

Farmington Hills Inn

Memory Loss Wing Improvements

Farmington Hills, MI

Farmington Hills Inn
30350 West Twelve Mile
Farmington Hills, MI 48334
248-851-9640
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architects • engineers

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STRUCTURAL ENGINEER:

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LOCATION PLAN



NOT TO SCALE

APPLICABLE CODES:

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
2009 EDITION
MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
CURRENT EDITION
FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN
2009 EDITION
MICHIGAN PLUMBING CODE
2009 EDITION
MICHIGAN ELECTRICAL CODE
2009 EDITION
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ANSI 117.1)
2003 EDITION

OCCUPANCY GROUP:

I-1 INSTITUTIONAL (ASSISTED LIVING)

ZONING DISTRICT:

RC-2 MULTI-FAMILY RESIDENTIAL

CONSTRUCTION TYPE:

III-B
EXISTING FULLY SPRINKLED SYSTEM

REMODELED FLOOR AREA:

RENOVATED FLOOR AREA: 815 SF (GROSS FLOOR AREA)

PROJECT SCOPE:

1. REMOVE ONE INTERIOR PARTITION COMPLETE.
2. REMOVE PORTIONS OF AN EXISTING LOAD BEARING MASONRY WALL AND INSTALL A STEEL LINTEL AT THE OPENINGS.
3. REMOVE AND REPLACE KITCHEN CABINETS AND A COUNTER.
4. REMOVE AND REPLACE CARPET, ADD VINYL WOOD PLANK FLOORING.
5. ADD TWO ISLANDS OF CABINETS AND COUNTERTOP.

PROJECT NO.: 5712

LIST OF DRAWINGS:

TTL	TITLE SHEET
A10	REMOVALS PLAN
A20	WORK PLAN
S1	STRUCTURAL DETAILS AND SCHEDULE

Title Sheet

Bidding: 22 Jan 2013

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Farmington Hills, MI
Memory Loss Wing Improvements

Project No. 5712

TTL

803 West Big Beaver Road, Suite 350, Troy, Michigan 48064 • 248.244.9710 • (f) 248.244.9712
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GENERAL NOTES:

- G1. REFER TO FLOOR PLAN AND ELEVATIONS TO COORDINATE EXACT LOCATION OF REMOVALS.
- G2. FOR ALL ELECTRICAL REMOVALS - REMOVE WIRE BACK TO SOURCE OR CAP IN A CONCEALED LOCATION PER CODE REQUIREMENTS.
- G3. DISPOSE OF ALL ITEMS REQUIRED OFF-SITE PER LOCAL, BUILDING AND SAFETY ORDINANCES.
- G4. ALL ITEMS DISTURBED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE PATCHED, REPAIRED AND FINISHED BACK TO ITS EXISTING CONDITION.
- G5. DO NOT DISTURB EXISTING UTILITIES TO REMAIN.
- G6. FIELD REPAIR ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK.
- G7. SHORE ALL WALLS, FLOORS, ROOF, ETC AS REQUIRED IN ORDER TO INSTALL NEW UNITS.
- G8. REMOVE EXISTING WALL BASE IN TV LOUNGE AND ACTIVITY ROOM. INSTALL NEW WALL BASE AFTER FLOORING INSTALLATION HAS BEEN COMPLETED.
- G9. COORDINATE TIMING OF REMOVAL WORK TO NOT CAUSE DISRUPTION OF NORMAL OPERATIONS.
- G10. RECONNECT ANY WIRING THAT IS NEEDED TO MAINTAIN OPERATION OF LIGHT FIXTURES, OUTLETS, FIRE ALARM, ETC. THAT ARE CONNECTED TO FIXTURES THAT ARE TO BE REMOVED.
- G11. ALL DELIVERIES TO BE COORDINATED WITH OWNER.
- G12. DAMPSTEN CONTROL TO BE COORDINATED WITH OWNER REPRESENTATIVE. PROVIDE 1X WOOD AND 2X WOOD LUMBER UNDER ALL DAMPSTEN WHEELS TO PREVENT DAMAGE TO EXISTING PAVING. ANY AREA DAMAGED FROM CONSTRUCTION OPERATIONS SHALL BE REPAIRED BACK TO ORIGINAL CONDITION AND REFINISHED TO MATCH THE OWNER.
- G13. INCLUDE TEMPORARY DUST PROOF ENCLOSURE AROUND THE CONSTRUCTION AREA. ENCLOSURE LOCATION TO BE COORDINATED WITH OWNER.

REMOVE THE FOLLOWING:

- R1. MASONRY WALL COMPLETE, WHERE SHOWN, TO 2" BELOW FLOOR. SUPPORT WALL/ROOF STRUCTURE AS REQUIRED FOR INSTALLATION OF NEW UNITS.
- R2. DOOR, DOOR FRAME, HARDWARE, ETC. COMPLETE.
- R3. COUNTER TOP AND CABINETS COMPLETE.
- R4. FIRE EXTINGUISHER AND CABINET (SAVE FOR REINSTALLATION).
- R5. STUD FRAMED WALL COMPLETE, INCLUDING ANY ELECTRICAL, ECU, CTV.
- R6. FINISH FLOORING (CARPET)
- R7. CONCRETE SLAB AS NEEDED FOR ELECTRICAL TRENCH
- R8. EXISTING GYPSUM BOARD, CMU, ETC. FOR RELOCATION OF EXISTING FIRE EXTINGUISHER AND CABINET.
- R9. LIGHT SWITCH - RELOCATE WHERE SHOWN IN PLAN.
- R10. THERMOSTAT - RELOCATE WHERE SHOWN IN PLAN.
- R11. REMOVE UPPER CABINETS COMPLETE.

EXISTING ITEMS TO REMAIN:

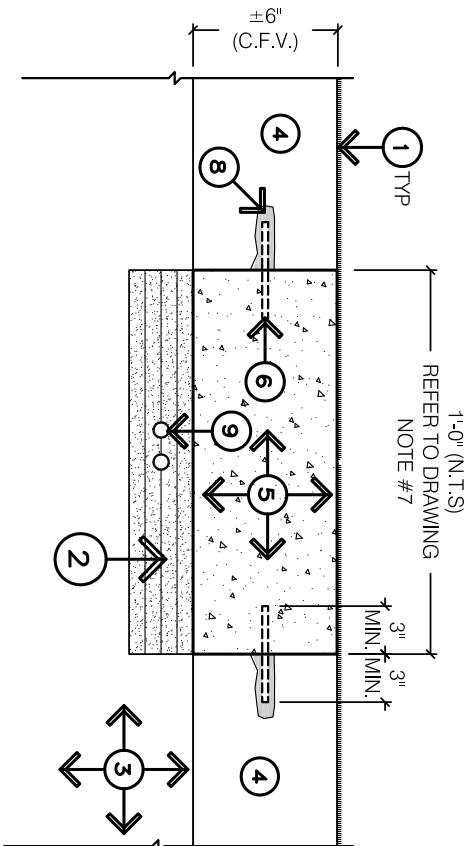
- E1. WALL - ECU
- E2. STAINLESS STEEL SINK - REMOVE AS REQUIRED FOR NEW WORK. REINSTALL AND RECONNECT ALL PLUMBING BACK TO NORMAL FUNCTIONING CONDITION.
- E3. REFRIGERATOR - RELOCATE AS SHOWN IN DRAWING A20
- E4. ELECTRICAL
- E5. WINDOW
- E6. FINISH FLOOR (CARPET)
- E7. DOOR

LEGEND:

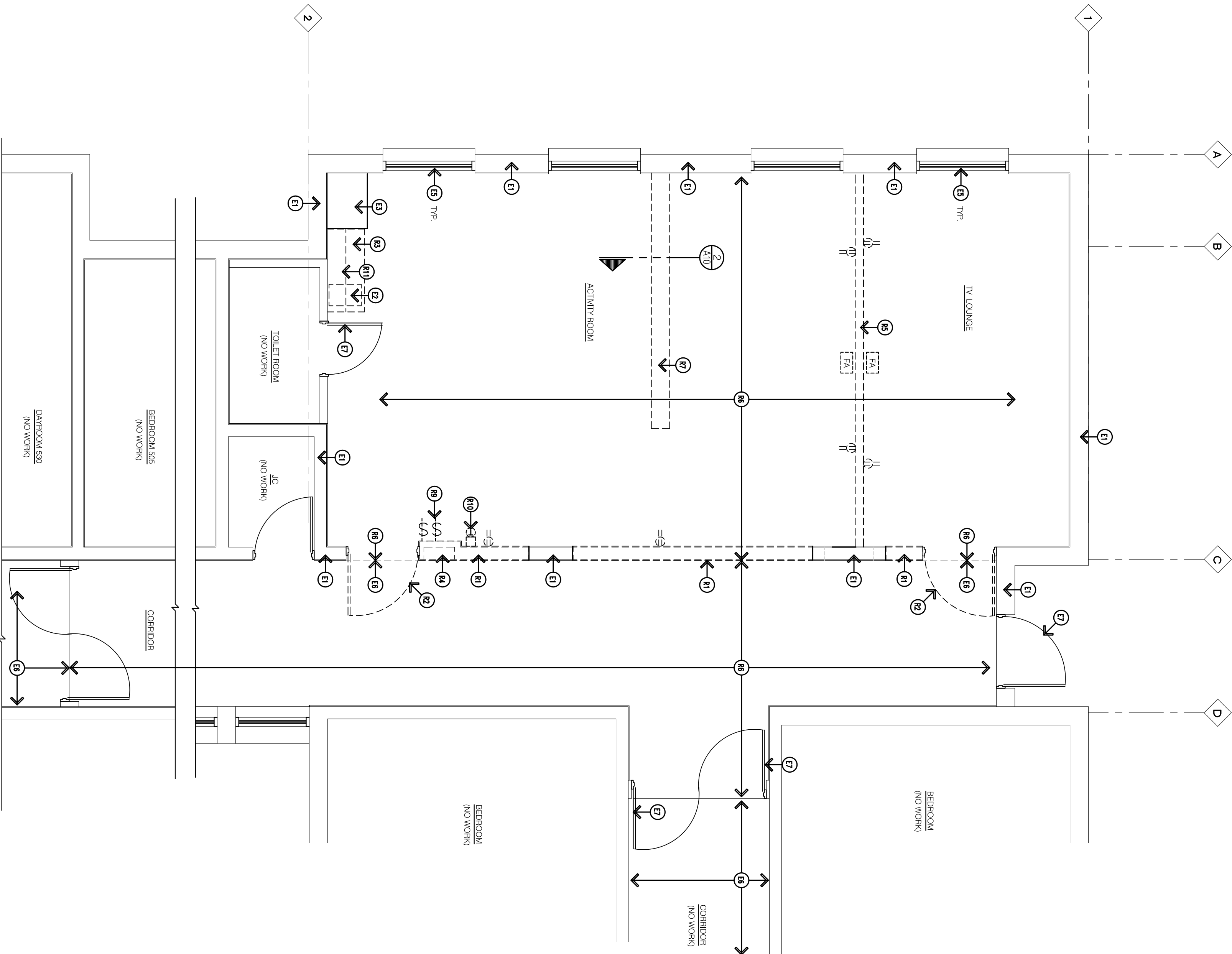
- REMOVE OUTLET COMPLETE BACK TO THE SOURCE PER CODE REQUIREMENTS.
- REMOVE FIRE ALARM/SMOKE COMPLETE BACK TO THE SOURCE PER CODE REQUIREMENTS.
- REMOVE SWITCH COMPLETE BACK TO THE SOURCE PER CODE REQUIREMENTS.
- REMOVE THERMOSTAT COMPLETE BACK TO THE SOURCE PER CODE REQUIREMENTS.

WORK NOTES:

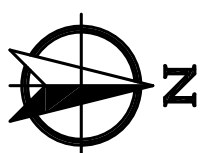
1. CARPET - SELECTION BY OWNER
2. MINIMUM 4" COMPACTED SAND BACKFILL
3. EXISTING UNDISTURBED SUBGRADE
4. EXISTING 4-8" THICK CONCRETE FLOOR SLAB - E.C.U.
5. 8" ± 0" V THICK CONCRETE FLOOR SLAB ON 6" ML W/40% BARRIER, TOP OF NEW CONCRETE TO BE FLUSH WITH EXISTING ADJACENT SLAB EXACTLY.
6. #4 DOWEL @ 10" LONG @ 36" O.C. - STAGGERED
7. SAWCUT EXISTING FLOOR SLAB
8. EPOXY DOWEL INTO EXISTING CONCRETE FLOOR SLAB
9. THREE (3) 1" CONCRETE BELOM COR SLAB FROM WALL TO RECESSED DOOR BOXES. ONE CORNER TO BE RECESSED INTO EXISTING WALL. REINFORCE WITH 2" X 4" POWER PANEL. IN GENERAL, CONDUITS RUN ABOVE ACCESSIBLE CEILING, DOWN INTO FILL HEIGHT WALLS, HORIZONTALY ALONG LOW WALLS, DOWN INTO NEW POWER TRENCH AND OVER TO NEW RECESSED BOX LOCATIONS.



2 Under Slab Electrical Conduit Detail
Scale: 1" = 1'-0"



1 Removals Floor Plan
Scale: 1/4" = 1'-0"



Bidding: 22 January 2013

Scale: 1/4" = 1'-0"

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A10

GENERAL NOTES:

- G1. REFER TO FLOOR PLAN AND ELEVATIONS TO COORDINATE EXACT LOCATION OF REVISIONS.
- G2. FOR ALL ELECTRICAL REMOVALS - REMOVE WIRE BACK TO SOURCE OR CAP IN A CONCEALED LOCATION PER CODE REQUIREMENTS.
- G3. DISPOSE OF ALL ITEMS REQUIRED OFF-SITE PER LOCAL BUILDING AND SAFETY ORDINANCES.
- G4. ALL ITEMS DISTURBED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE PATCHED, REPAIRED AND FINISHED BACK TO ITS EXISTING CONDITION.
- G5. DO NOT DISTURB EXISTING UTILITIES TO REMAIN.
- G6. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK.
- G7. INSTALL NEW 4" COATED RUBBER BASE AT TV LOUNGE AND ACTIVITY ROOM AFTER NEW FLOORING IS INSTALLED.
- G8. VERIFY ELECTRICAL DATA INTERFERE REQUIRMENTS FROM OWNER PRIOR TO COVERING TRENCH. INSTALL ONE EXTRA EMPTY CONDUIT FOR FUTURE USE.

EXISTING ITEMS TO REMAIN:

- E1. CARPET
- E2. CEILING TILE AND GRID
- E3. 8" CHALK WALL
- E4. CONCRETE FLOOR SLAB
- E5. EXTERIOR MASONRY WALL
- E6. 8" P.C. ROOF PLANK
- E7. EXISTING BULB ON 2 1/2" INSULATION
- E8. WALL FOOTING
- E9. REFRIGERATOR

WALL LEGEND:

- HW1. 4-5/8" ACTUAL THICKNESS
- 4" CMU WITH 4" PERIMETER WALL, PAINTED ON 4" FINISH @ 1/8" O.C. MAX. CONNECT WALL WITH 1/2" WITH STRAP ANCHORS @ 16" OC VERTICALLY.
- HW2. HALF WALL - 3-1/2" ACTUAL THICKNESS
- 2 1/2" METAL STUDS @ 16" O.C. WITH 1/4" PLYWOOD AND 4" KRAFTMID/FINISHED PANELS TO MATCH CABINETS - CONSTRUCT WALL TO UNDERSIDE OF COUNTER TOP.
- HW3. HALF WALL - 2-1/2" ACTUAL THICKNESS
- 2 1/2" METAL STUDS @ 12" O.C. FRAMING

WORK NOTES:

1. PLASTIC LAMINATE COUNTER TOP - OWNER TO SELECT COLOR/STYLE. 1" OVERHANG.
2. PATCH AND REPAIR CONCRETE FLOOR AT TRENCH FINISH AND PREP AS NEEDED FOR APPROPRIATE FLOOR FINISH. FINISH FLUSH TO ADJACENT FINISH FLOOR.
3. PATCH AND REPAIR CONCRETE FLOOR WHERE WALL WAS REMOVED. FINISH AND PREP AS NEEDED FOR APPROPRIATE FLOOR FINISH. FINISH FLUSH TO ADJACENT FINISH FLOOR.
4. RELOCATE RECESSED FIRE EXTINGUISHER AND CABINET WHERE INDICATED. VERIFY SIZE IN FIELD.
5. 24" PREFABRICATED WOOD CABINET (TYP. OF 5)
6. 10" DIAMETER HOLE WITH TRIM
7. TRANSITION STRIP. SEE SPECIFICATION FOR FURTHER INFORMATION.
8. NEW CARPET. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
9. VINYL WOOD PLANK FLOORING
10. GYPSUM BOARD SOFFIT PAINTED.
11. SUSPENDED CEILING TILE FINISH EDGE TRIM
12. RELOCATE FIRE ALARM / STROBE WHERE INDICATED. CONNECT TO EXISTING FIRE ALARM SYSTEM AND TEST PER STATE REQUIREMENTS.
13. REMOVE EXISTING MASONRY WALL WHERE INDICATED.
14. 2X NON COMBUSTIBLE WOOD BLOOMING. SIZE TO SUIT CONDITIONS.
15. 1/2" GYPSUM BOARD PAINTED (3 COATS). REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
16. LINE OF FINISHED WALL BEYOND
17. POURED CONCRETE TO MATCH FLOOR AT MASONRY WALL REMOVAL. INSTALL FLUSH TO EXISTING ADJACENT CONCRETE SLAB
18. SMOKE DETECTOR AS REQUIRED BY STATE FIRE MARSHAL. PER ALARM CONTRACTOR TO EVALUATE, PREPARE AND SUBMIT DRAWINGS TO THE STATE AND INSTALL SYSTEM
19. SOLID OAK MOUSE
20. STRUCTURAL STEEL TUBE LINTEL. - REFER TO STRUCTURAL PLAN FOR FURTHER INFO.
21. PATCH REPAIR INSTALL REINFORCING AND MASONRY AS NEEDED AT STEEL LINTEL. BEARING. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
22. PATCH REPAIR WALL AT NEW ELECTRICAL INSTALLATION.
23. INSTALL GROUNDWIRE AND SLEEVE TRIM ABOVE DUPLEX OUTLET. PROVIDE CUT-OUT AT BACK-UP CABINET.
24. RELOCATE ELECTRICAL LIGHT SWITCH HERE.
25. RELOCATE THERMOSTAT HERE.
26. REMOVE AND RELOCATE EXISTING SINK. RECONNECT PLUMBING. FAUCET, ETC.

BASE CABINET SPECIFICATION:

FINISH AS SELECTED BY OWNER

- B1. KRAFTMID
- B2. SOLID OAK SQUARE BASED PANEL, 4" OVERLAY DOOR
- B3. SOLID OAK SQUARE BASED PANEL, 4" OVERLAY DOOR
- B4. SOLID OAK SQUARE BASED PANEL, 4" OVERLAY DOOR
- B5. SOLID OAK SQUARE BASED PANEL, 4" OVERLAY DOOR
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- B99. SOLID OAK SQUARE BASED PANEL, 4" OVERLAY DOOR
- B100. SOLID OAK SQUARE BASED PANEL, 4" OVERLAY DOOR

LEGEND:

1. DUPLEX RECEPTACLE OR SWITCH COMPLETE WITH METAL OUTLET BOX WIRE/CONDUIT AND COVER PLATE. PROVIDE ALL DEVICES (TRANSFORMERS, ETC.) AS LISTED HUBBEL, LEITON, OR APPROVED SUBSTITUTE. RECEPTACLES TO BE HEAVY DUTY GENERAL USE. PLASTIC BODY. COLOR OF DEVICE AND COVER PLATE AS SELECTED BY OWNER. PROVIDE CONNECTION TO EXISTING COVER PANEL. TO AVAILABLE CIRCUITS.

Work Plan

Bidding: 22 January 2013

Scale: 1/4" = 1'-0"

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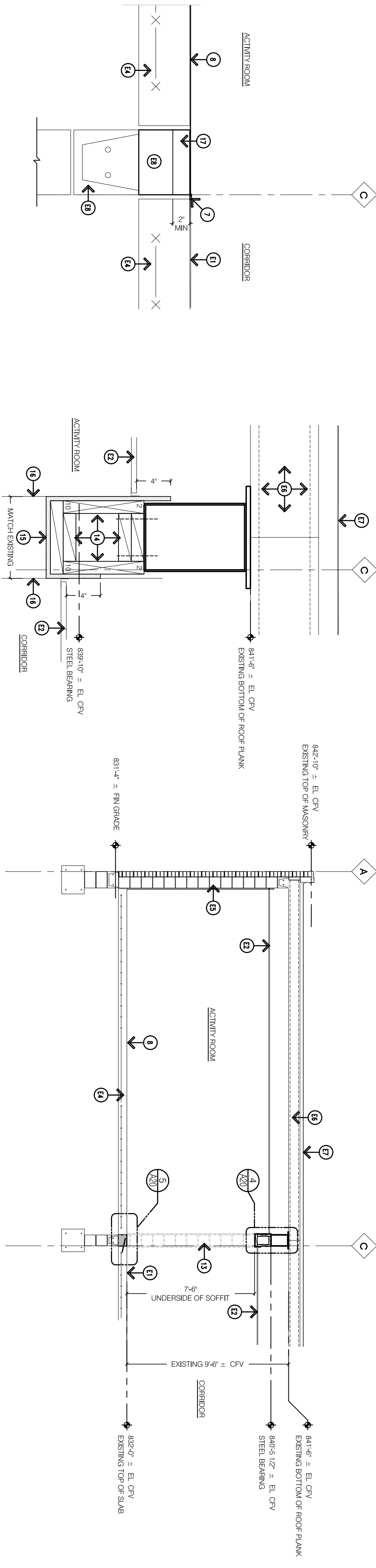
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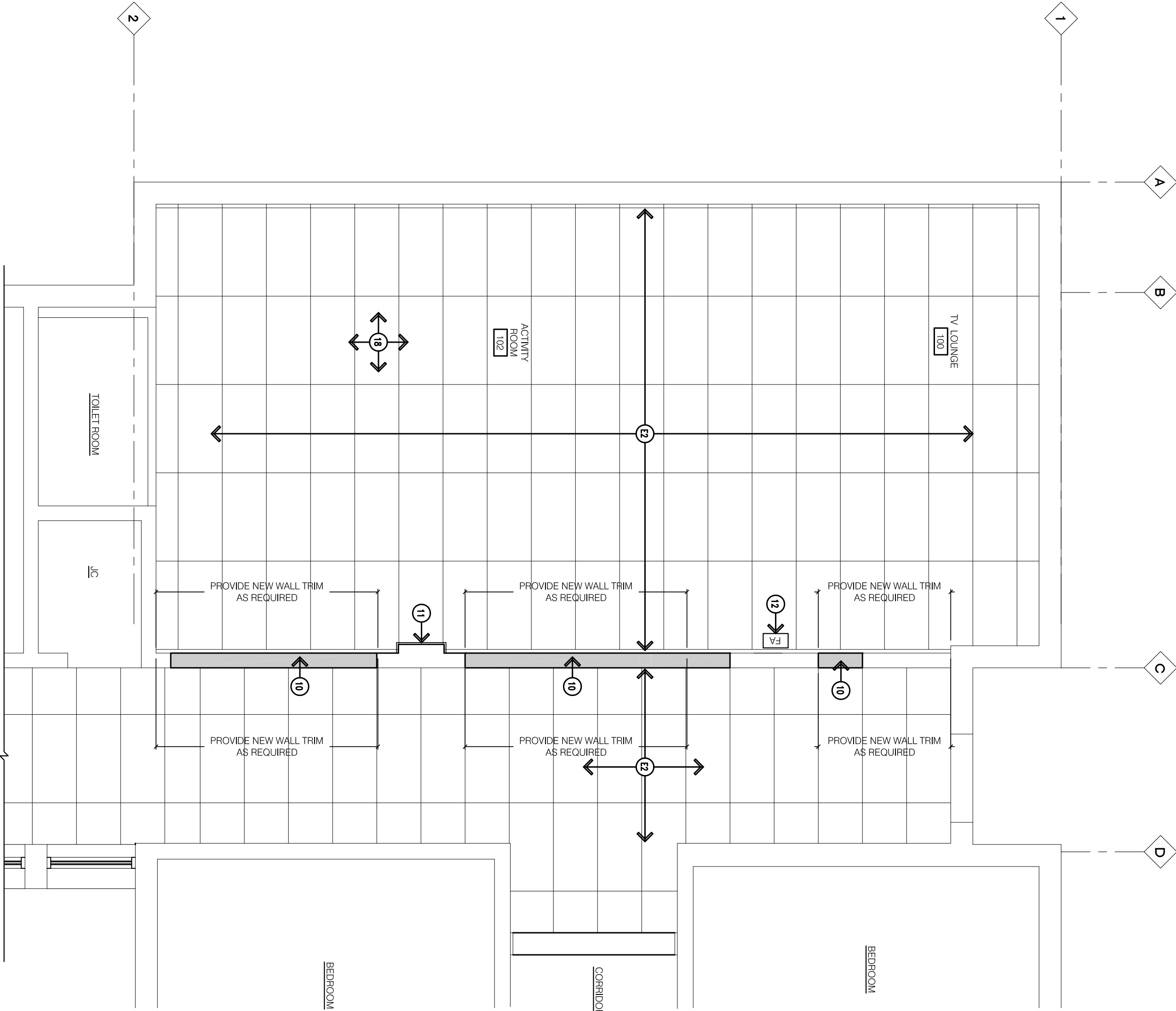
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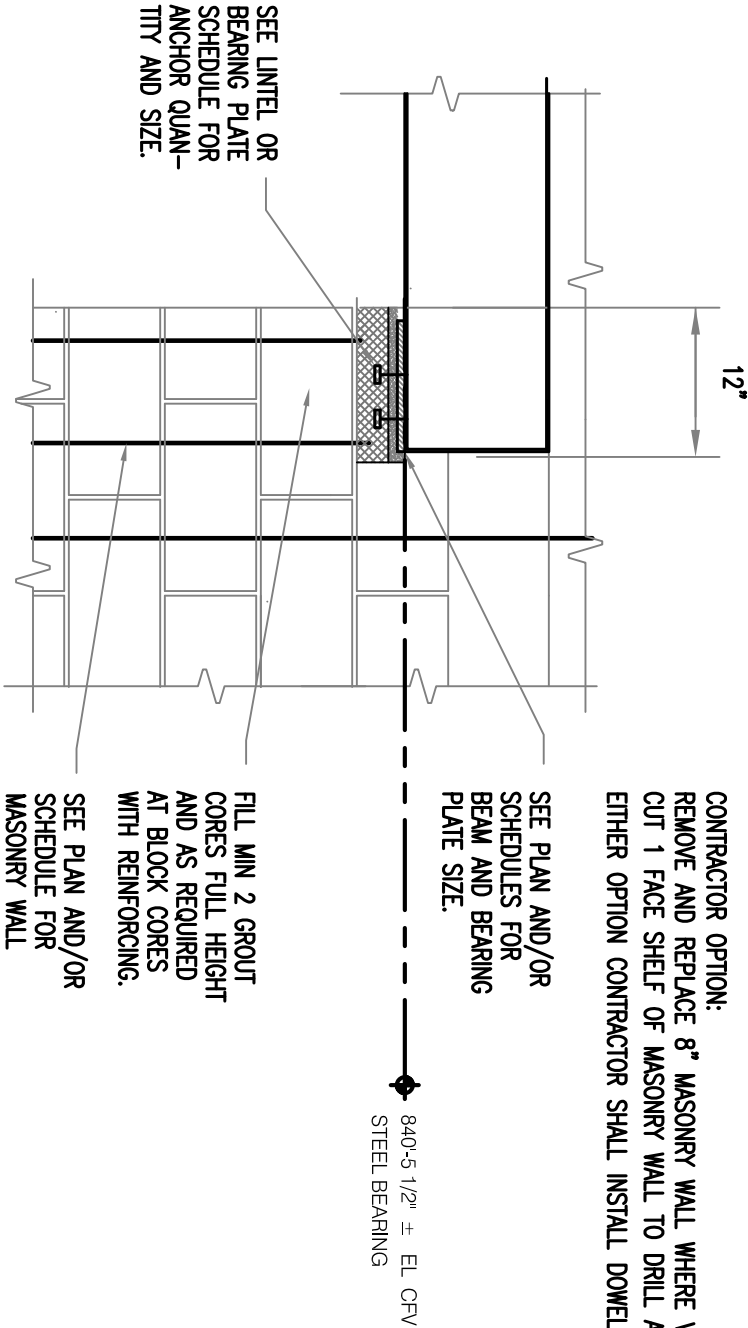
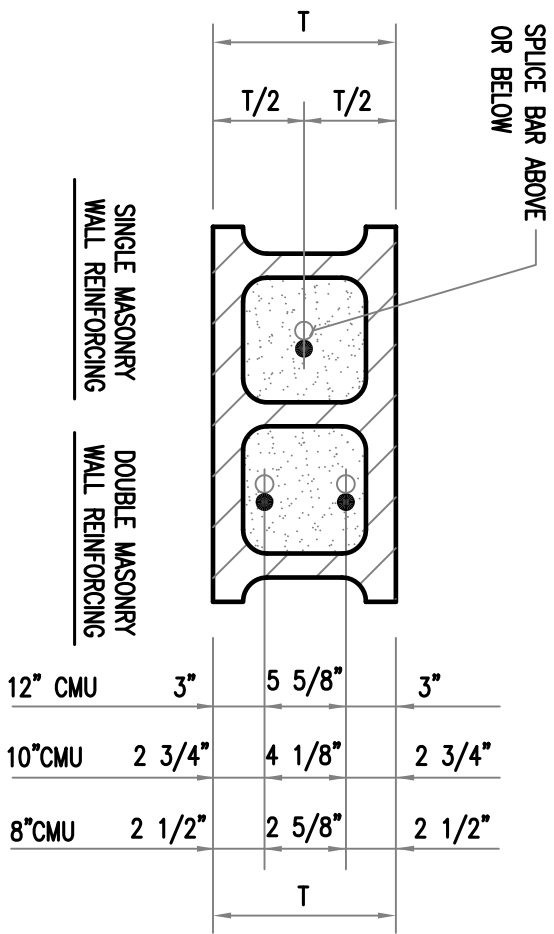
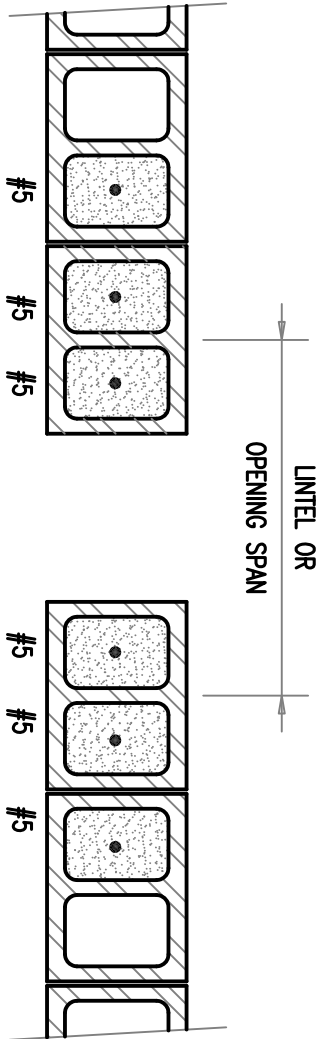
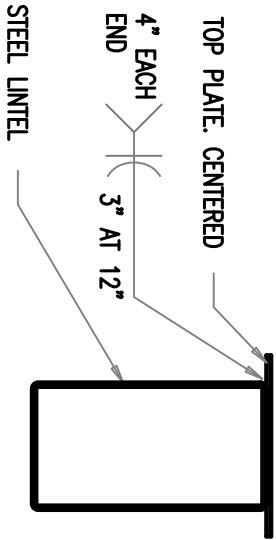
5 Floor Infill Detail
1/2" = 1'-0"

4 Soffit Detail
1/2" = 1'-0"



3 Reflected Ceiling Plan
1/4" = 1'-0"

STEEL LINTEL SCHEDULE						
MARK	CONFIGURATION	MEMBER(S)	HEADED STUDS	BEARING PLATE(S)	ANCHORS	REMARKS
SL-1		HSS12x6x3/16 + 1/2"x12" TOP PLATE	————	7 1/2"x1/2"x12" ON GROUT LEVELING BASE	FOUR 1/2" DIA. x4" LG HEADED STUDS	 LOCATE HEADED STUDS IN GROUTED BLOCK CORES
SL-2		HSS12x6x3/16 + 1/2"x6" TOP PLATE	————	7 1/2"x1/2"x6" ON GROUT LEVELING BASE	FOUR 1/2" DIA. x4" LG HEADED STUDS	 LOCATE HEADED STUDS IN GROUTED BLOCK CORES



MASONRY WALL REINFORCING
ADJACENT TO OPENINGS

MASONRY WALL REINFORCING
LOCATING DIMENSIONS

STEEL LINTEL
BEARING DETAIL

CONTRACTOR OPTION:
REMOVE AND REPLACE 8" MASONRY WALL WHERE VERTICAL WALL DOWELS ARE REQUIRED (TOOTH IN) OR
CUT 1" FACE SHELF OF MASONRY WALL TO DRILL AND GROUT VERT WALL DOWELS.
EITHER OPTION CONTRACTOR SHALL INSTALL DOWELS 12" INTO EXISTING MASONRY BELOW GRADE.

SEE PLAN AND/OR
SCHEDULES FOR
SPACING AND
PLATE SIZE.

SEE LINTEL OR
BEARING PLATE
SCHEDULE FOR
ANCHOR QUAN-
TITY AND SIZE.

FILL WITH 2 GROUT
CORES FILL HEIGHT
AND AS REQUIRED
WITH REINFORCING.
SEE PLAN AND/OR
SCHEDULE FOR
MASONRY WALL
REINFORCING.

12"

8" DIA. 1/2" x 6" LGS

STEEL BEARING

CMloore
onsulting, Inc.
P.O. Box 729
Farmington Hills, MI 48334
T 586.677.2873
F 586.781.5488
info@cmloore.com

Structural Details & Schedule
Scale: 3/4" = 1'-0"

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S1