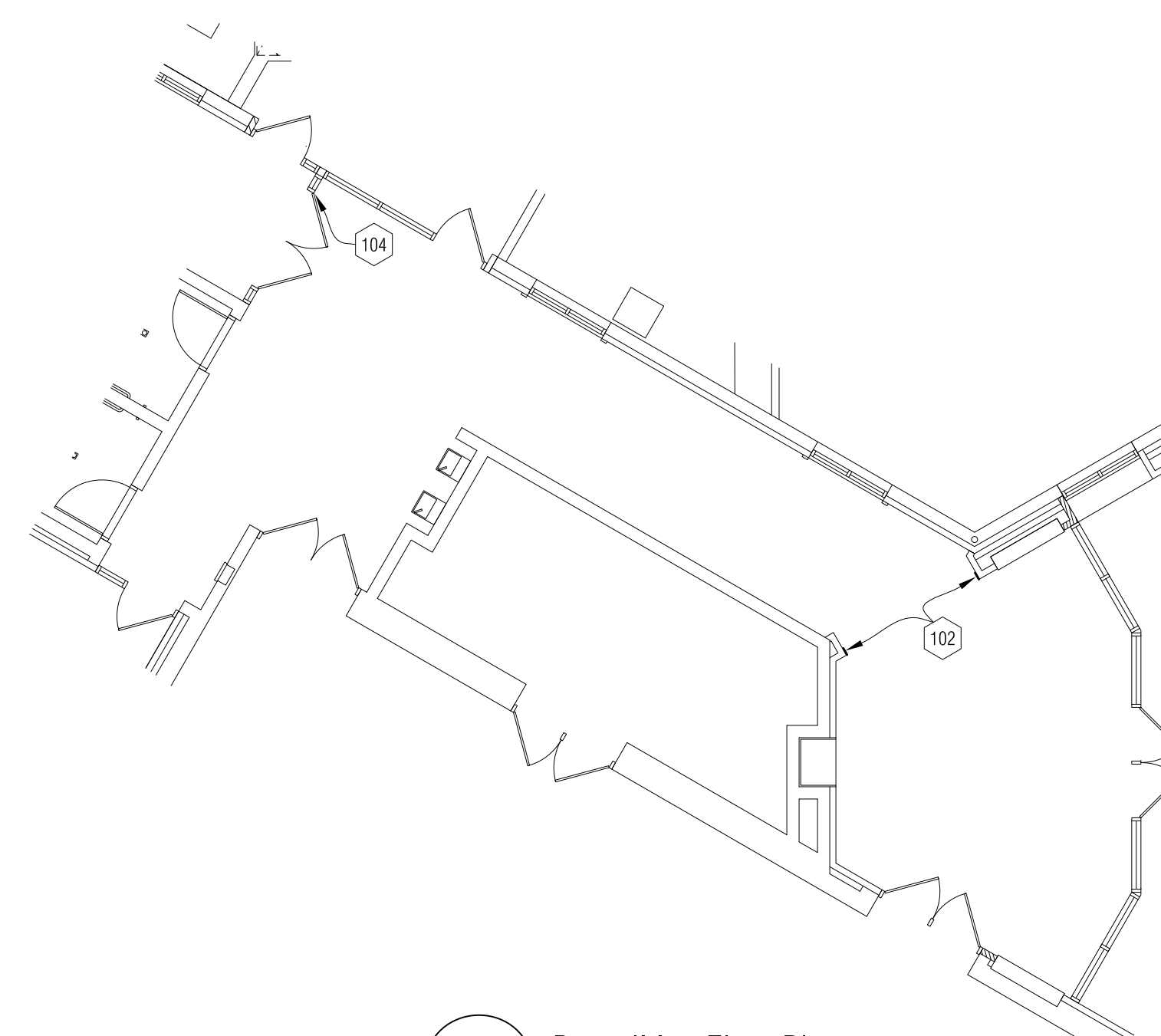


REFER TO COMPOSITE FLOOR PLANS FOR LOCATION OF EXISTING ELECTRICAL PANEL

6 Electrical Plan  
 1/8" = 1'-0"



3 New Work Floor Plan  
 1/8" = 1'-0"



1 Demolition Floor Plan  
 1/8" = 1'-0"

INSTALL SURFACE APPLIED FILM (SAF-1) AT WINDOWS AS SHOWN - REFER TO SPECIFICATION



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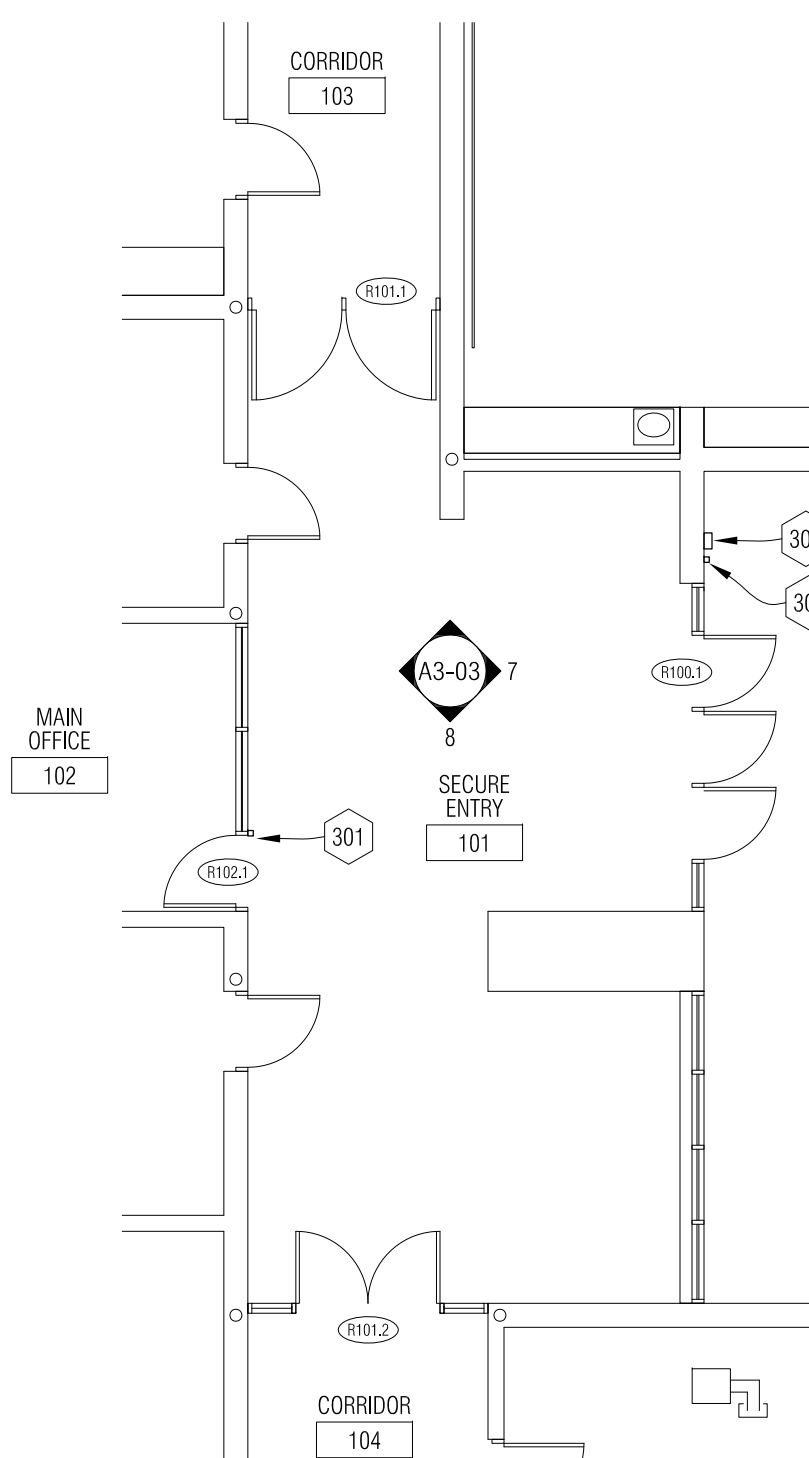
8 Existing Storefront Elevation  
A3-03

INSTALL SURFACE APPLIED FILM (SAF-1) AT WINDOWS AS SHOWN - REFER TO SPECIFICATION

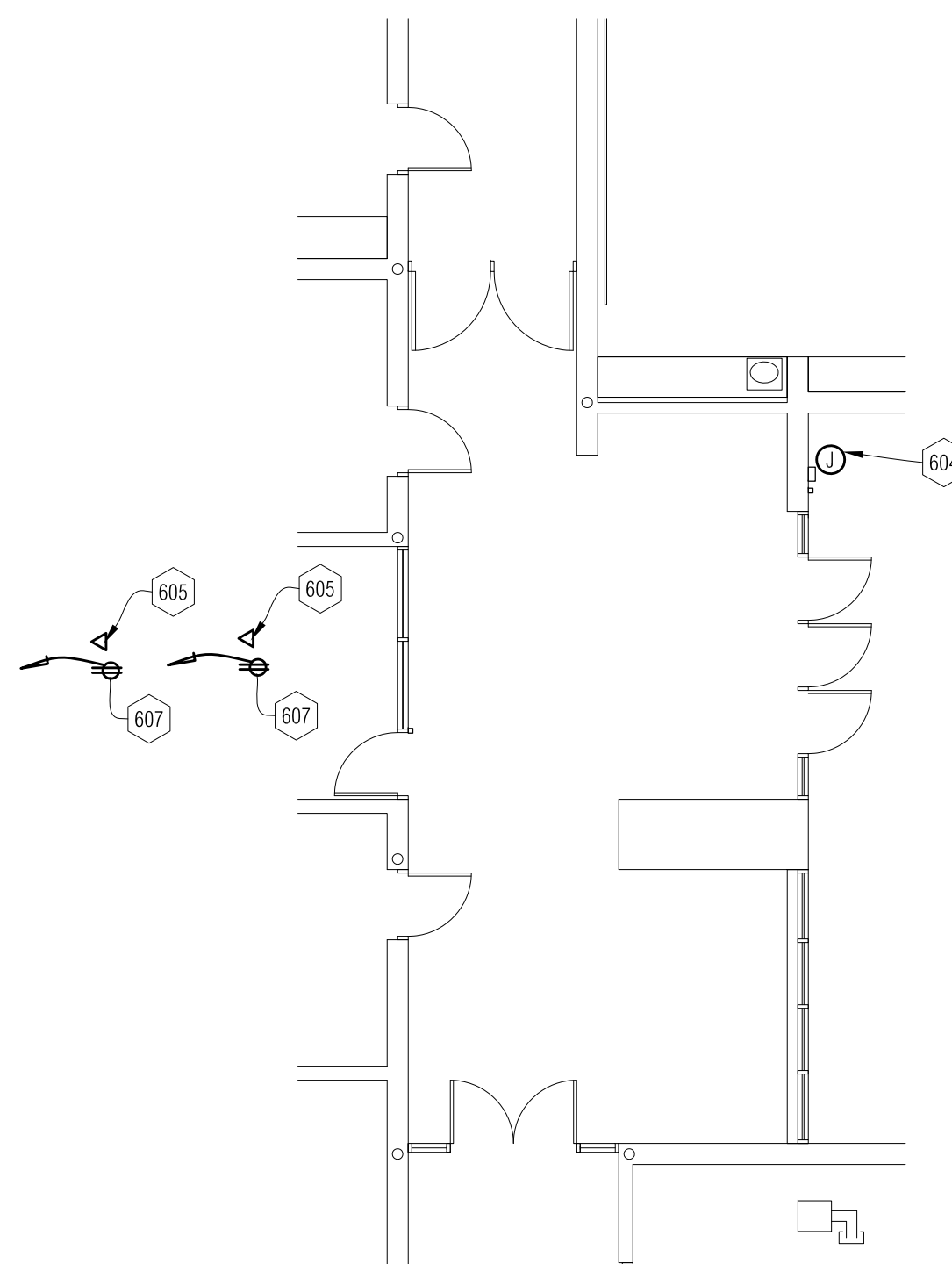


NOTE: PHOTO SHOWN IS EXTERIOR- FILM TO BE INSTALLED AT INTERIOR SIDE OF GLAZING  
APPROXIMATE GLAZING AREA: 60 SF

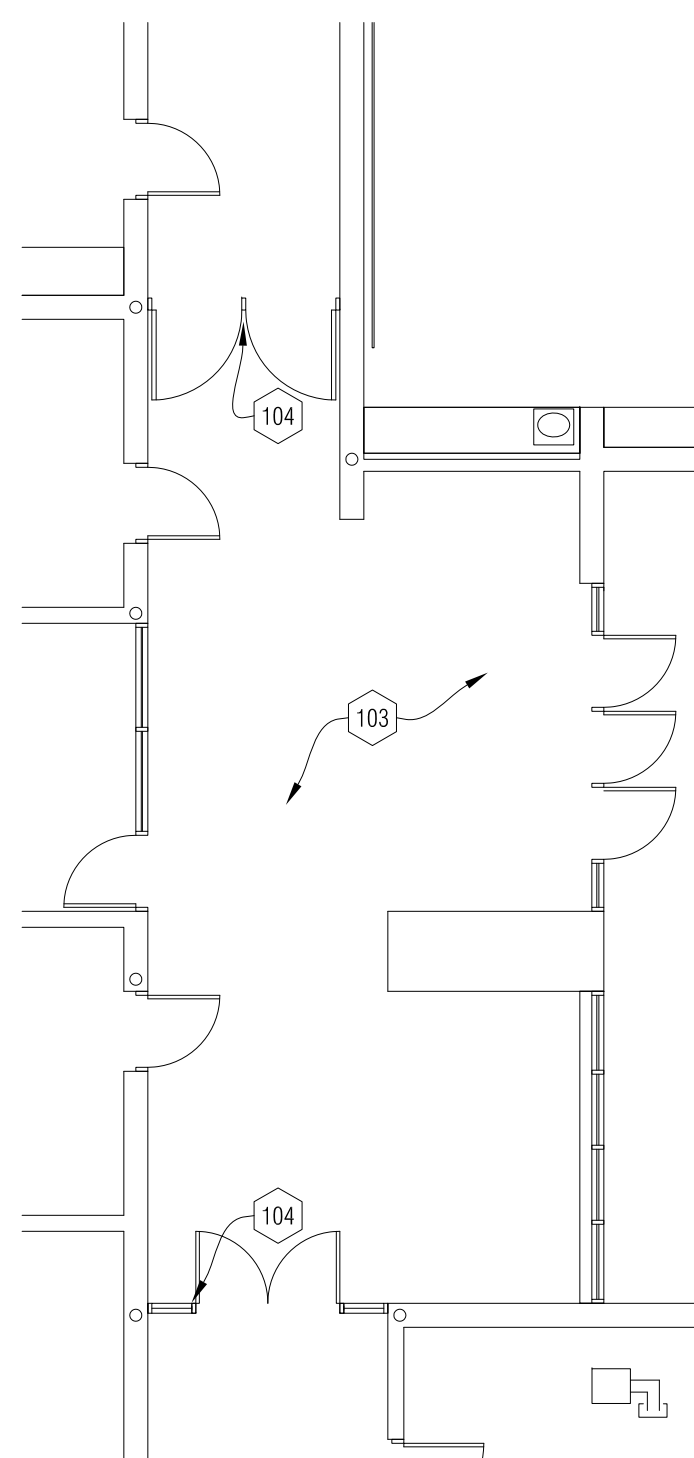
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3 New Work Floor Plan  
1/8" = 1'-0"



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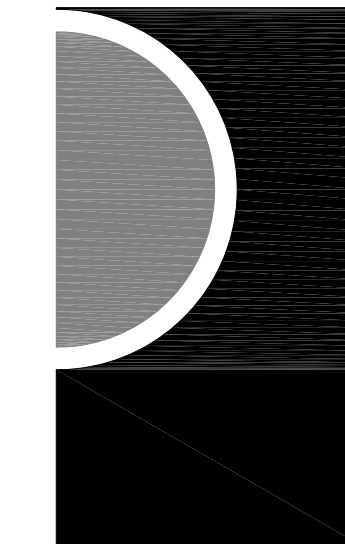
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CONSULTANT

KEY PLAN

OWNER

Warren Consolidated Schools

PROJECT NAME

Secure Entrance Improvements

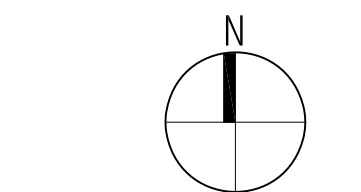
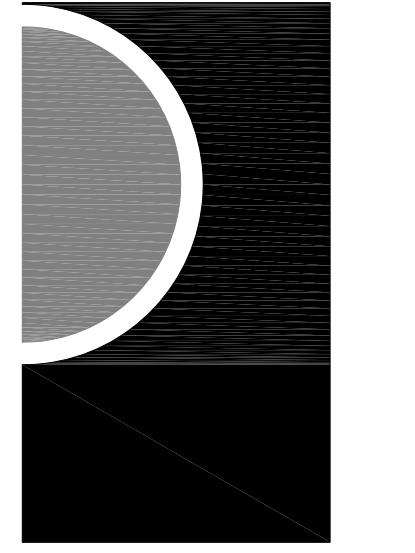
PROJECT NO.

12-157

ISSUES / REVISIONS

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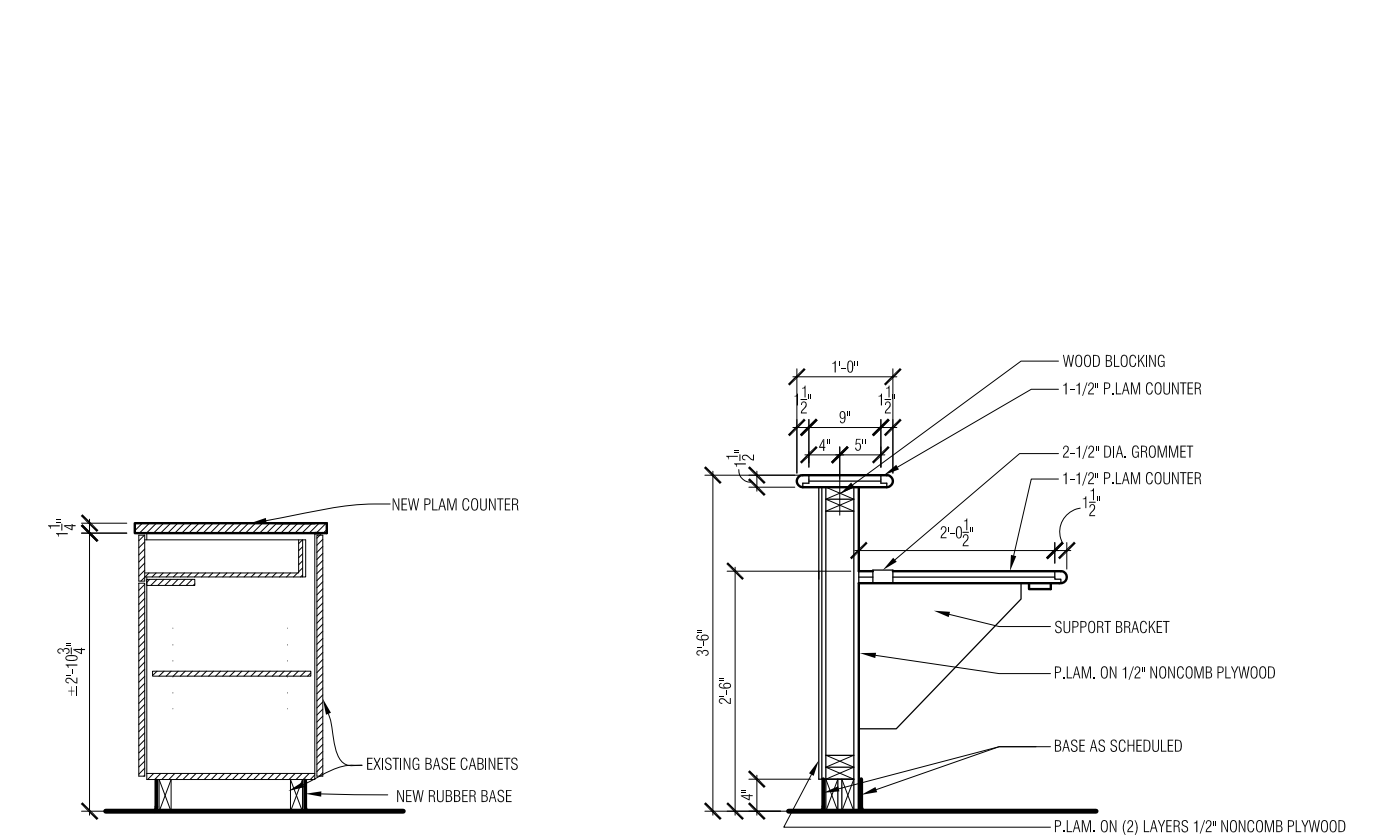
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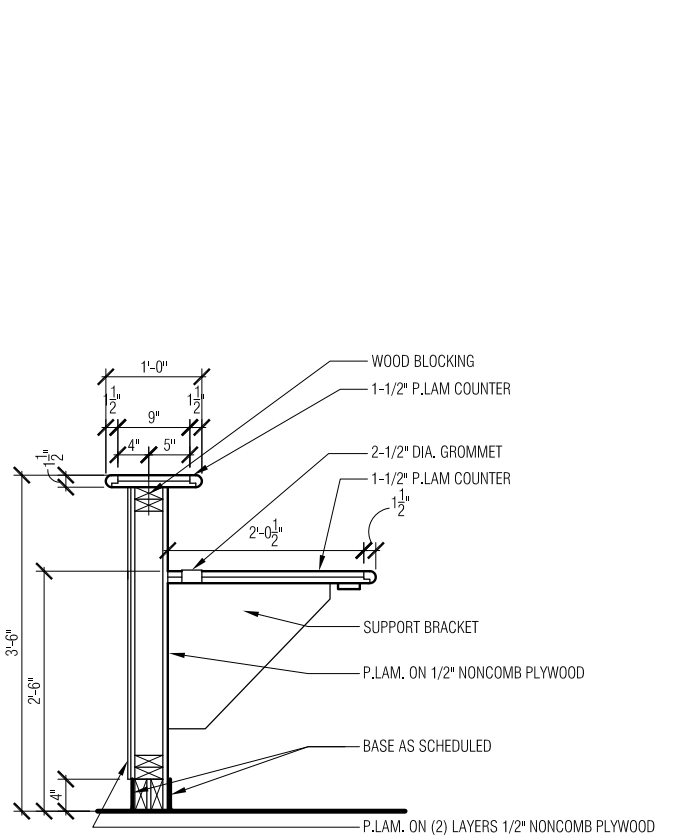
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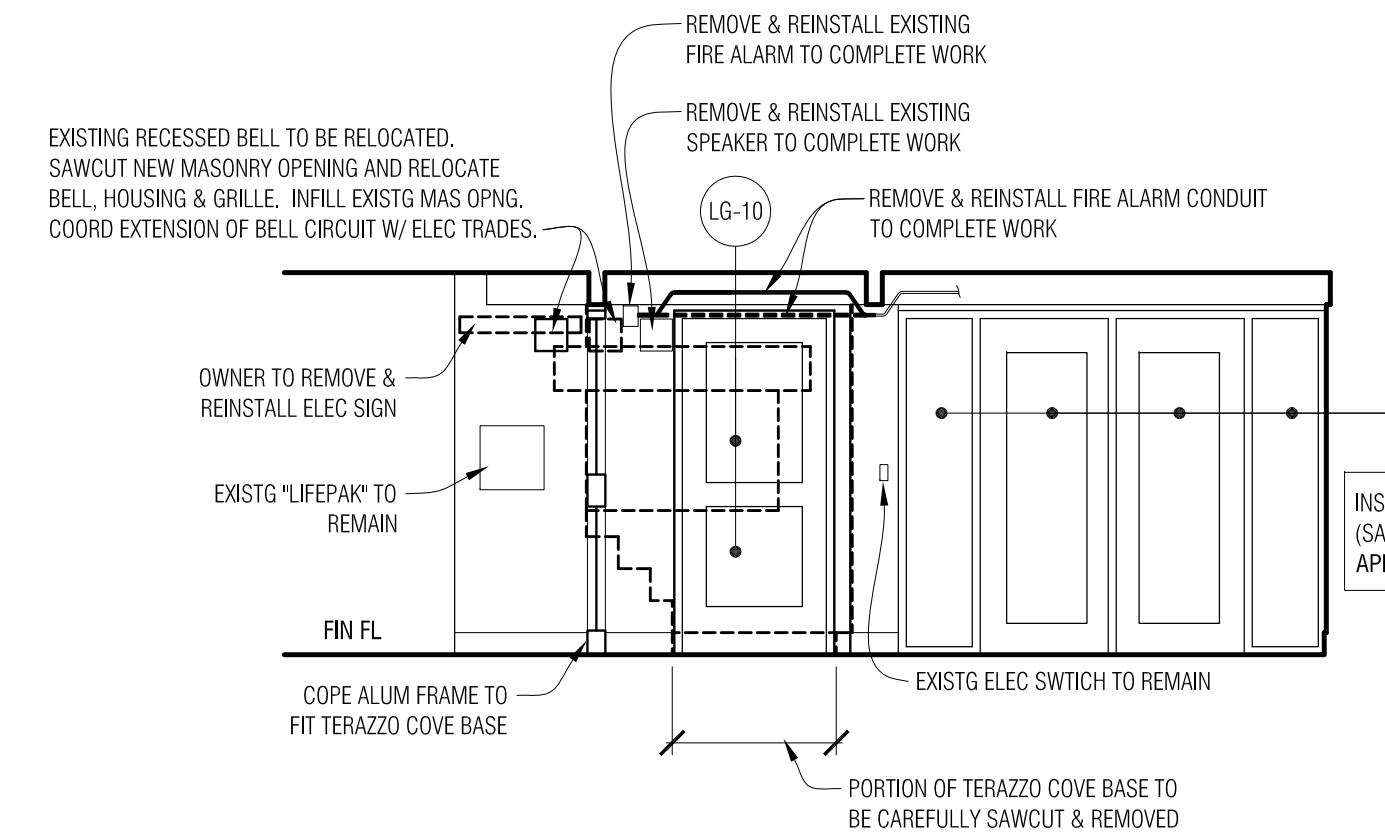
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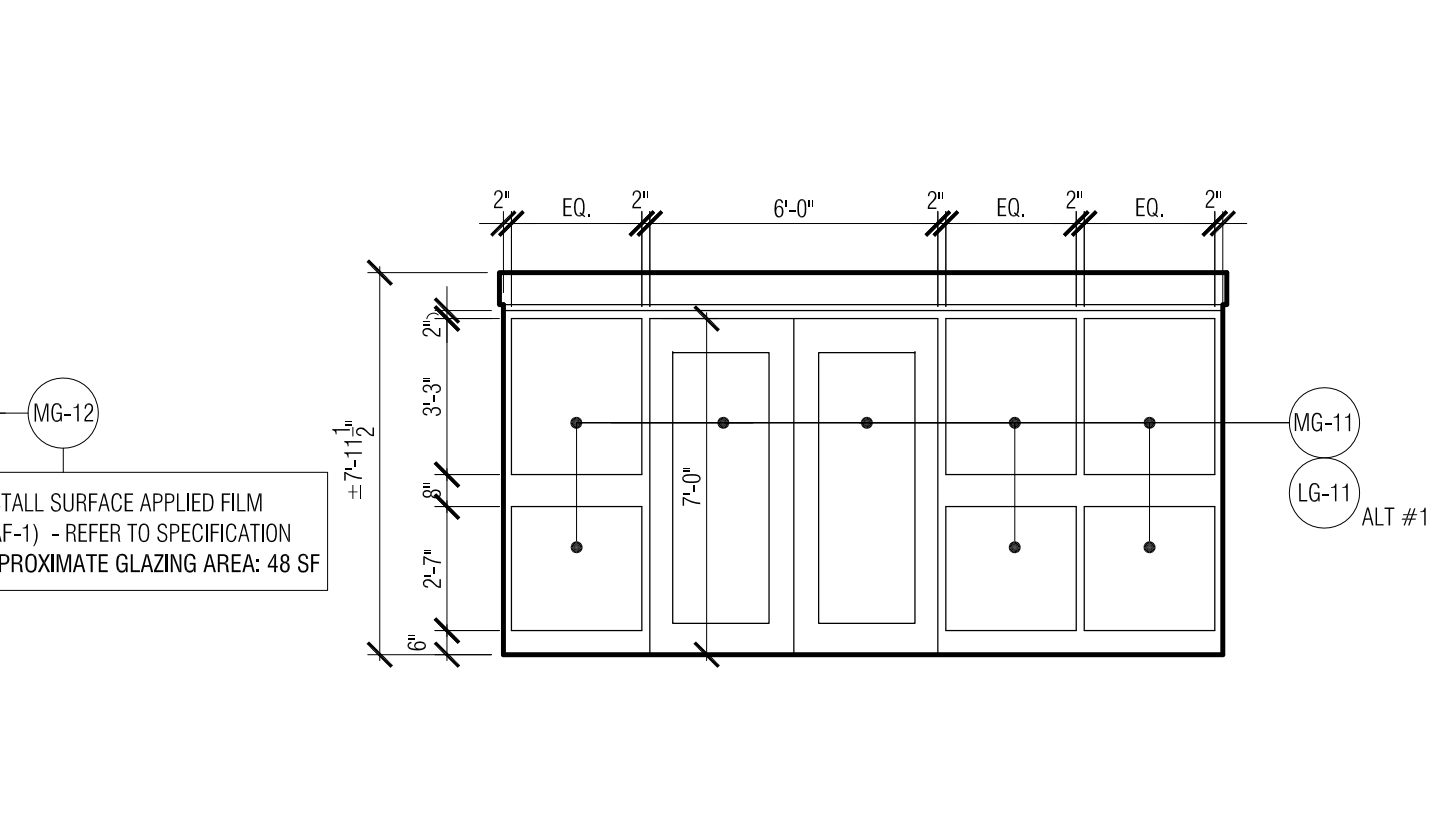
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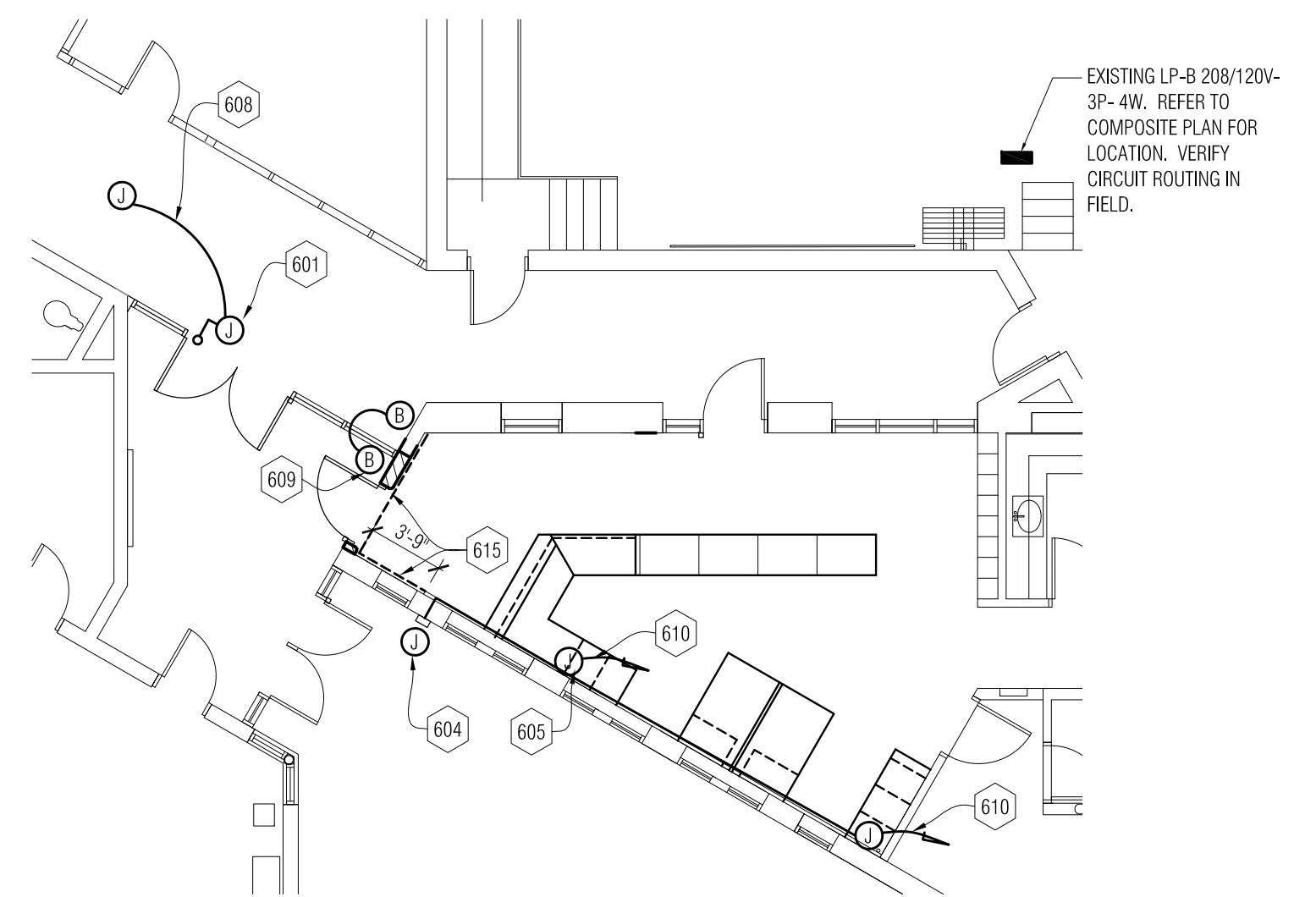
10 Section at Reception Counter  
1/2" = 1'-0"



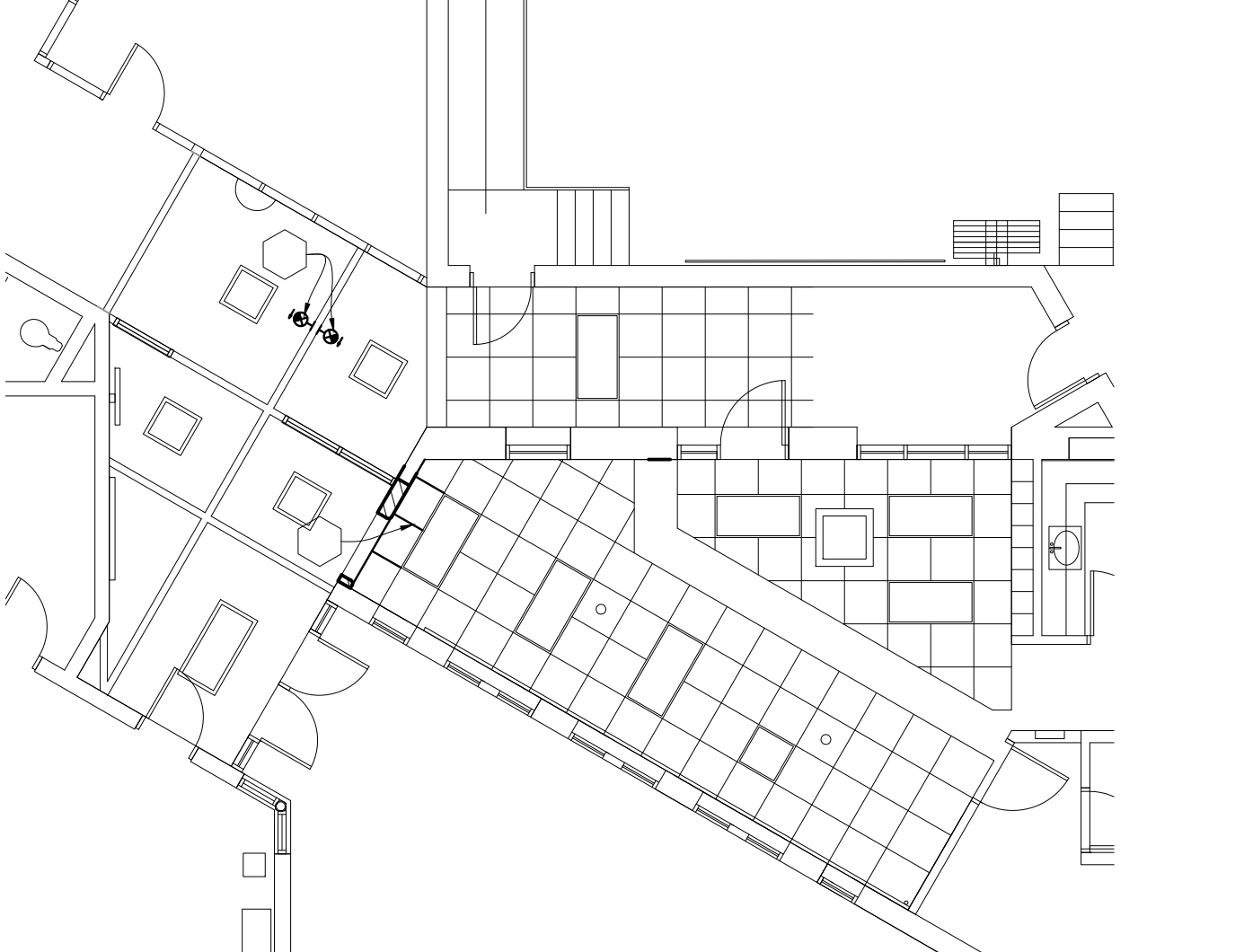
8 Interior Elevation  
1/4" = 1'-0"



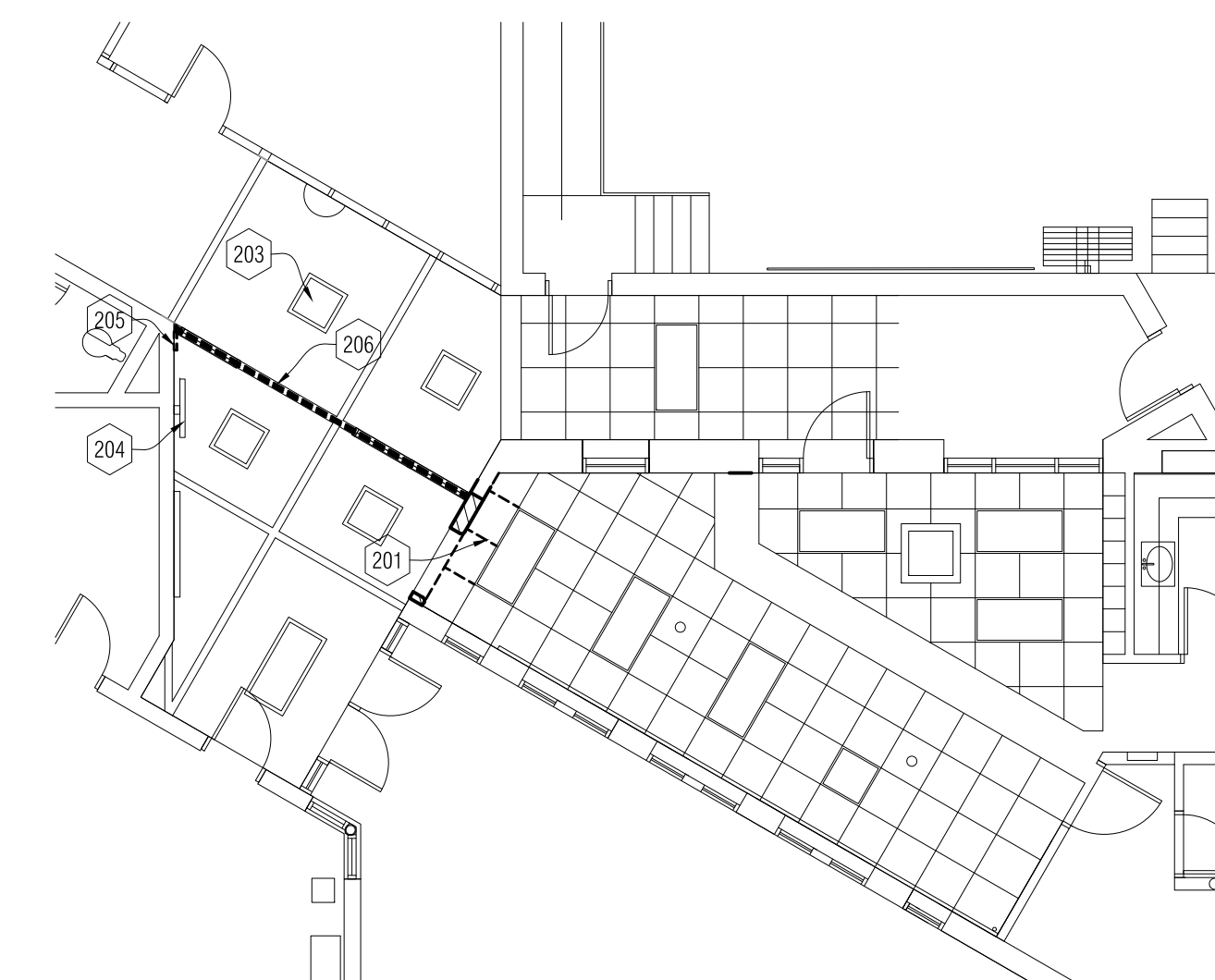
7 Interior Storefront Elevation  
1/4" = 1'-0"



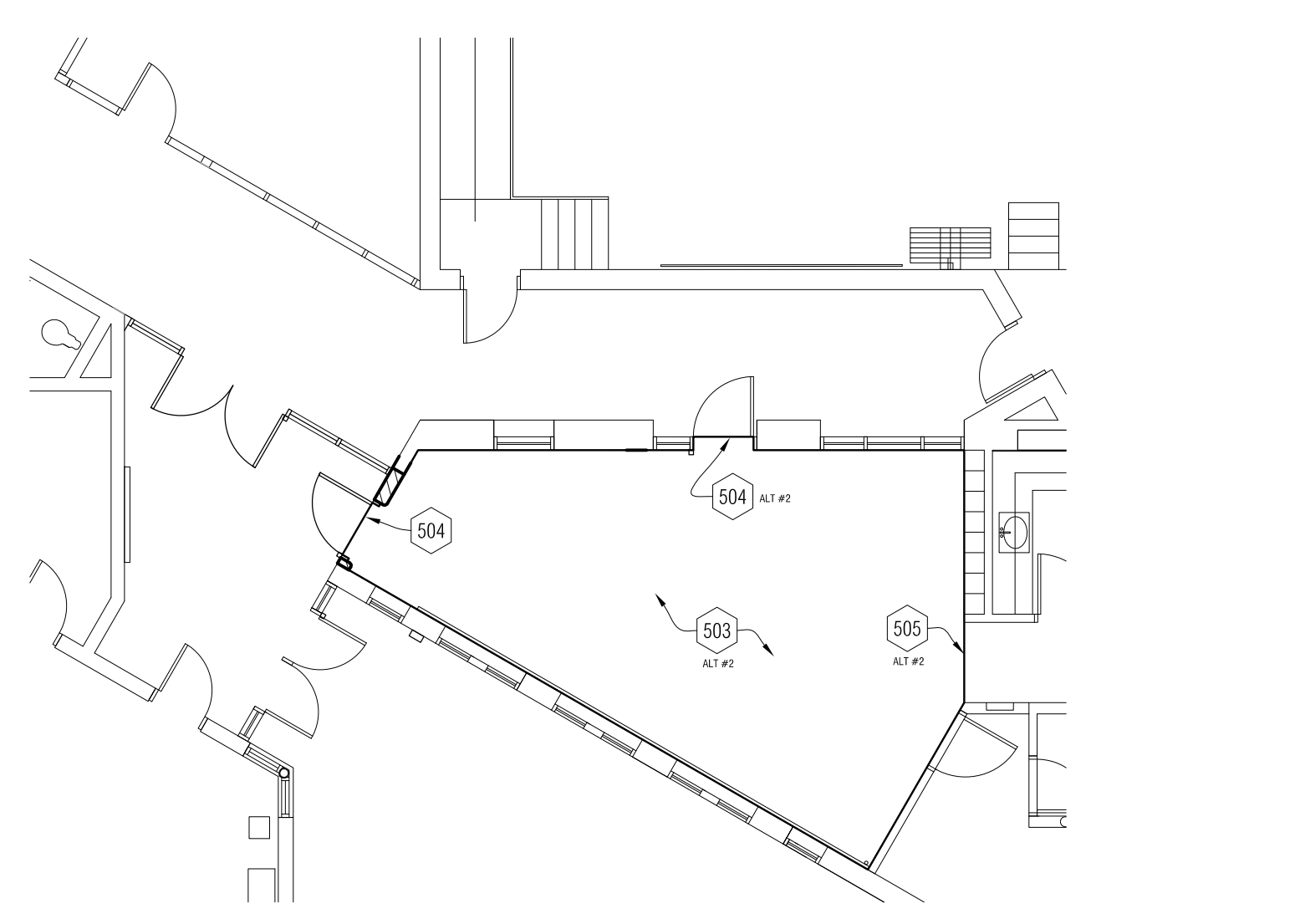
6 Electrical Plan  
1/8" = 1'-0"



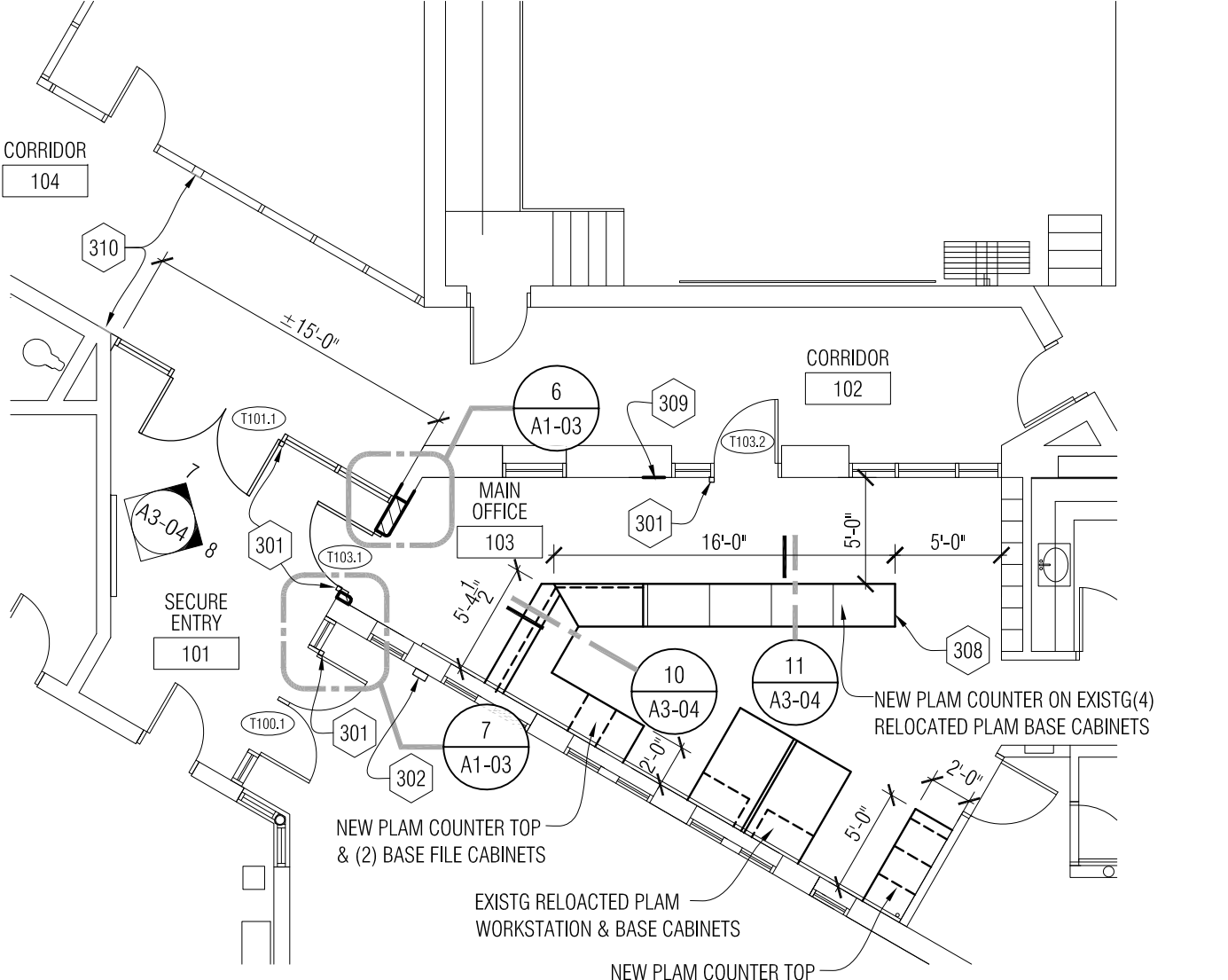
4 Reflected Ceiling Plan  
1/8" = 1'-0"



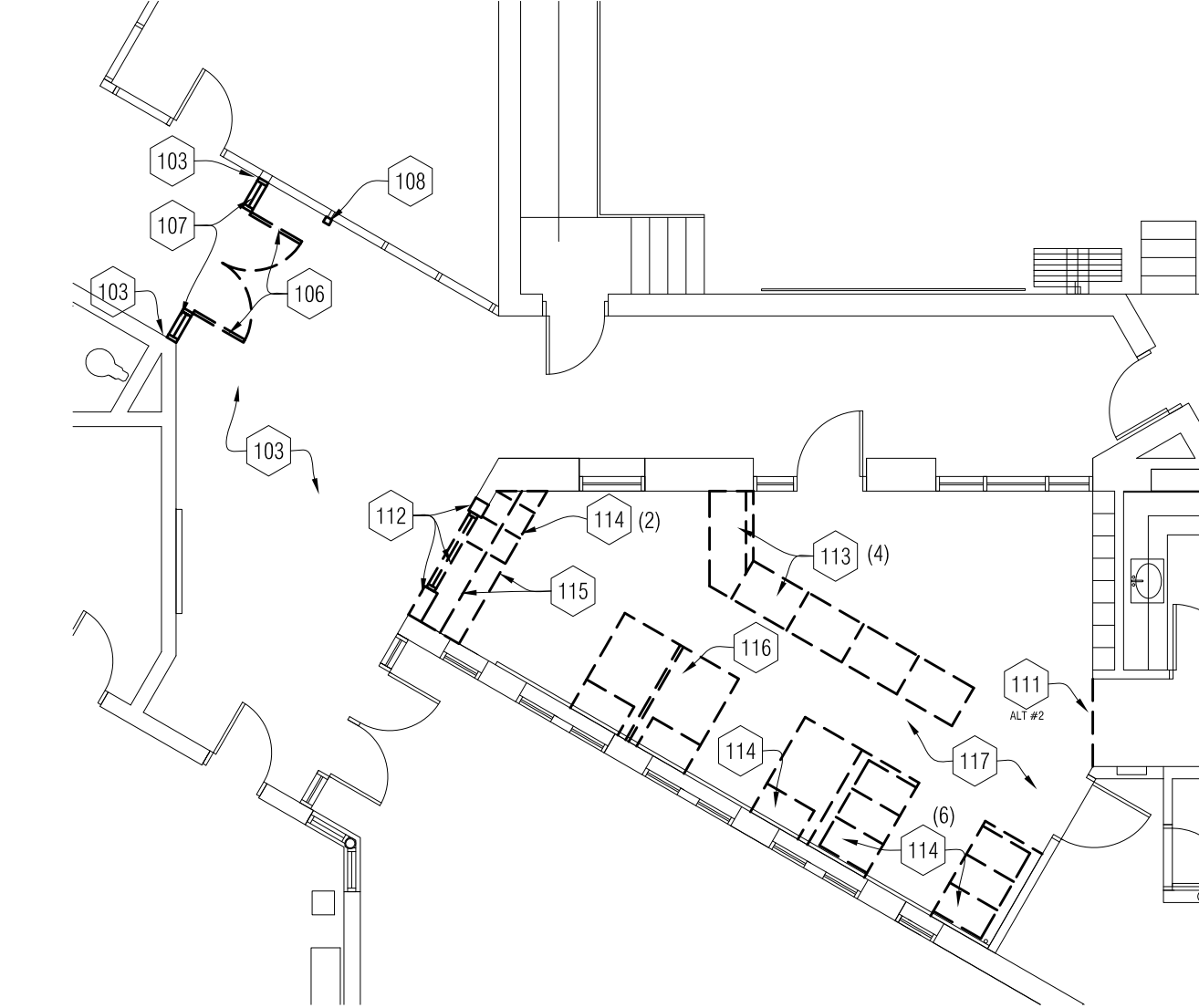
2 Demolition Reflected Ceiling Plan  
1/8" = 1'-0"



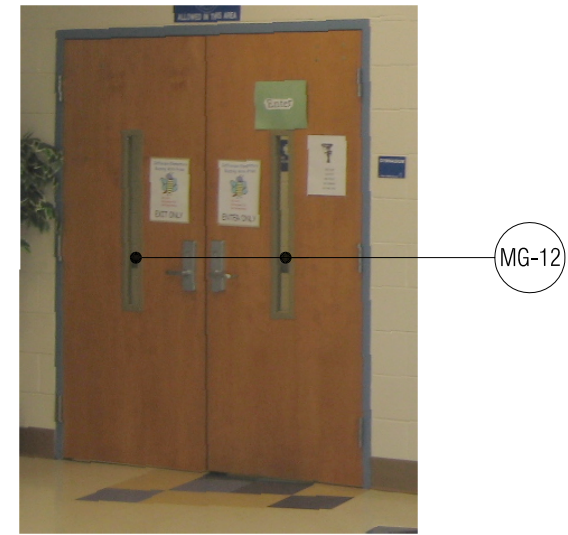
5 Finish Floor Plan  
1/8" = 1'-0"



3 New Work Floor Plan  
1/8" = 1'-0"



1 Demolition Floor Plan  
1/8" = 1'-0"



APPROXIMATE GLAZING AREA: 4 SF

9 Existing Door Elevation  
A3-05



APPROXIMATE GLAZING AREA: 72 SF

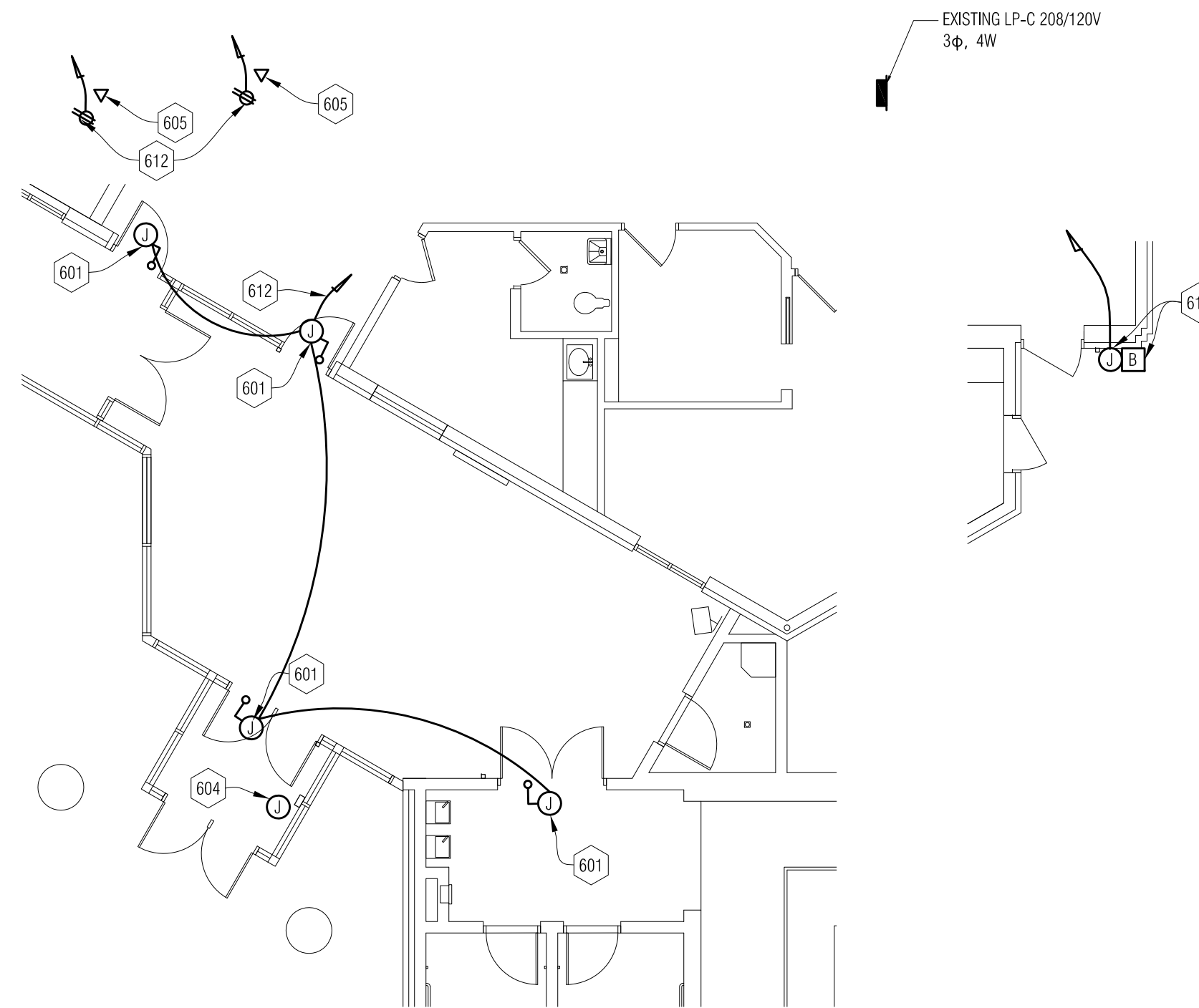
8 Existing Door Elevation  
A3-05  
1/8" = 1'-0"



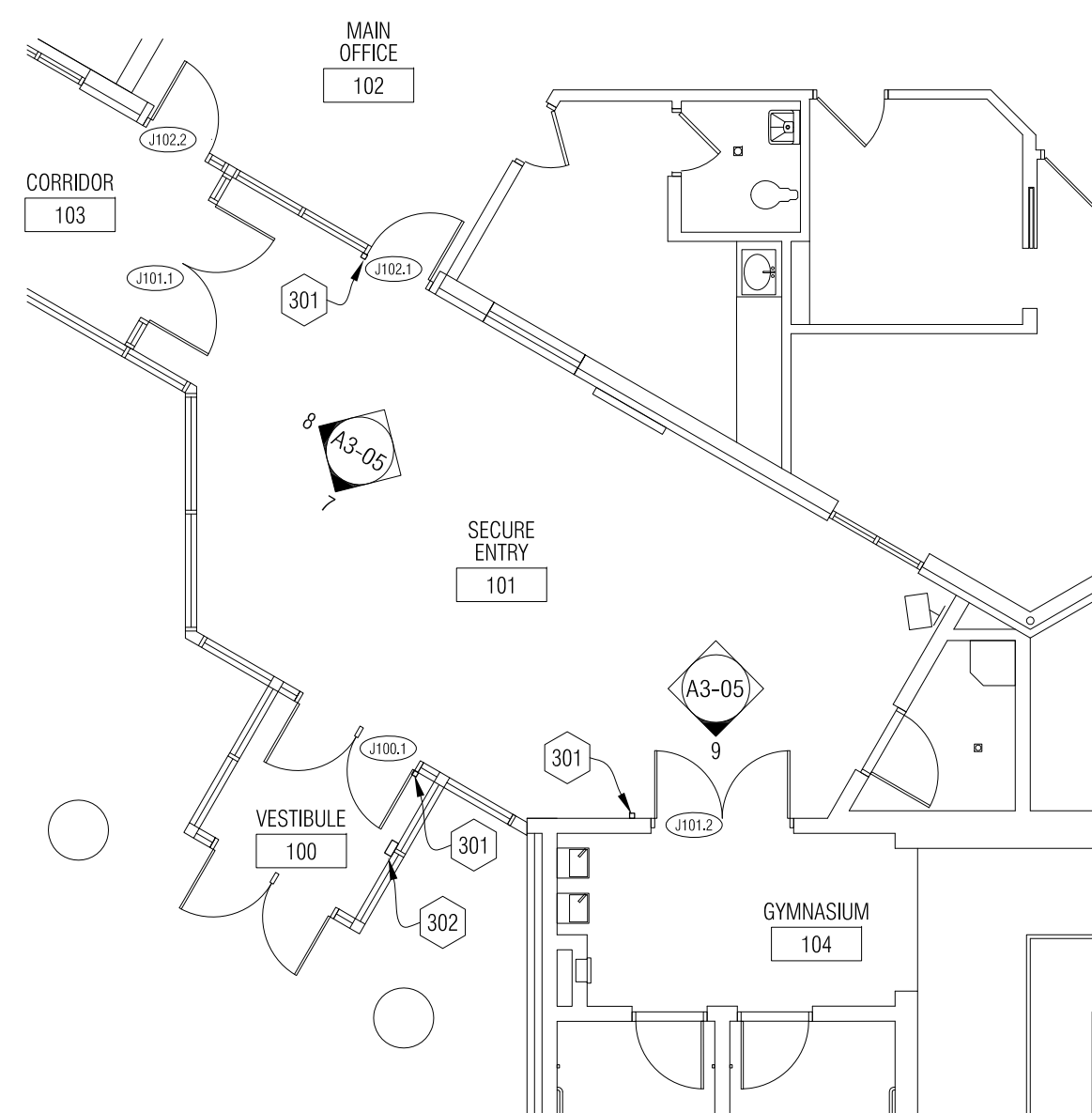
APPROXIMATE GLAZING AREA: 38 SF

7 Existing Door Elevation  
A3-05  
1/8" = 1'-0"

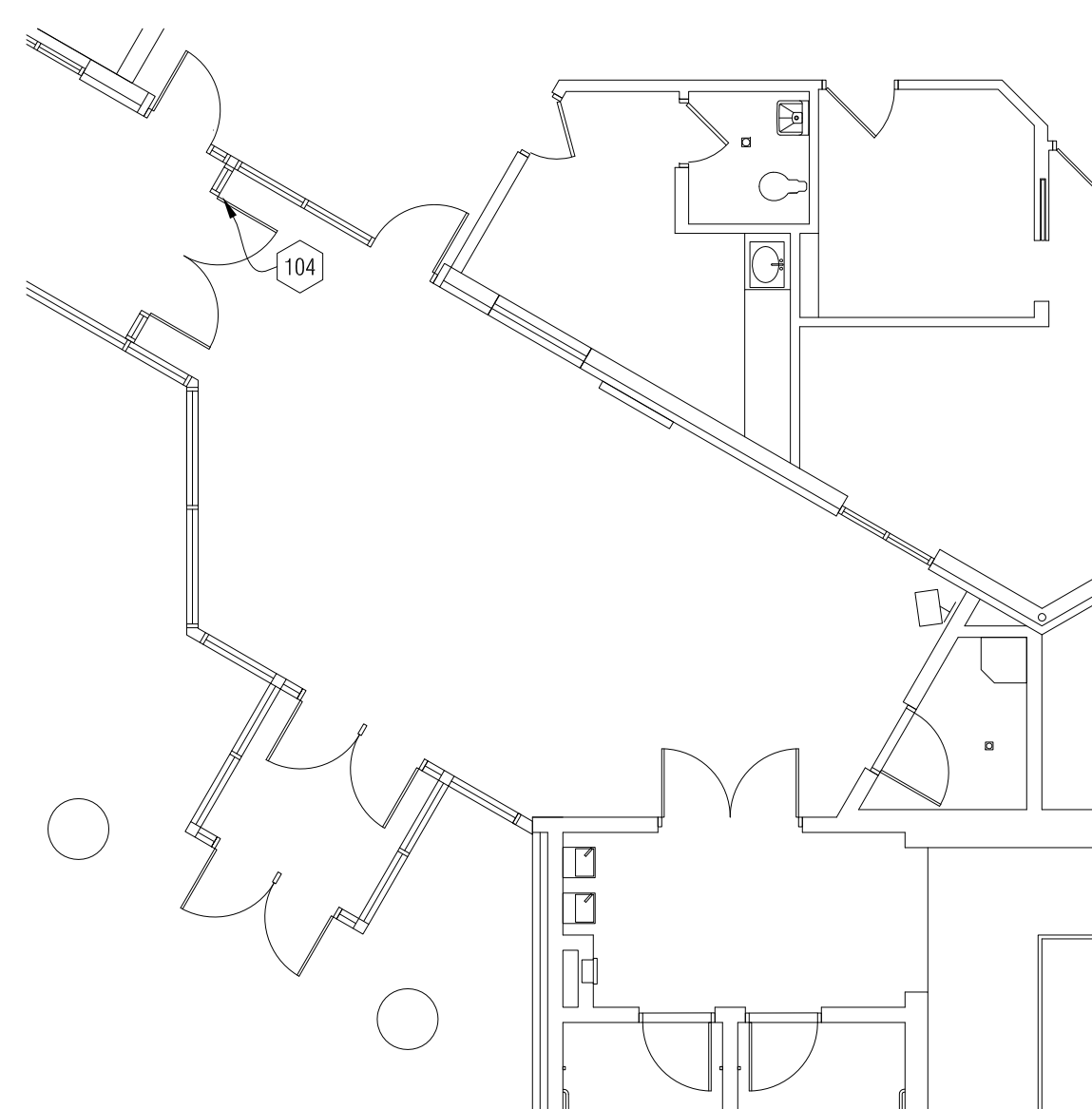
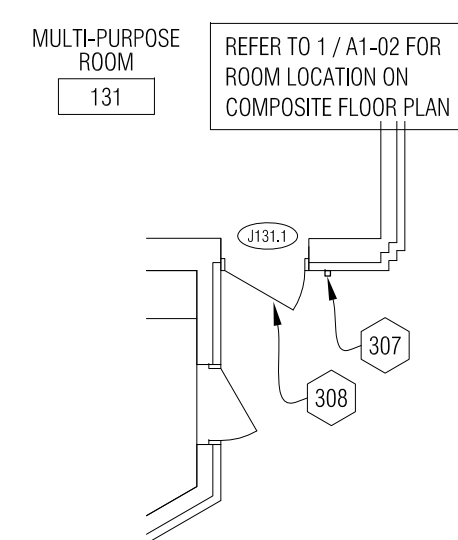
INSTALL SURFACE APPLIED FILM (SAF-1) AT GLAZING AS SHOWN - REFER TO SPECIFICATION



6 Electrical Plan  
1/8" = 1'-0"  
REFER TO COMPOSITE FLOOR PLANS FOR LOCATION OF EXISTING ELECTRICAL PANEL



2 New Work Floor Plan  
1/8" = 1'-0"



1 Demolition Floor Plan  
1/8" = 1'-0"

DEMOLITION KEY NOTES

- FLOOR PLANS:
- 101 REMOVE EXISTING BASEBOARD PIPING COVER.
  - 102 CAREFULLY CUT & REMOVE PORTION OF EXISTING RUBBER BASE TO ALLOW FOR NEW WORK TO BE INSTALLED FLUSH TO EXISTING CONSTRUCTION.
  - 103 EXISTING TERRAZZO FLOOR - PROTECT DURING CONSTRUCTION
  - 104 EXISTING CARD ACCESS DEVICE TO REMAIN. COORDINATE WITH NEW CARD ACCESS SYSTEM INSTALLATIONS.
  - 105 REMOVE FLUSH BOLT FLOOR RECEIVERS & PORTION OF VCT. PREPARE FOR NEW WORK.
  - 106 REMOVE AND SALVAGE EXISTING ALUMINUM DOORS FOR RELOCATION.
  - 107 REMOVE ALUM / GLASS STOREFRONT SYSTEM COMPLETE.
  - 108 DISCONNECT AND SALVAGE EXISTING DOOR ACCESS CONTROLS & WIRING FOR RELOCATION IN NEW STOREFRONT SYSTEM.
  - 109 REMOVE HOLLOW METAL AND GLASS SYSTEM COMPLETE. PRESERVE & SHORE IN PLACE EXISTING RATED CLOSURE CONSTRUCTION ABOVE EXISTING FRAME TO BE REMOVED. PATCH & REPAIR TO MAINTAIN EXISTING RATING.
  - 110 REMOVE SOLID CORE WOOD DOOR & HARDWARE COMPLETE
  - 111 REMOVE CARPET TO EXTENT INDICATED. ALLOW FOR PRESERVATION OF EXISTING CARPET TO REMAIN.
  - 112 REMOVE WINDOW, PORTION OF MASONRY WALL AND LINTEL ABOVE WINDOW. PREPARE WALL & FLOOR FOR NEW WORK.
  - 113 CAREFULLY REMOVE PLAM COUNTER TOP TO SALVAGE EXISTING BASE CABINETS BELOW FOR RELOCATION (NUMBER OF CABS SHOWN ON KEYNOTE).
  - 114 REMOVE & SALVAGE PLAM BASE CABINETS TO BE TURNED OVER TO OWNER. (NUMBER OF CABS SHOWN ON KEYNOTE).
  - 115 REMOVE EXISTING PLAM COUNTER TOP, UPPER CABINET AND SUPPORTS COMPLETE.
  - 116 CAREFULLY REMOVE EXISTING PLAM WORKSTATION & BASE CABS TO BE RELOCATED.
  - 117 EXISTING CARPET TO REMAIN - PROTECT DURING CONSTRUCTION
- CEILING PLANS:
- 201 CAREFULLY REMOVE EXISTING CEILING GRID AND PADS AS REQUIRED FOR INSTALLATION OF NEW WORK. SALVAGE FOR REINSTALLATION.
  - 202 CAREFULLY REMOVE EXISTING SPEAKER. SALVAGE FOR RELOCATION.
  - 203 EXISTING LIGHT FIXTURE TO REMAIN - PROTECT DURING CONSTRUCTION
  - 204 EXISTING WALL MTD TV TO REMAIN - PROTECT DURING CONSTRUCTION
  - 205 REMOVE EXISTING EXIT SIGN. COORD RE-ROUTING OF POWER & CONDUIT TO NEW EXIT SIGN LOCATION - REFER TO REFLECTED CEILING PLAN
  - 206 REMOVE & REINSTALL POWER & DATA CONDUITS TO COMPLETE WORK.
  - 207 EXISTING GYPSUM BD BULKHEAD

NEW WORK KEY NOTES

- FLOOR PLANS:
- 301 CARD READER JUNCTION BOX LOCATION
  - 302 VIDEO / INTERCOM UNIT WITH DOOR RELEASE
  - 303 NEW ALUM / GLASS STOREFRONT WITH DOOR(S) AS SCHEDULED. REFER TO ELEVATIONS FOR GLASS TYPES.
  - 304 NEW H.M. / GLASS STOREFRONT WITH DOOR AS SCHEDULED. REFER TO ELEVATIONS FOR GLASS TYPES.
  - 305 NEW GYP BD ON METAL FRAMING. ENCLOSE EXISTING BASEBOARD MECHANICAL PIPING
  - 306 NEW REMOVABLE ACCESS PANEL FOR ACCESS TO BASEBOARD MECHANICAL PIPING (REFER TO DETAIL 1/A1-03)
  - 307 NEW ADJUSTABLE DOOR SIGNAL BUTTON CONNECTED TO SPEAKER IN MULTI-PURPOSE ROOM J131.
  - 308 NEW FINISHED PLAM END PANEL TO MATCH EXISTING
  - 309 PATCH & REPAIR HOLE WITH TOOTHED-IN MASONRY. PAINT WALL FROM CORNER TO CORNER, FLOOR TO CEILING TO MATCH EXISTING.
  - 310 PATCH & REPAIR WALL & MULLION TO LIKE NEW CONDITION. PAINT TO MATCH EXISTING.
  - 311 NEW DOOR LITE & TRIM KIT INSTALLED INTO EXISTING HM DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- CEILING PLANS:
- 401 MODIFY AND REINSTALL SALVAGED CEILING GRID AND PADS. PROVIDE NEW CEILING GRID AND PADS AS REQUIRED TO COMPLETE CEILING SYSTEM.
  - 402 PAINT EXISTING BULKHEAD. PATCH & REPAIR AS NECESSARY FOR LIKE NEW FINISH.
  - 403 REINSTALL EXISTING SALVAGED SPEAKER IN EXISTING CEILING TILE

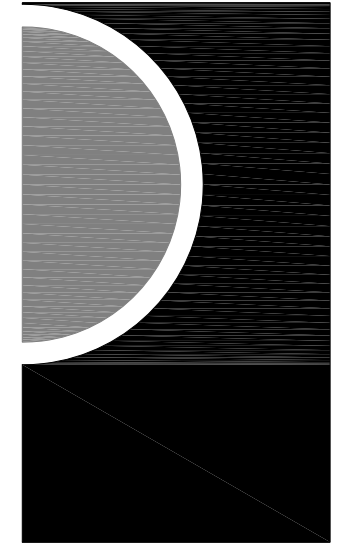
FINISH FLOOR PLANS:

- 501 PATCH FLOOR WITH CONCRETE FILLER AND PREPARE FOR NEW VCT PATCH TO MATCH EXISTING FOR LIKE NEW FINISH
- 502 NEW FLUSH BOLT FLOOR RECEIVER FOR RELOCATED EXISTING DOORS
- 503 [ALT # 2] - NEW CARPET & RUBBER WALL BASE (CARPET TO BE PROVIDED BY OWNER)
- 504 NEW RUBBER TRANSITION STRIP
- 505 [ALT # 2] - PROVIDE BACKING REINFORCEMENT AND SEAMING OF NEW AND EXISTING CARPETS TO REMAIN. PROVIDE REINFORCED/ADHERED SEAMING TAPE COMPATIBLE WITH NEW AND EXISTING BACKING SYSTEMS. VERIFY EXISTING BACKING SYSTEM IN FIELD.

ELECTRICAL KEY NOTES

- 601 JUNCTION BOX ABOVE CEILING. EXTEND CIRCUIT TO DOOR SECURITY SYSTEM. PROVIDE EACH DOOR WITH 1/2" C INTO DOOR FRAMES AND BACK TO MAIN OFFICE AS REQUIRED BY DOOR SECURITY SYSTEM.
- 602 RELOCATE SPEAKER TO CLEAR NEW DOOR AND FRAME INSTALLATION. COORDINATE WITH DOOR LAY OUT IN FIELD.
- 603 NEW DUPLEX OUTLET FOR VIDEO SECURITY MAIN STATION. CONNECT TO SPARE 20A 1P SPARE BREAKER IN EXISTING LP-G.
- 604 JUNCTION BOX FOR VIDEO SECURITY DOOR STATION PROVIDE WITH A 3/4" CONDUIT TO MAIN OFFICE.
- 605 NEW DATA OUTLET FOR VIDEO SECURITY MAIN STATION. VERIFY EXACT LOCATION IN FIELD.
- 606 CONNECT TO SPARE 20A 1P SPARE BREAKER IN EXISTING RP-1110R
- 607 VIDEO SECURITY MAIN STATION. VERIFY EXACT LOCATION IN FIELD. CONNECT TO NEAREST AVAILABLE 20A - 120V - 1P CIRCUIT.
- 608 EXTEND DOOR SECURITY CIRCUIT TO NEW SECURITY DOOR LOCATION.
- 609 RELOCATE PA SYSTEM BELL
- 610 CONNECT TO SPARE 20A - 120V - 1P CIRCUIT IN EXISTING LP-B
- 611 PROVIDE WEATHER PROOF PUSH BUTTON AND DOOR BELL AS MANUFACTURED BY SUNPSCD 8174. PROVIDE BELL WITH PROTECTIVE WIRE GUARD. CONNECT TO NEAREST AVAILABLE 20A-120V-1P CIRCUIT.
- 612 CONNECT TO SPARE 20A-1P BREAKER IN EXISTING LP-C.
- 613 CONNECT TO SPARE 20A - 1P BREAKER IN EXISTING RP-A3
- 614 CONNECT TO SPARE 20A - 1P BREAKER IN EXISTING RP-A4
- 615 MODIFY EXISTING POWER & DATA RACEWAY. RELOCATE ENDCAPS. TURN OVER DEVICES & BRACKETS TO OWNER.

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CONSULTANT

KEY PLAN

OWNER

Warren Consolidated Schools

PROJECT NAME

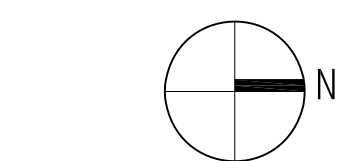
Secure Entrance Improvements

PROJECT NO.

12-157

ISSUES / REVISIONS

Owner Review	3/26/2013
Bidding / Construction	4/2/2013



DRAWN BY

CHECKED BY

APPROVED BY

SHEET NAME

JEFFERSON  
ELEMENTARY

SHEET NO.

A3-05

INSTALL SURFACE APPLIED FILM (SAF-1) AT GLAZING AS SHOWN - REFER TO SPECIFICATION



APPROXIMATE GLAZING AREA: 8 SF



NOTE: PHOTO SHOWN IS EXTERIOR- FILM TO BE INSTALLED AT INTERIOR SIDE OF GLAZING  
APPROXIMATE GLAZING AREA: 188 SF

11 Storefront Elevation

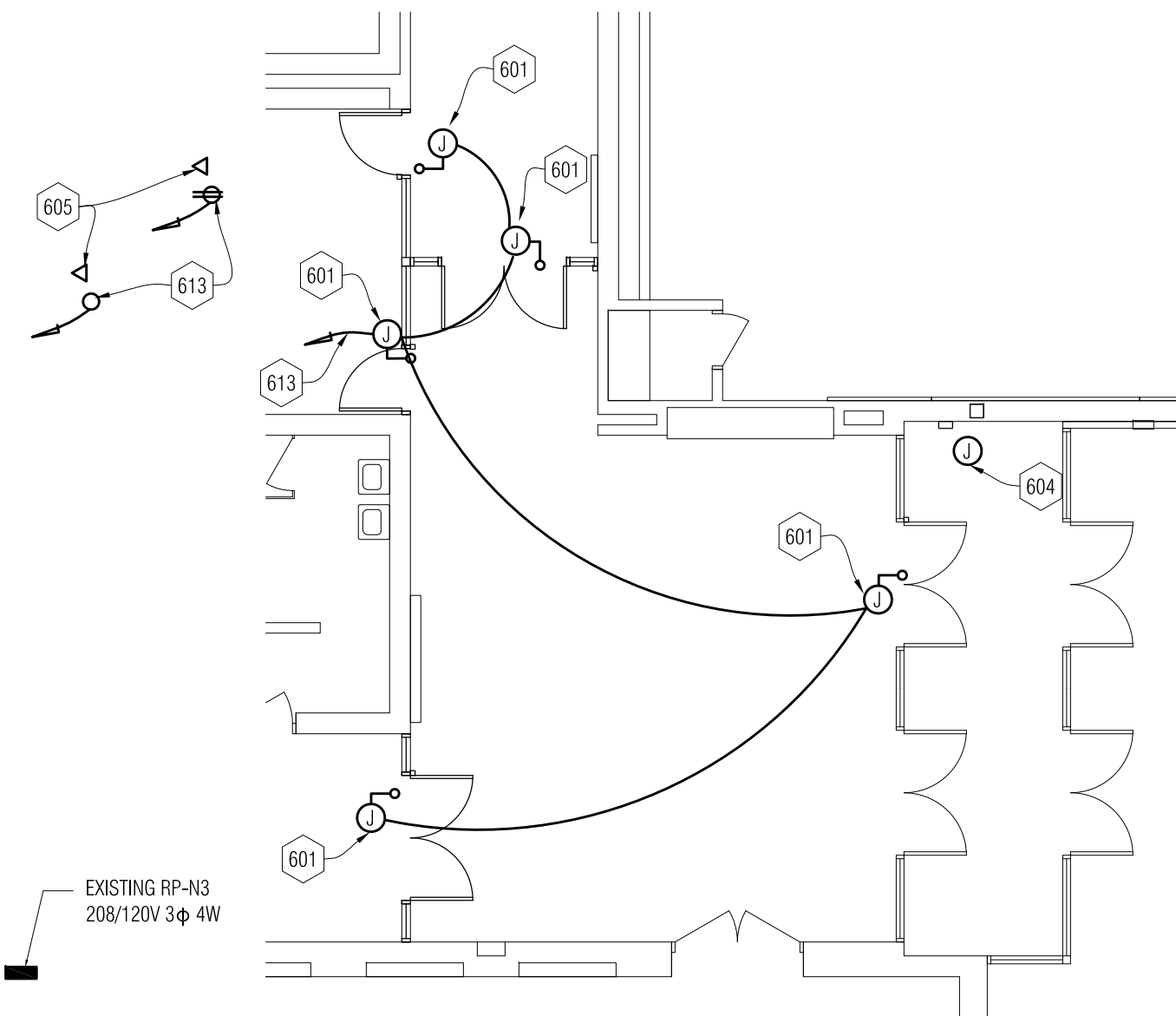
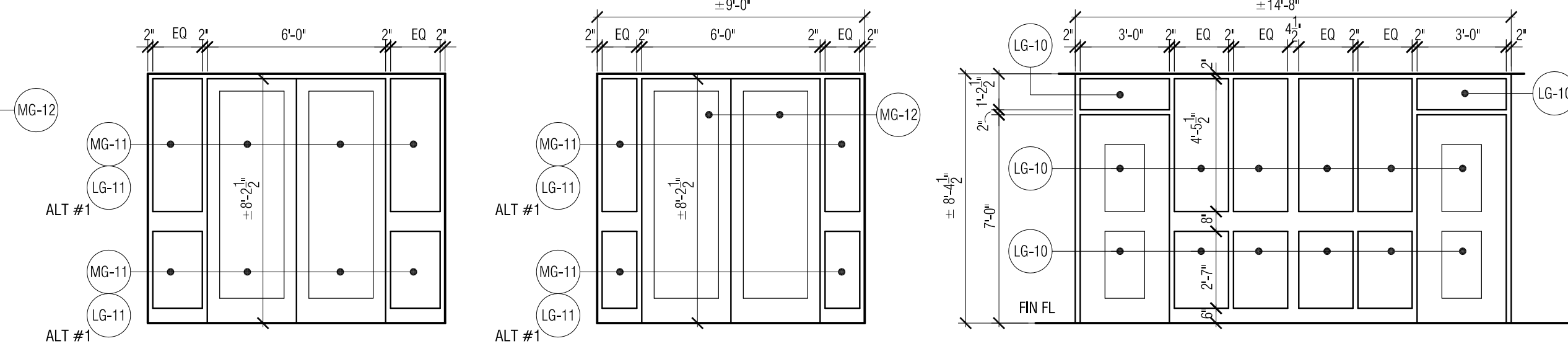
10 Storefront Elevation

9 Storefront Elevation  
1/4" = 1'-0"

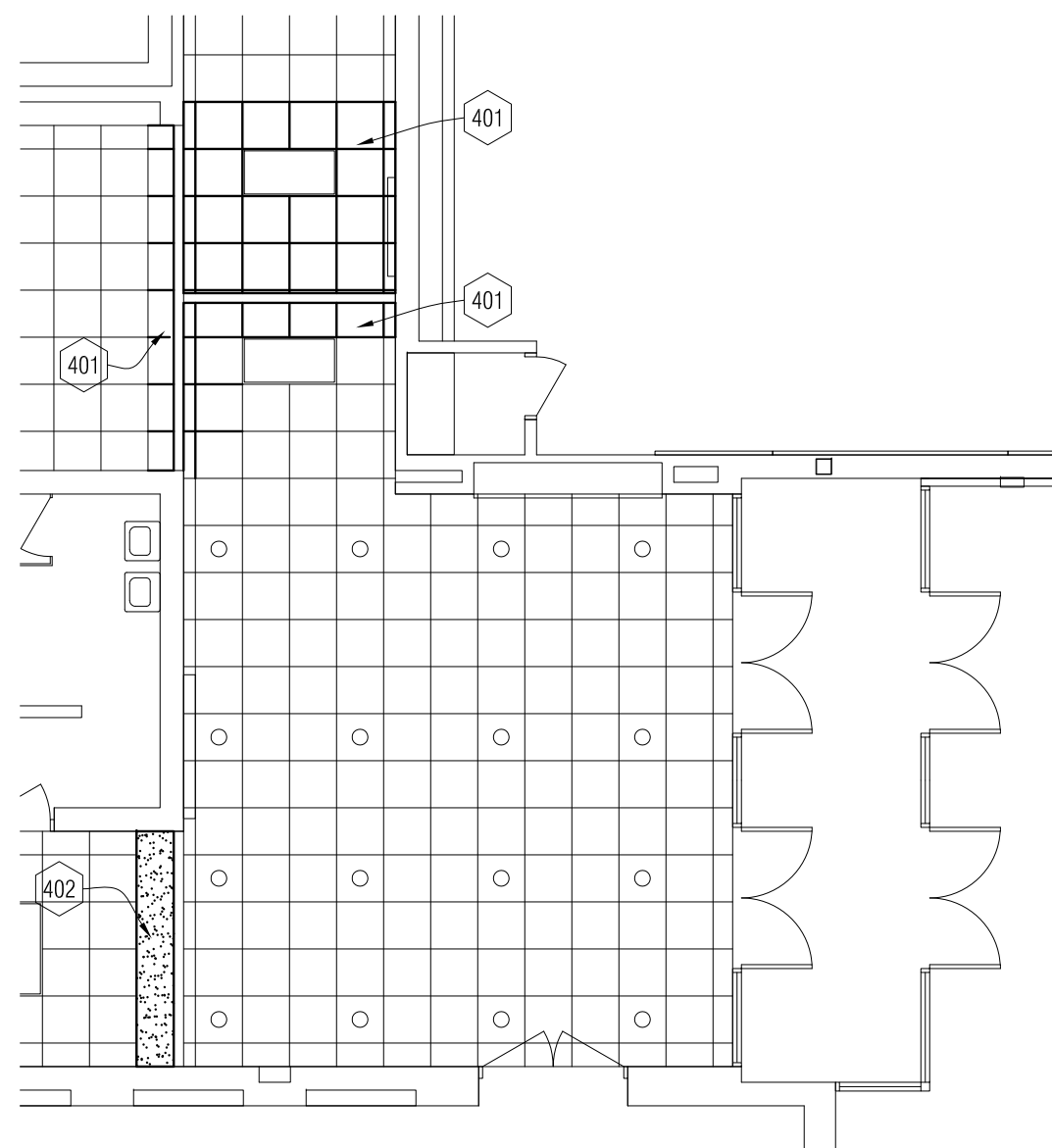
8 Storefront Elevation  
1/4" = 1'-0"

7 Hollow Metal Frame Elevation  
1/4" = 1'-0"

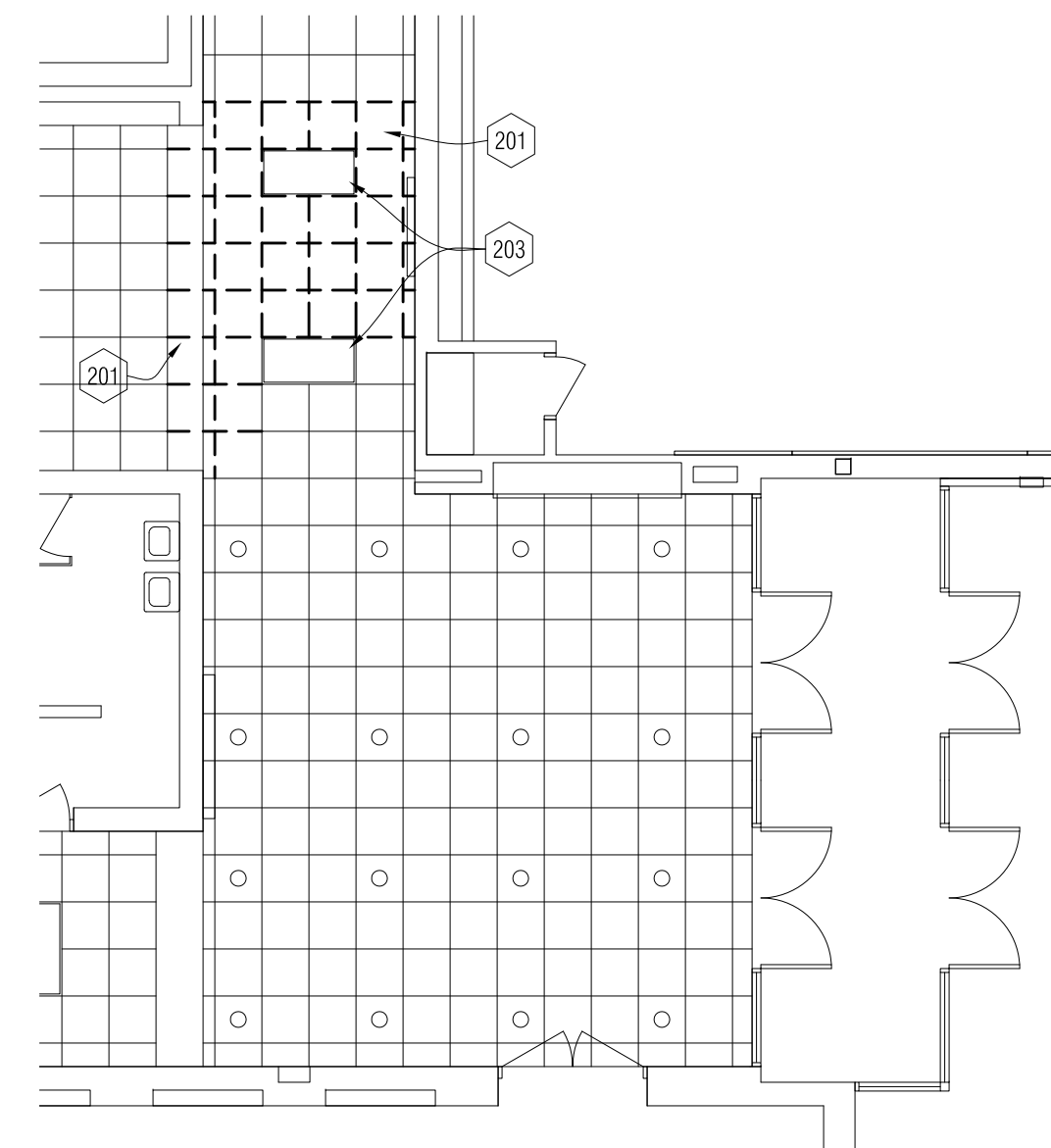
NOTE: CONSTRUCT FRAME IN (2) SECTIONS & FIELD WELD IF NECESSARY TO RECEIVE APPROPRIATE FIRE RATING CERTIFICATION & TO PROVIDE APPROPRIATE LABELS DESIGNATING FIRE RATING



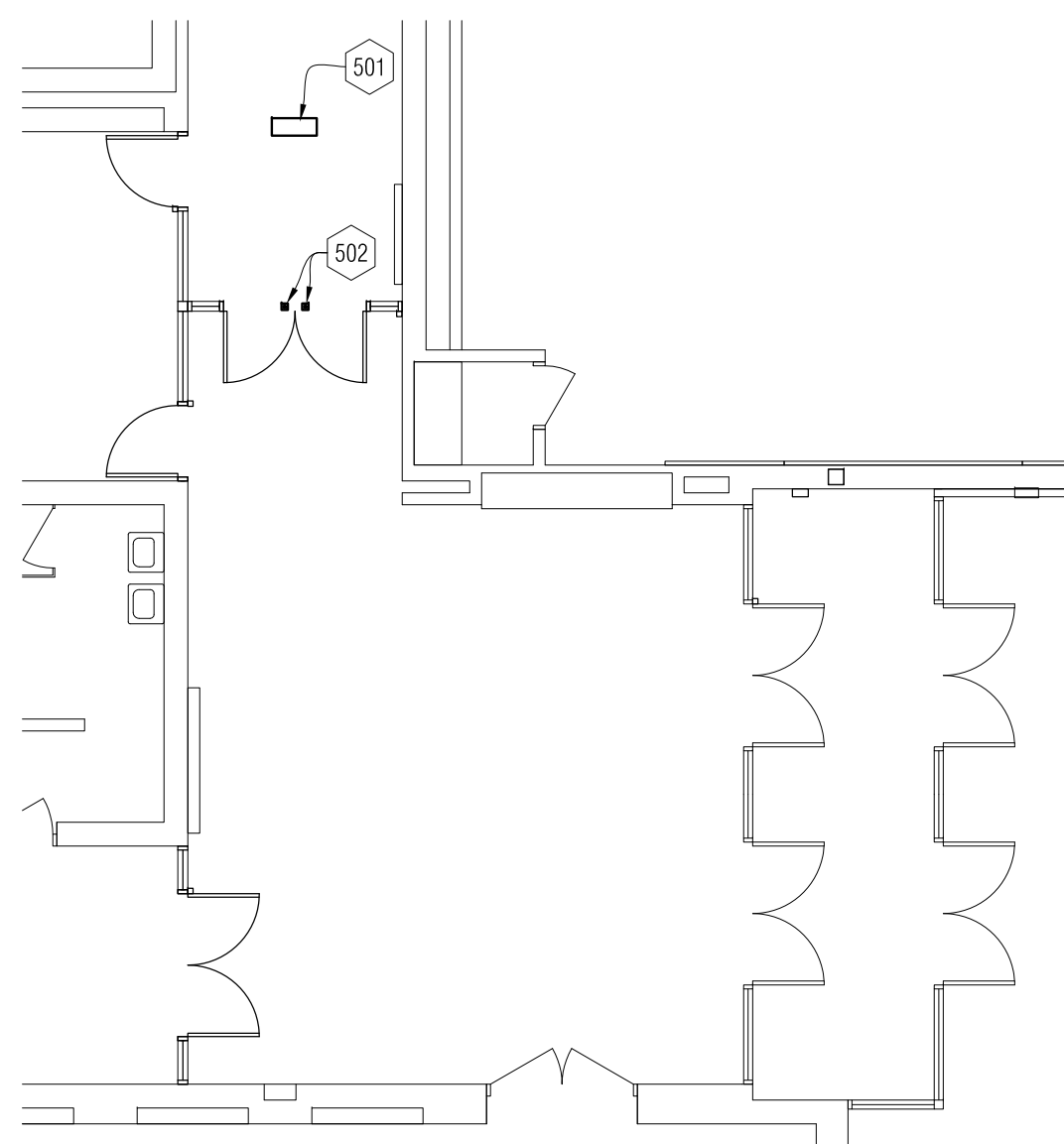
6 Electrical Plan  
1/8" = 1'-0"  
REFER TO 3/A3-01 FOR ROOM NAMES AND NUMBERS



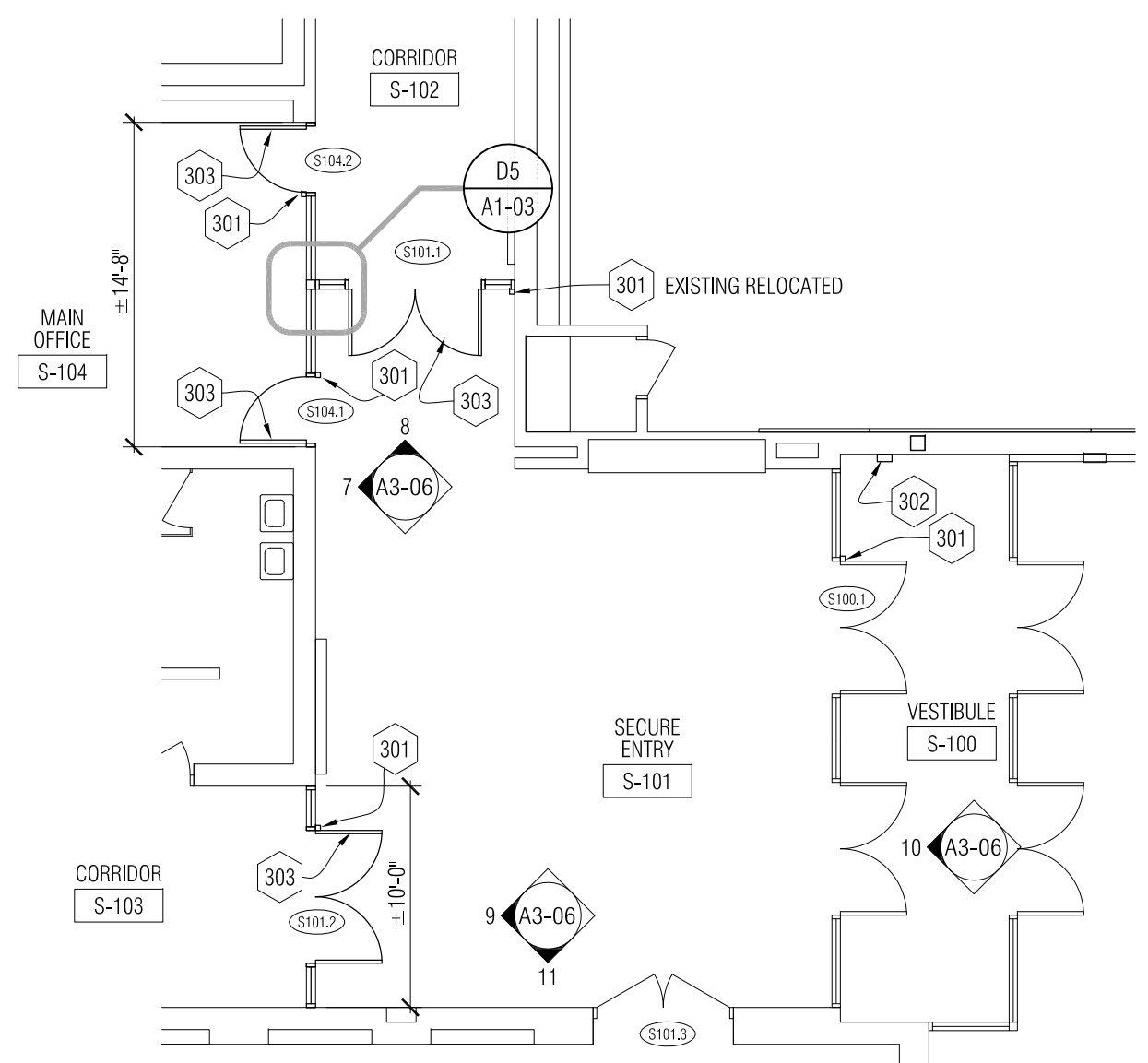
4 Reflected Ceiling Plan  
1/8" = 1'-0"  
REFER TO 3/A3-01 FOR ROOM NAMES AND NUMBERS



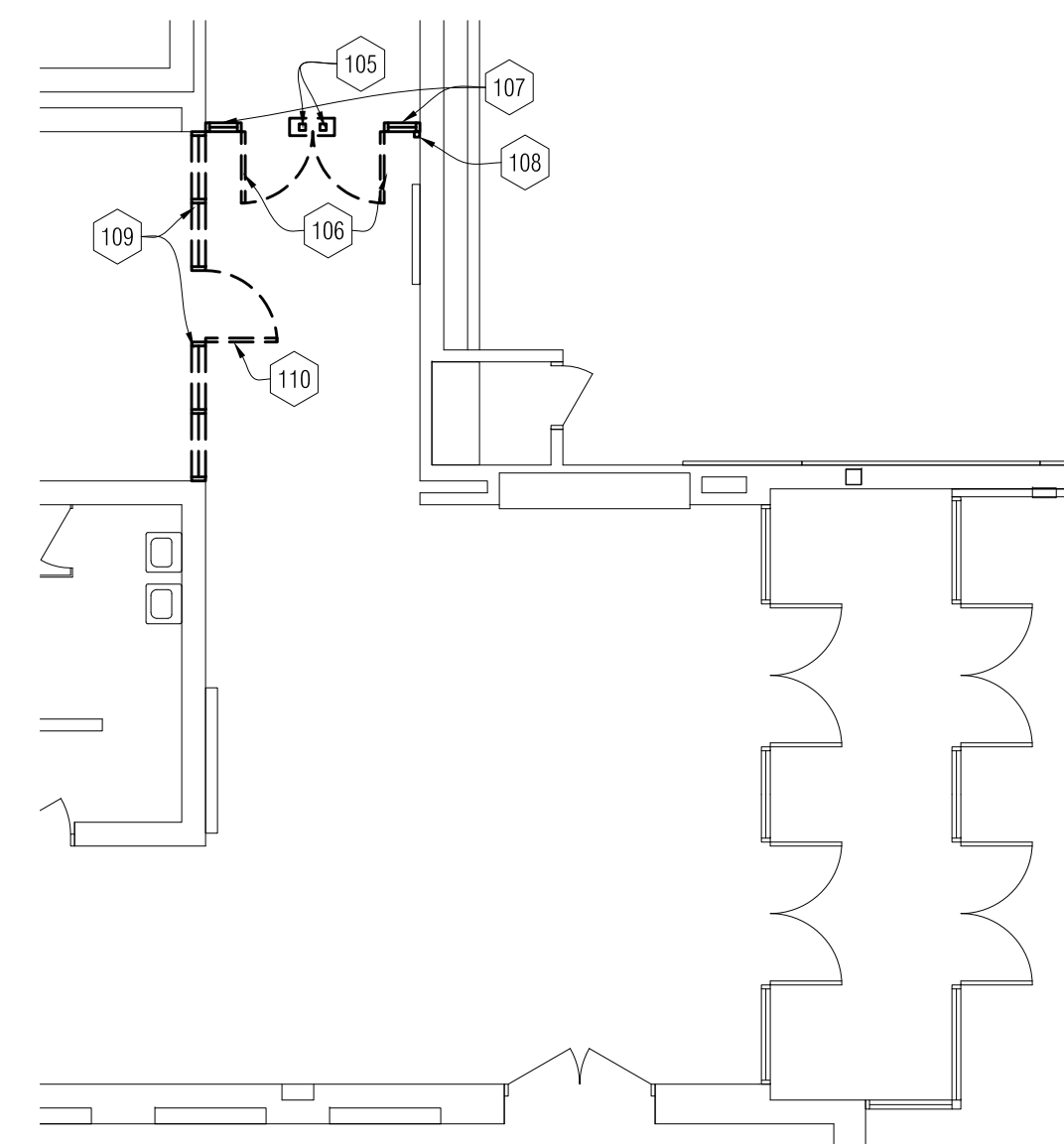
2 Demolition Reflected Ceiling Plan  
1/8" = 1'-0"  
REFER TO 3/A3-01 FOR ROOM NAMES AND NUMBERS



5 Finish Floor Plan  
1/8" = 1'-0"  
REFER TO 3/A3-01 FOR ROOM NAMES AND NUMBERS



3 New Work Floor Plan  
1/8" = 1'-0"



1 Demolition Floor Plan  
1/8" = 1'-0"  
REFER TO 3/A3-01 FOR ROOM NAMES AND NUMBERS

DEMOLITION KEY NOTES

- FLOOR PLANS:
- 101 REMOVE EXISTING BASEBOARD PIPING COVER.
  - 102 CAREFULLY CUT & REMOVE PORTION OF EXISTING RUBBER BASE TO ALLOW FOR NEW WORK TO BE INSTALLED FLUSH TO EXISTING CONSTRUCTION.
  - 103 EXISTING TERRAZZO FLOOR - PROTECT DURING CONSTRUCTION
  - 104 EXISTING CARD ACCESS DEVICE TO REMAIN. COORDINATE WITH NEW CARD ACCESS SYSTEM INSTALLATIONS.
  - 105 REMOVE FLUSH BOLT FLOOR RECEIVERS & PORTION OF VCT. PREPARE FOR NEW WORK.
  - 106 REMOVE AND SALVAGE EXISTING ALUMINUM DOORS FOR RELOCATION.
  - 107 REMOVE ALUM / GLASS STOREFRONT SYSTEM COMPLETE.
  - 108 DISCONNECT AND SALVAGE EXISTING DOOR ACCESS CONTROLS & WIRING FOR RELOCATION IN NEW STOREFRONT SYSTEM.
  - 109 REMOVE HOLLOW METAL AND GLASS SYSTEM COMPLETE. PRESERVE & SHORE IN PLACE EXISTING RATED CLOSURE CONSTRUCTION ABOVE EXISTING FRAME TO BE REMOVED. PATCH & REPAIR TO MAINTAIN EXISTING RATING.
  - 110 REMOVE SOLID CORE WOOD DOOR & HARDWARE COMPLETE
  - 111 REMOVE CARPET TO EXTENT INDICATED. ALLOW FOR PRESERVATION OF EXISTING CARPET TO REMAIN.
  - 112 REMOVE WINDOW. PORTION OF MASONRY WALL AND LINTEL ABOVE WINDOW. PREPARE WALL & FLOOR FOR NEW WORK.
  - 113 CAREFULLY REMOVE PLAM COUNTER TOP TO SALVAGE EXISTING BASE CABINETS BELOW FOR RELOCATION (NUMBER OF CABS SHOWN ON KEYNOTE).
  - 114 REMOVE & SALVAGE PLAM BASE CABINETS TO BE TURNED OVER TO OWNER. (NUMBER OF CABS SHOWN ON KEYNOTE).
  - 115 REMOVE EXISTING PLAM COUNTER TOP, UPPER CABINET AND SUPPORTS COMPLETE.
  - 116 CAREFULLY REMOVE EXISTING PLAM WORKSTATION & BASE CABS TO BE RELOCATED.
  - 117 EXISTING CARPET TO REMAIN - PROTECT DURING CONSTRUCTION
- CEILING PLANS:
- 201 CAREFULLY REMOVE EXISTING CEILING GRID AND PADS AS REQUIRED FOR INSTALLATION OF NEW WORK. SALVAGE FOR REINSTALLATION.
  - 202 CAREFULLY REMOVE EXISTING SPEAKER. SALVAGE FOR RELOCATION.
  - 203 EXISTING LIGHT FIXTURE TO REMAIN - PROTECT DURING CONSTRUCTION
  - 204 EXISTING WALL MTD TV TO REMAIN - PROTECT DURING CONSTRUCTION
  - 205 REMOVE EXISTING EXIT SIGN. COORD RE-ROUTING OF POWER & CONDUIT TO NEW EXIT SIGN LOCATION - REFER TO REFLECTED CEILING PLAN
  - 206 REMOVE & REINSTALL POWER & DATA CONDUITS TO COMPLETE WORK.
  - 207 EXISTING GYPSUM BO BULKHEAD

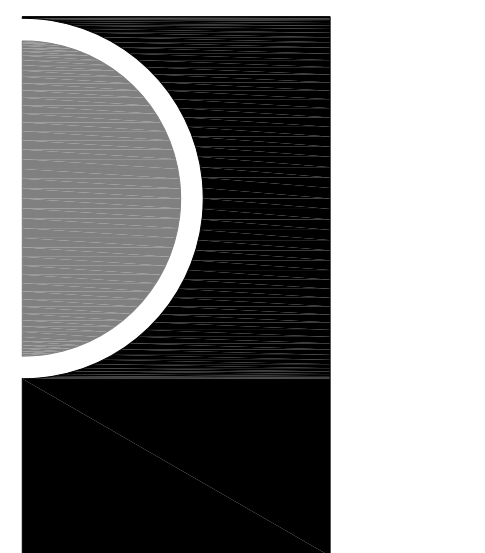
NEW WORK KEY NOTES

- FLOOR PLANS:
- 301 CARD READER JUNCTION BOX LOCATION
  - 302 VIDEO / INTERCOM UNIT WITH DOOR RELEASE
  - 303 NEW ALUM / GLASS STOREFRONT WITH DOOR(S) AS SCHEDULED. REFER TO ELEVATIONS FOR GLASS TYPES.
  - 304 NEW H.M. / GLASS STOREFRONT WITH DOOR AS SCHEDULED. REFER TO ELEVATIONS FOR GLASS TYPES.
  - 305 NEW GYP BO ON METAL FRAMING. ENCLOSE EXISTING BASEBOARD MECHANICAL PIPING
  - 306 NEW REMOVABLE ACCESS PANEL FOR ACCESS TO BASEBOARD MECHANICAL PIPING (REFER TO DETAIL 1/A1-03)
  - 307 NEW AUDIBLE DOOR SIGNAL BUTTON CONNECTED TO SPEAKER IN MULTI-PURPOSE ROOM J131.
  - 308 NEW FINISHED PLAM END PANEL TO MATCH EXISTING
  - 309 PATCH & REPAIR HOLE WITH TOOTHED-IN MASONRY. PAINT WALL FROM CORNER TO CORNER. FLOOR TO CEILING TO MATCH EXISTING.
  - 310 PATCH & REPAIR WALL & MULLION TO LIKE NEW CONDITION. PAINT TO MATCH EXISTING.
  - 311 NEW DOOR LITE & TRIM KIT INSTALLED INTO EXISTING HM DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- CEILING PLANS:
- 401 MOODY AND REINSTALL SALVAGED CEILING GRID AND PADS. PROVIDE NEW CEILING GRID AND PADS AS REQUIRED TO COMPLETE CEILING SYSTEM.
  - 402 PAINT EXISTING BULKHEAD. PATCH & REPAIR AS NECESSARY FOR LIKE NEW FINISH.
  - 403 REINSTALL EXISTING SALVAGED SPEAKER IN EXISTING CEILING TILE
- FINISH FLOOR PLANS:
- 501 PATCH FLOOR WITH CONCRETE FILLER AND PREPARE FOR NEW VCT PATCH TO MATCH EXISTING FOR LIKE NEW FINISH
  - 502 NEW FLUSH BOLT FLOOR RECEIVER FOR RELOCATED EXISTING DOORS
  - 503 [ALT # 2] - NEW CARPET & RUBBER WALL BASE (CARPET TO BE PROVIDED BY OWNER)
  - 504 NEW RUBBER TRANSITION STRIP
  - 505 [ALT #2] - PROVIDE BACKING REINFORCEMENT AND SEAMING OF NEW AND EXISTING CARPETS TO REMAIN. PROVIDE REINFORCED/ADHERED SEAMING TAPE COMPATIBLE WITH NEW AND EXISTING BACKING SYSTEMS. VERIFY EXISTING BACKING SYSTEM IN FIELD.

ELECTRICAL KEY NOTES

- 601 JUNCTION BOX ABOVE CEILING. EXTEND CIRCUIT TO DOOR SECURITY SYSTEM. PROVIDE EACH DOOR WITH 1/2" C INTO DOOR FRAMES AND BACK TO MAIN OFFICE AS REQUIRED BY DOOR SECURITY SYSTEM.
- 602 RELOCATE SPEAKER TO CLEAR NEW DOOR AND FRAME INSTALLATION. COORDINATE WITH DOOR LAY OUT IN FIELD.
- 603 NEW DUPLEX OUTLET FOR VIDEO SECURITY MAIN STATION. CONNECT TO SPARE 20A 1P SPARE BREAKER IN EXISTING LP-6.
- 604 JUNCTION BOX FOR VIDEO SECURITY DOOR STATION PROVIDE WITH A 3/4" CONDUIT TO MAIN OFFICE.
- 605 NEW DATA OUTLET FOR VIDEO SECURITY MAIN STATION VERIFY EXACT LOCATION IN FIELD.
- 606 CONNECT TO SPARE 20A 1P SPARE BREAKER IN EXISTING RP-N1FOR
- 607 VIDEO SECURITY MAIN STATION VERIFY EXACT LOCATION IN FIELD. CONNECT TO NEAREST AVAILABLE 20A - 120V - 1P CIRCUIT.
- 608 EXTEND DOOR SECURITY CIRCUIT TO NEW SECURITY DOOR LOCATION.
- 609 RELOCATE PA SYSTEM BELL
- 610 CONNECT TO SPARE 20A - 120V - 1P CIRCUIT IN EXISTING LP-8
- 611 PROVIDE WEATHER PROOF PUSH BUTTON AND DOOR BELL AS MANUFACTURED BY SUNRISCO B174. PROVIDE BELL WITH PROTECTIVE WIRE GUARD. CONNECT TO NEAREST AVAILABLE 20A-120V-1P CIRCUIT.
- 612 CONNECT TO SPARE 20A-1P BREAKER IN EXISTING LP-C.
- 613 CONNECT TO SPARE 20A - 1P BREAKER IN EXISTING RP-N3
- 614 CONNECT TO SPARE 20A - 1P BREAKER IN EXISTING RP-N4
- 615 MODIFY EXISTING POWER & DATA RACEWAY. RELOCATE ENDCAPS. TURN OVER DEVICES & BRACKETS TO OWNER.

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CONSULTANT

KEY PLAN

OWNER

Warren Consolidated Schools

PROJECT NAME

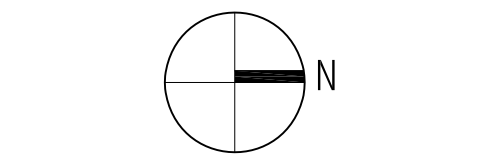
Secure Entrance Improvements

PROJECT NO.

12-157

ISSUES / REVISIONS

Owner Review 3/26/2013  
Bidding / Construction 4/2/2013



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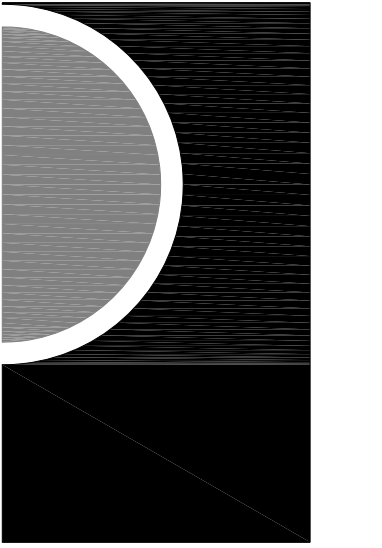
APPROVED BY

SHEET NAME

SIERSMA ELEMENTARY

SHEET NO.

A3-06



DEMOLITION KEY NOTES

FLOOR PLANS:

- 101 REMOVE EXISTING BASEBOARD PIPING COVER.
- 102 CAREFULLY CUT & REMOVE PORTION OF EXISTING RUBBER BASE TO ALLOW FOR NEW WORK TO BE INSTALLED FLUSH TO EXISTING CONSTRUCTION.
- 103 EXISTING TERRAZZO FLOOR - PROTECT DURING CONSTRUCTION
- 104 EXISTING CARD ACCESS DEVICE TO REMAIN. COORDINATE WITH NEW CARD ACCESS SYSTEM INSTALLATIONS.
- 105 REMOVE FLUSH BOLT FLOOR RECEIVERS & PORTION OF VCT. PREPARE FOR NEW WORK.
- 106 REMOVE AND SALVAGE EXISTING ALUMINUM DOORS FOR RELOCATION.
- 107 REMOVE ALUM / GLASS STOREFRONT SYSTEM COMPLETE.
- 108 DISCONNECT AND SALVAGE EXISTING DOOR ACCESS CONTROLS & WIRING FOR RELOCATION IN NEW STOREFRONT SYSTEM.
- 109 REMOVE HOLLOW METAL AND GLASS SYSTEM COMPLETE. PRESERVE & SHORE IN PLACE EXISTING RATED CLOSURE CONSTRUCTION ABOVE EXISTING FRAME TO BE REMOVED. PATCH & REPAIR TO MAINTAIN EXISTING RATING.
- 110 REMOVE SOLID CORE WOOD DOOR & HARDWARE COMPLETE
- 111 REMOVE CARPET TO EXTENT INDICATED. ALLOW FOR PRESERVATION OF EXISTING CARPET TO REMAIN.
- 112 REMOVE WINDOW, PORTION OF MASONRY WALL AND LINTEL ABOVE WINDOW. PREPARE WALL & FLOOR FOR NEW WORK.
- 113 CAREFULLY REMOVE PLAM COUNTER TOP TO SALVAGE EXISTING BASE CABINETS BELOW FOR RELOCATION (NUMBER OF CABS SHOWN ON KEYNOTE).
- 114 REMOVE & SALVAGE PLAM BASE CABINETS TO BE TURNED OVER TO OWNER. (NUMBER OF CABS SHOWN ON KEYNOTE).
- 115 REMOVE EXISTING PLAM COUNTER TOP, UPPER CABINET AND SUPPORTS COMPLETE.
- 116 CAREFULLY REMOVE EXISTING PLAM WORKSTATION & BASE CABS TO BE RELOCATED.
- 117 EXISTING CARPET TO REMAIN - PROTECT DURING CONSTRUCTION

CEILING PLANS:

- 201 CAREFULLY REMOVE EXISTING CEILING GRID AND PADS AS REQUIRED FOR INSTALLATION OF NEW WORK. SALVAGE FOR REINSTALLATION.
- 202 CAREFULLY REMOVE EXISTING SPEAKER. SALVAGE FOR RELOCATION.
- 203 EXISTING LIGHT FIXTURE TO REMAIN - PROTECT DURING CONSTRUCTION
- 204 EXISTING WALL MTD TV TO REMAIN - PROTECT DURING CONSTRUCTION
- 205 REMOVE EXISTING EXIT SIGN. COORD RE-ROUTING OF POWER & CONDUIT TO NEW EXIT SIGN LOCATION - REFER TO REFLECTED CEILING PLAN
- 206 REMOVE & REINSTALL POWER & DATA CONDUITS TO COMPLETE WORK.
- 207 EXISTING GYPSUM ED BULKHEAD

NEW WORK KEY NOTES

FLOOR PLANS:

- 301 CARD READER JUNCTION BOX LOCATION
- 302 VIDEO / INTERCOM UNIT WITH DOOR RELEASE
- 303 NEW ALUM / GLASS STOREFRONT WITH DOOR(S) AS SCHEDULED. REFER TO ELEVATIONS FOR GLASS TYPES.
- 304 NEW H.M. / GLASS STOREFRONT WITH DOOR AS SCHEDULED. REFER TO ELEVATIONS FOR GLASS TYPES.
- 305 NEW GYP BD ON METAL FRAMING. ENCLOSE EXISTING BASEBOARD MECHANICAL PIPING
- 306 NEW REMOVABLE ACCESS PANEL FOR ACCESS TO BASEBOARD MECHANICAL PIPING (REFER TO DETAIL 1/A1-03)
- 307 NEW AUDIBLE DOOR SIGNAL BUTTON CONNECTED TO SPEAKER IN MULTI-PURPOSE ROOM J131.
- 308 NEW FINISHED PLAM END PANEL TO MATCH EXISTING
- 309 PATCH & REPAIR HOLE WITH TOOTHED-IN MASONRY. PAINT WALL FROM CORNER TO CORNER R. FLOOR TO CEILING TO MATCH EXISTING.
- 310 PATCH & REPAIR WALL & MULLION TO LIKE NEW CONDITION. PAINT TO MATCH EXISTING.
- 311 NEW DOOR LITE & TRIM KIT INSTALLED INTO EXISTING HM DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

CEILING PLANS:

- 401 MODIFY AND REINSTALL SALVAGED CEILING GRID AND PADS. PROVIDE NEW CEILING GRID AND PADS AS REQUIRED TO COMPLETE CEILING SYSTEM.
- 402 PAINT EXISTING BULKHEAD. PATCH & REPAIR AS NECESSARY FOR LIKE NEW FINISH.
- 403 REINSTALL EXISTING SALVAGED SPEAKER IN EXISTING CEILING TILE

FINISH FLOOR PLANS:

- 501 PATCH FLOOR WITH CONCRETE FILLER AND PREPARE FOR NEW VCT PATCH TO MATCH EXISTING FOR LIKE NEW FINISH
- 502 NEW FLUSH BOLT FLOOR RECEIVER FOR RELOCATED EXISTING DOORS
- 503 [ALT # 2] - NEW CARPET & RUBBER WALL BASE (CARPET TO BE PROVIDED BY OWNER)
- 504 NEW RUBBER TRANSITION STRIP
- 505 [ALT # 2] - PROVIDE BACKING REINFORCEMENT AND SEAMING OF NEW AND EXISTING CARPETS TO REMAIN. PROVIDE REINFORCED/ADHERED SEAMING TAPE COMPATIBLE WITH NEW AND EXISTING BACKING SYSTEMS. VERIFY EXISTING BACKING SYSTEM IN FIELD.

ELECTRICAL KEY NOTES

- 601 JUNCTION BOX ABOVE CEILING. EXTEND CIRCUIT TO DOOR SECURITY SYSTEM. PROVIDE EACH DOOR WITH 1/2" C INTO DOOR FRAMES AND BACK TO MAIN OFFICE AS REQUIRED BY DOOR SECURITY SYSTEM.
- 602 RELOCATE SPEAKER TO CLEAR NEW DOOR AND FRAME INSTALLATION. COORDINATE WITH DOOR LAY OUT IN FIELD.
- 603 NEW DUPLEX OUTLET FOR VIDEO SECURITY MAIN STATION. CONNECT TO SPARE 20A 1P SPARE BREAKER IN EXISTING LP-G.
- 604 JUNCTION BOX FOR VIDEO SECURITY DOOR STATION PROVIDE WITH A 3/4" CONDUIT TO MAIN OFFICE.
- 605 NEW DATA OUTLET FOR VIDEO SECURITY MAIN STATION. VERIFY EXACT LOCATION IN FIELD.
- 606 CONNECT TO SPARE 20A 1P SPARE BREAKER IN EXISTING RP-N10R
- 607 VIDEO SECURITY MAIN STATION. VERIFY EXACT LOCATION IN FIELD. CONNECT TO NEAREST AVAILABLE 20A - 120V - 1P CIRCUIT.
- 608 EXTEND DOOR SECURITY CIRCUIT TO NEW SECURITY DOOR LOCATION.
- 609 RELOCATE PA SYSTEM BELL
- 610 CONNECT TO SPARE 20A - 120V - 1P CIRCUIT IN EXISTING LP-B
- 611 PROVIDE WEATHER PROOF PUSH BUTTON AND DOOR BELL AS MANUFACTURED BY SUNRISCO B174. PROVIDE BELL WITH PROTECTIVE WIRE GUARD. CONNECT TO NEAREST AVAILABLE 20A-120V-1P CIRCUIT.
- 612 CONNECT TO SPARE 20A-1P BREAKER IN EXISTING LP-C.
- 613 CONNECT TO SPARE 20A - 1P BREAKER IN EXISTING RP-N3
- 614 CONNECT TO SPARE 20A - 1P BREAKER IN EXISTING RP-N4
- 615 MODIFY EXISTING POWER & DATA RACEWAY. RELOCATE ENDCAPS. TURN OVER DEVICES & BRACKETS TO OWNER.

INSTALL SURFACE APPLIED FILM (SAF-1) AT GLAZING AS SHOWN - REFER TO SPECIFICATION

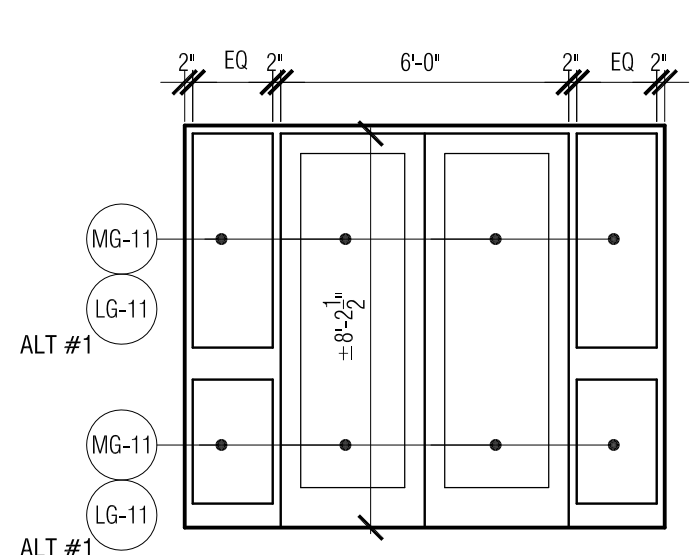


APPROXIMATE GLAZING AREA: 8 SF

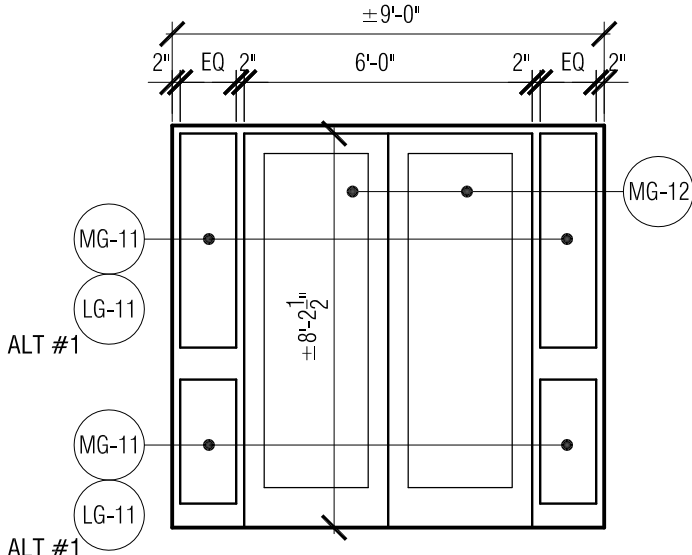


NOTE: PHOTO SHOWN IS EXTERIOR- FILM TO BE INSTALLED AT INTERIOR SIDE OF GLAZING

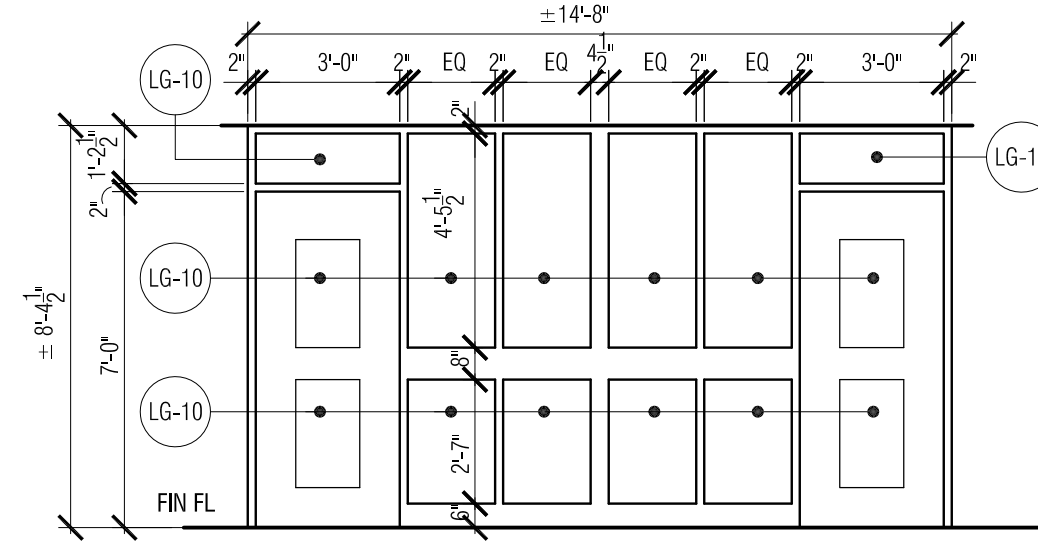
APPROXIMATE GLAZING AREA: 188 SF



9 Storefront Elevation  
 1/4" = 1'-0"



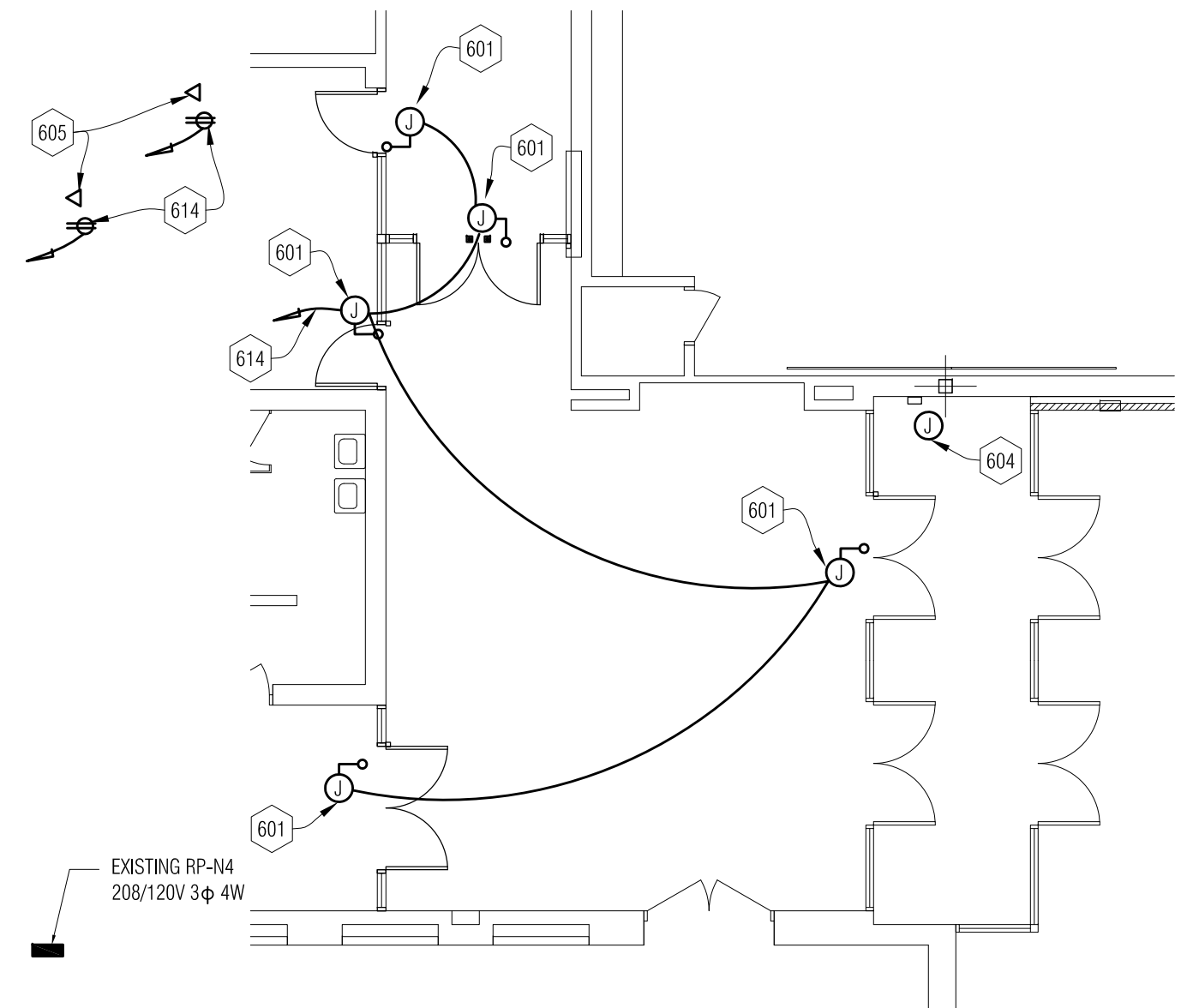
8 Storefront Elevation  
 1/4" = 1'-0"



7 Hollow Metal Frame Elevation  
 1/4" = 1'-0"

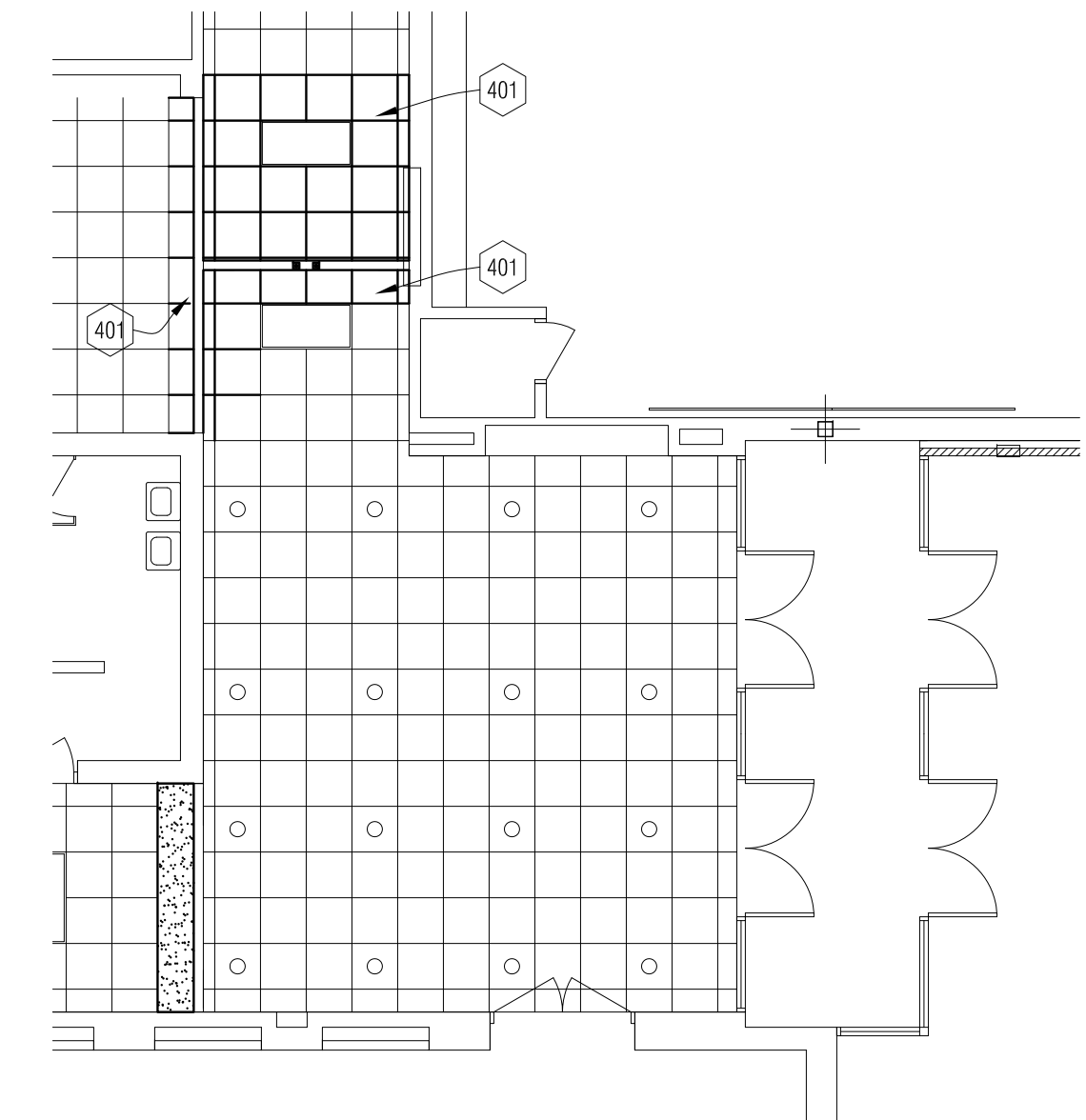
11 Existing Door Elevation

10 Existing Storefront Elevation

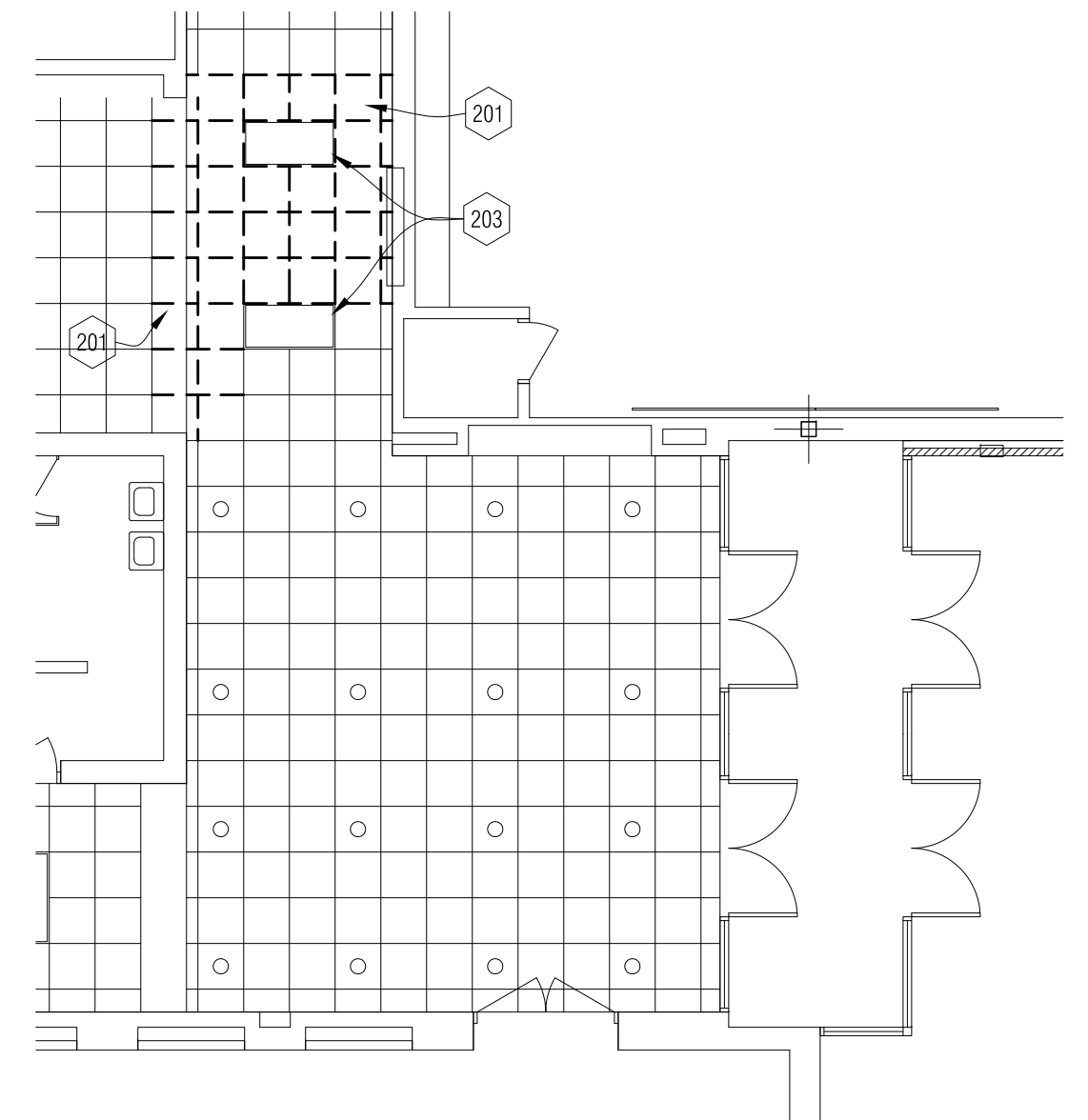


6 Electrical Plan  
 1/8" = 1'-0"

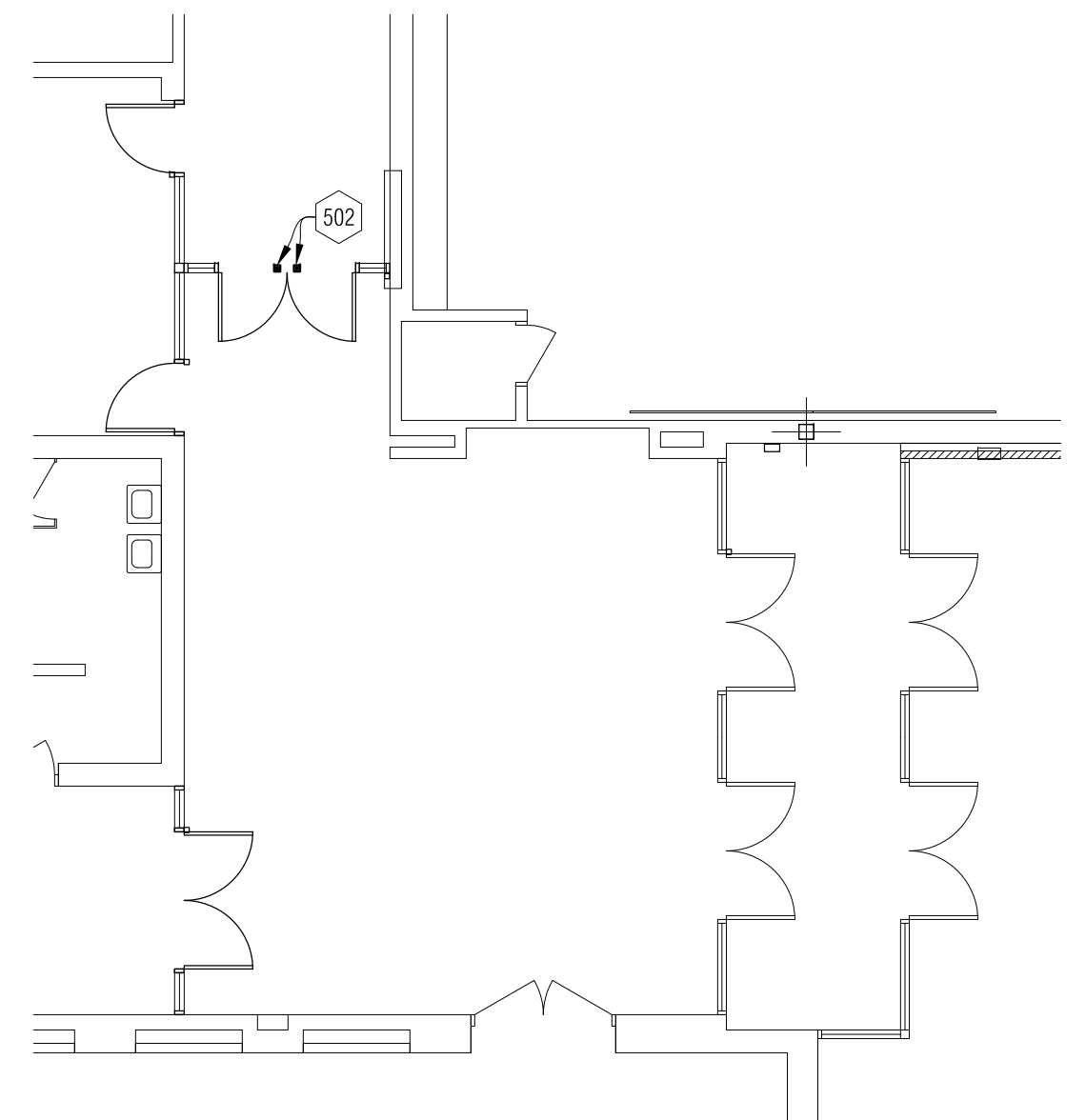
REFER TO COMPOSITE FLOOR PLANS FOR LOCATION OF EXISTING ELECTRICAL PANEL



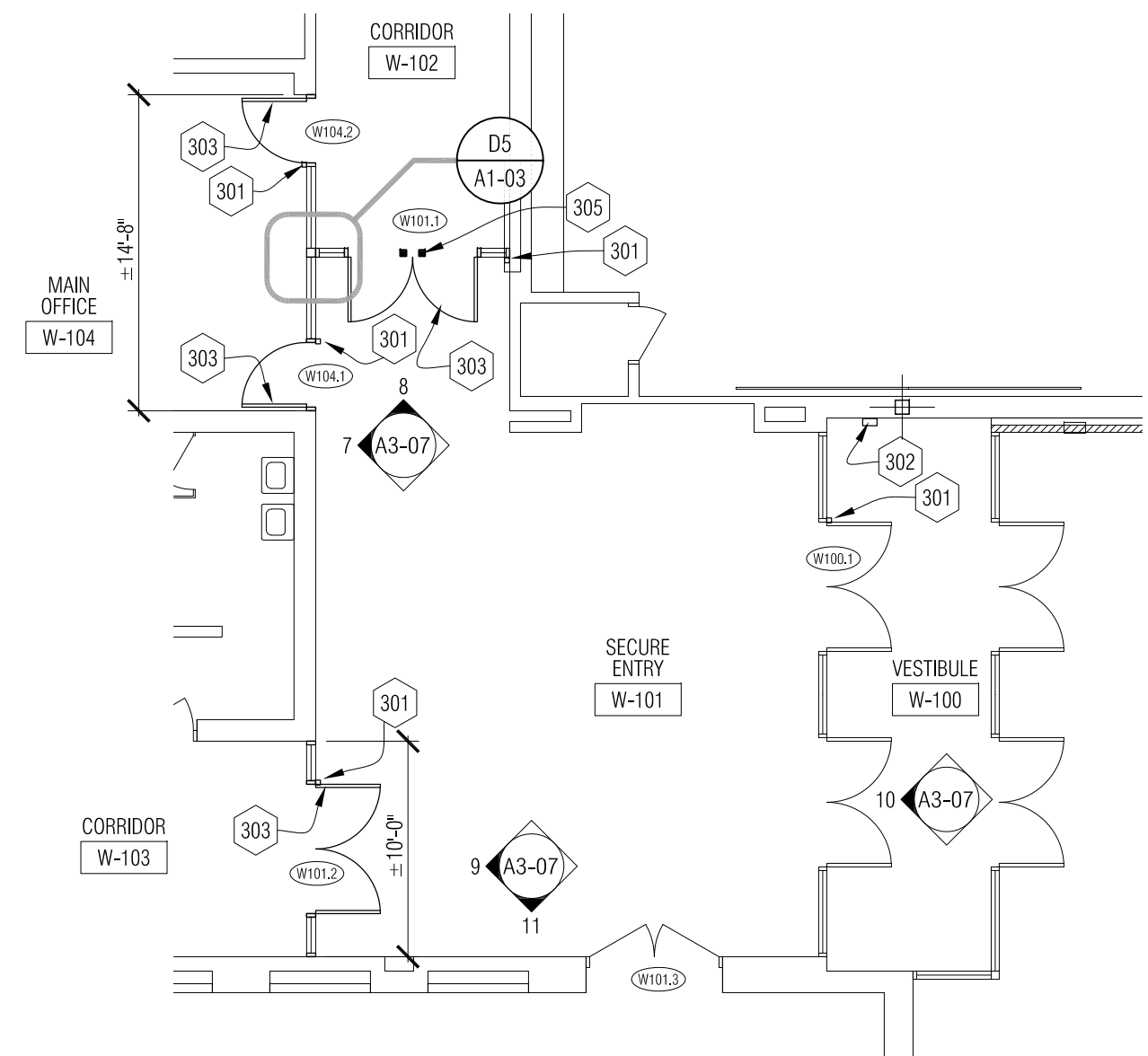
4 Reflected Ceiling Plan  
 1/8" = 1'-0"



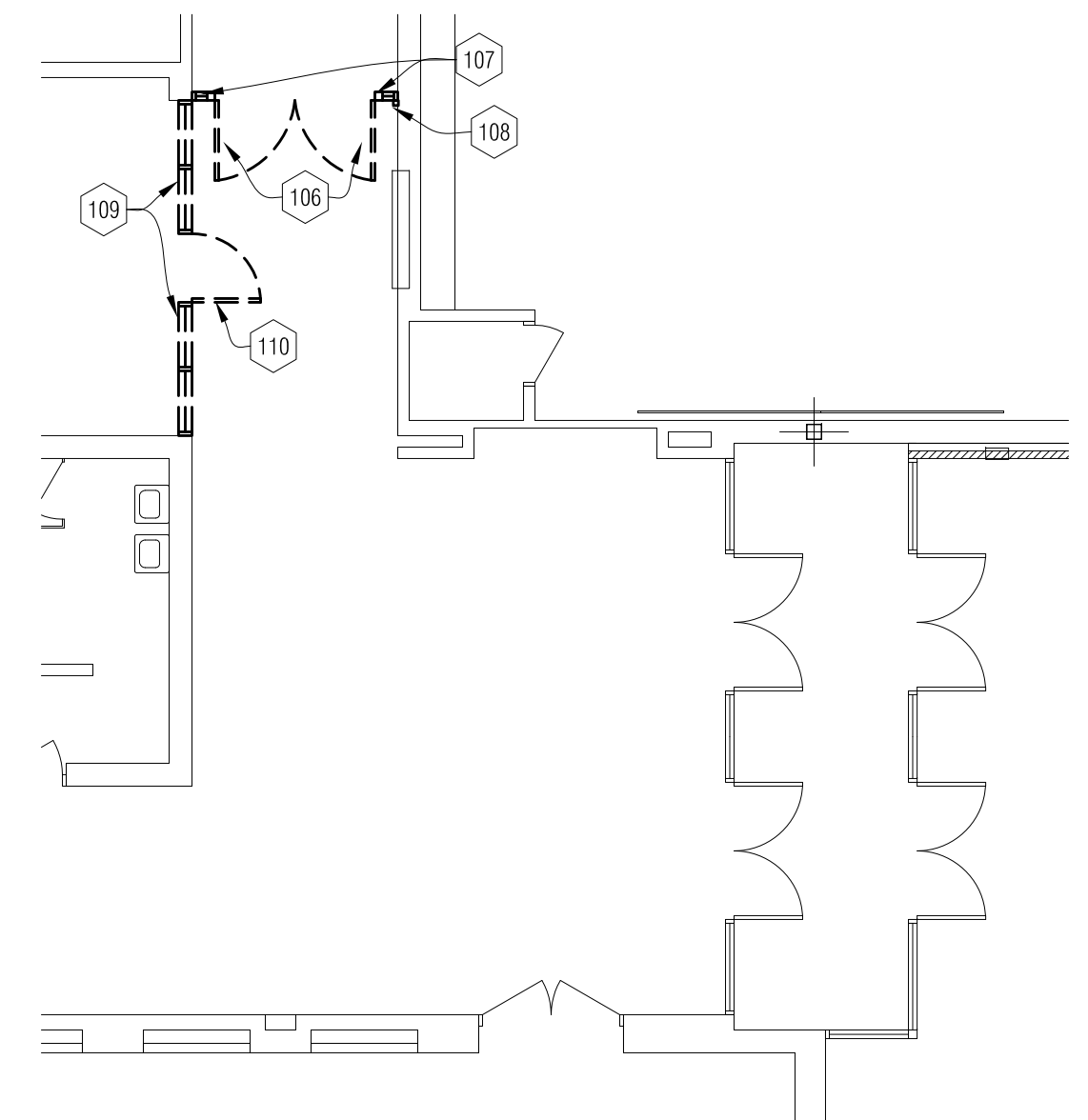
2 Demolition Reflected Ceiling Plan  
 1/8" = 1'-0"



5 Finish Floor Plan  
 1/8" = 1'-0"



3 New Work Floor Plan  
 1/8" = 1'-0"



1 Demolition Floor Plan  
 1/8" = 1'-0"

**ELECTRICAL SPECIFICATIONS**

**GENERAL REQUIREMENTS:**

ALL WORK SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE, LATEST EDITION, AND ALL LOCAL AND STATE AUTHORITIES HAVING JURISDICTION THEREOF.

ALL EQUIPMENT SHALL BE SPECIFICATION GRADE AND SHALL HAVE U.L. LABEL FOR INTENDED USE.

ELECTRICAL SYSTEMS SHALL BE COMPLETE IN EVERY DETAIL, INCLUDING ALL INCIDENTAL ITEMS FOR A PROPER AND FUNCTIONING INSTALLATION SUBJECT TO FINAL APPROVAL OF ARCHITECT/ENGINEER.

ALL REQUIRED PERMIT AND INSPECTIONS SHALL BE OBTAINED BY CONTRACTOR AND SUCH COSTS SHALL BE INCLUDED IN BID PRICE FOR THIS WORK.

PROVIDE UL LISTED SYSTEM FOR FIRE STOPPING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. PROVIDE SYSTEM WITH EQUAL OR GREATER RATING THAN ASSEMBLY. REFER TO ARCHITECTURAL DOCUMENTS FOR RATINGS AND LOCATIONS OF ASSEMBLIES.

EXAMINATION OF SITE IS MANDATORY. CONTRACTOR IS HEREBY HELD TO HAVE EXAMINED THE SITE AND HAVE INCLUDED IN HIS BID PRICE ALL COSTS DUE TO SITE AND FIELD CONDITIONS.

COMPLETE IDENTIFICATION OF PROJECT ELECTRICAL COMPONENTS IS REQUIRED. IDENTIFY ALL PANELS, DISCONNECTS, CONTROL DEVICES, ETC., WITH THE NOMENCLATURE INDICATED ON THE DOCUMENTS AND WITH POWER SOURCE AND ELECTRICAL RATINGS USING PLASTIC LAMINATE NAMEPLATE. INSTALL TYPEWRITTEN DIRECTORIES OF ALL CIRCUITS ON INSIDE OF PANELS. IDENTIFY WIRING DEVICE COVERPLATES WITH PANELBOARD AND BRANCH CIRCUIT NUMBER SERVING DEVICE. E.G. "A-15", PROVIDE 1/4" MACHINE-WRITTEN BLACK LETTERING ON CLEAR PLASTIC ADHESIVE TAPE. LOCATE ON BOTTOM FRONT OF COVERPLATE, CENTERED BELOW WIRING DEVICE(S). SUBMIT SAMPLE OF LABELED TAPE WITH WIRING DEVICE/COVERPLATE SUBMITTAL. SAMPLE MAY BE ADHERED TO PAPERWORK IN SUBMITTAL, RATHER THAN TO A COVERPLATE.

PROVIDE TEMPORARY POWER AND LIGHTING DURING CONSTRUCTION. REMOVE TEMPORARY WIRING UPON COMPLETION OF THE PROJECT. TEMPORARY SERVICES SHALL BE AS REQUIRED, BY N.E.C. AND OSHA.

GROUND CONTINUITY SHALL BE MAINTAINED THROUGHOUT THE ELECTRICAL SYSTEM. INSTALL EQUIPMENT GROUNDING CONDUCTOR WITH EVERY CIRCUIT.

COORDINATE SIZE AND LOCATION OF ANY REQUIRED ACCESS PANELS IN WALLS OR FINISHED CEILINGS WITH ARCHITECT PRIOR TO INSTALLATION.

**WARRANTY:**

UNLESS A LONGER PERIOD IS SPECIFIED IN INDIVIDUAL PARAGRAPHS, PROVIDE A MINIMUM OF A ONE YEAR WARRANTY ON ALL ELECTRICAL WORK BEGINNING THE DATE OF FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER.

**SUBMITTALS:**

SUBMIT SHOP DRAWINGS FOR ALL MAJOR COMPONENTS OR SYSTEMS OF THE PROJECT. SUBMIT ADDITIONAL SHOP DRAWINGS IF REQUESTED BY ENGINEER.

ADHESIVE TAPE. LOCATE ON BOTTOM FRONT OF COVERPLATE, CENTERED BELOW WIRING DEVICE(S). SUBMIT SAMPLE OF LABELED TAPE WITH WIRING DEVICE/COVERPLATE SUBMITTAL. SAMPLE MAY BE ADHERED TO PAPERWORK IN SUBMITTAL, RATHER THAN TO A COVERPLATE.

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**SUBMITTALS:**

SUBMIT SHOP DRAWINGS FOR ALL MAJOR COMPONENTS OR SYSTEMS OF THE PROJECT. SUBMIT ADDITIONAL SHOP DRAWINGS IF REQUESTED BY ENGINEER.

IT IS THE INTENT OF THE OVERALL DESIGN TO CONCEAL ALL WORK EXCEPT IN UNFINISHED AREAS. IN CASES WHERE IT IS IMPOSSIBLE TO CONCEAL THE WORK, SHORT EXPOSED METAL RACEWAYS MAY BE USED SUBJECT TO APPROVAL OF ENGINEER.

ALL ELECTRICAL OPENINGS THAT ARE ABANDONED IN WALLS, CEILINGS OR FLOOR SHALL BE PROVIDED WITH SUITABLE BLANK COVER PLATES. ABANDONED FLOOR OUTLET SHALL BE PROVIDED WITH .040 BRASS PLATES.

CONDUITS AND OTHER PARTS OF ELECTRICAL SYSTEMS THAT BECOME EXPOSED AS A PART OF NEW WORK SHALL BE REMOVED AS REQUIRED TO A POINT WHERE THE ABANDONED PORTION IS TOTALLY CONCEALED.

ALL SURFACES DAMAGED BY THIS CONTRACTOR IN THE COURSE OF PERFORMING WORK SHALL BE RESTORED TO SATISFACTORY CONDITION, AS DIRECTED BY THE ARCHITECT AND ALL COSTS OF REPAIRS SHALL BE PAID FOR BY THE CONTRACTOR

REMOVE SERVICE TO MECHANICAL, ELECTRICAL AND BUILDING EQUIPMENT INDICATED AS REMOVED OR DISCONNECTED. MAINTAIN CIRCUITS TO EXISTING-TO-REMAIN EQUIPMENT. IDENTIFY UNUSED, REMOVED CIRCUITS ON PANEL SCHEDULE AS SPARE. COORDINATE WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXISTING TO REMAIN EQUIPMENT AND FOR DEMOLITION WORK.

SERVICE SHUTDOWN AND POWER OUTAGES SHALL BE SCHEDULED WITH THE OWNER PRIOR TO PERFORMING ANY WORK ON EXISTING SERVICE. SCHEDULE SHALL BE IN WRITING AND SHALL SHOW A DETAILED DESCRIPTION OF THE PROPOSED WORK AND THE DURATION OF OUTAGE.

**ELECTRICAL EQUIPMENT AND DEVICES:**

RECEPTACLES SHALL BE SPECIFICATION GRADE, GROUNDING TYPE, 2-POLE, 3-WIRE, AND POLARIZED. RECEPTACLES IN GENERAL SHALL BE 15A, 125 V., HUBBELL #HBL5262 OR EQUAL MOUNTED 16" AFF EXCEPT AT COUNTERS WHERE THEY SHALL BE 6" ABOVE COUNTER AND IN TOILET ROOMS AT 48" AFF. RECEPTACLES ON SINGLE CIRCUIT SHALL BE 20 AMPERES, HUBBELL #HBL5362. HIGH AMPERE RATINGS AND VOLTAGES ARE INDICATED ON DRAWINGS.

SWITCHES SHALL BE SINGLE POLE, TWO POLE, OR THREE-WAY, AS INDICATED, TOGGLE TYPE, 20A, 120/277V., QUIET TYPE, HUBBELL #1221/1222/1223 OR EQUAL, PILOT TYPE SWITCHES HUBBELL #1251.

WIRING DEVICE COLORS SHALL BE AS SELECTED BY THE OWNER/ARCHITECT.

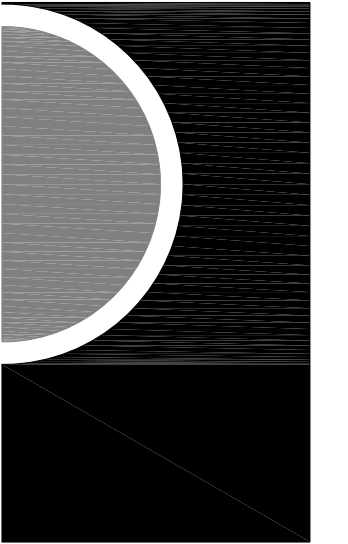
DEVICE COVER PLATES SHALL BE OF TYPE AND NUMBER OF GANGS FOR DEVICES INSTALLED. SMOOTH EDGED 302/304 GRADE BRUSHED STAINLESS STEEL. PROVIDE BRANCH CIRCUIT IDENTIFICATION ON ALL COVERPLATES AS SPECIFIED UNDER "GENERAL REQUIREMENTS".

**CONDUCTORS:**

ALL CONDUCTORS SHALL BE SOFT-DRAWN COPPER OF SIZES INDICATED ON THE DRAWINGS. ALL CONDUCTORS SHALL BE INSULATED FOR 600 VOLTS AND WITH 90 DEGREES (CENTIGRADE) CODE GRADE INSULATION.

CONDUCTORS SIZED #10 AND SMALLER SHALL BE SOLID OR STRANDED. ALL CONDUCTORS LARGER THAN #10 SHALL BE MADE UP OF STRANDED SINGLE CONDUCTOR CABLE. CONDUCTORS SHALL

**PARTNERS**



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**CONSULTANT**

**KEY PLAN**

**OWNER**

**Warren Consolidated Schools**

**PROJECT NAME**

**Secure Entrance Improvements**

**PROJECT NO.**

**12-157**

**ISSUES / REVISIONS**

Owner Review	3/26/2013
Bidding / Construction	4/2/2013

**DRAWN BY**

BC

**CHECKED BY**

**APPROVED BY**

**SHEET NAME**

**ELECTRICAL SPECIFICATION**

**SHEET NO.**

**E1-01**