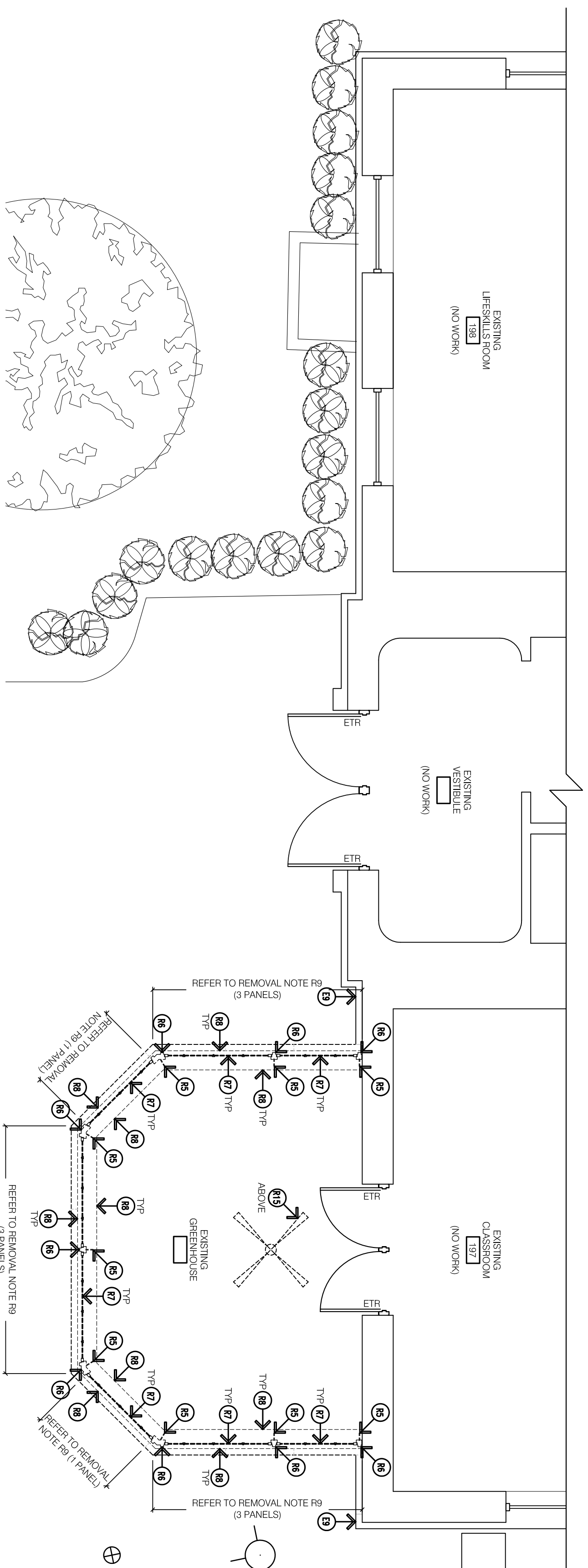
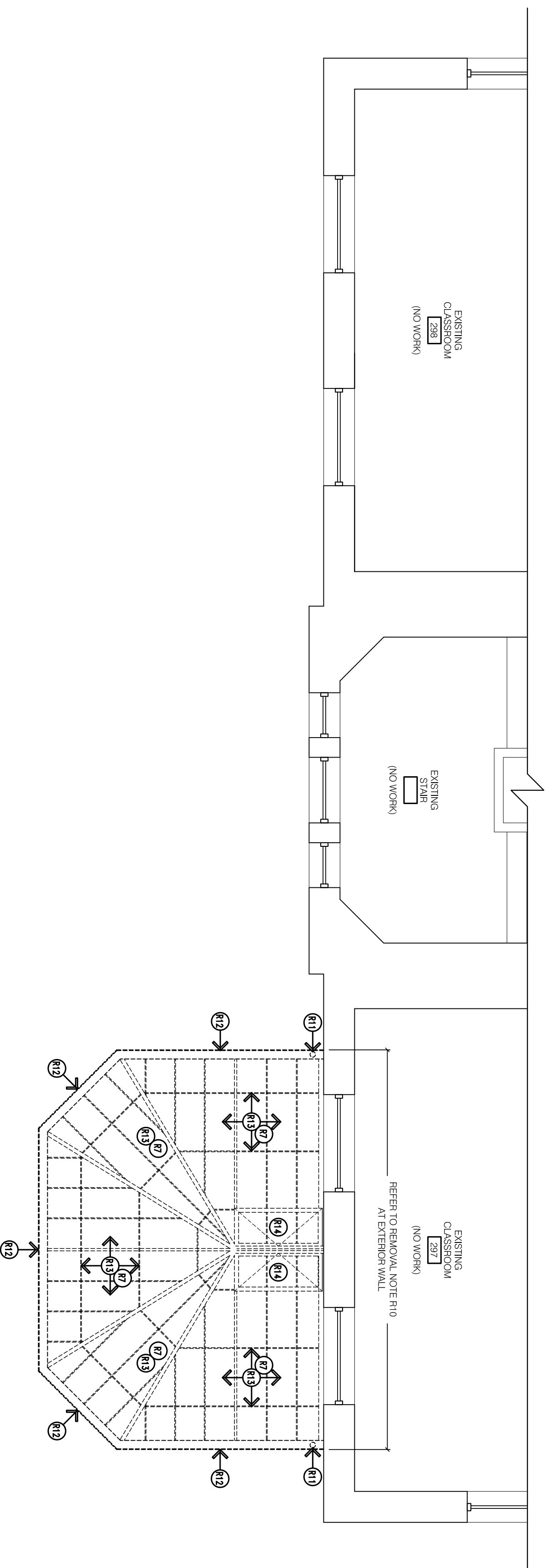


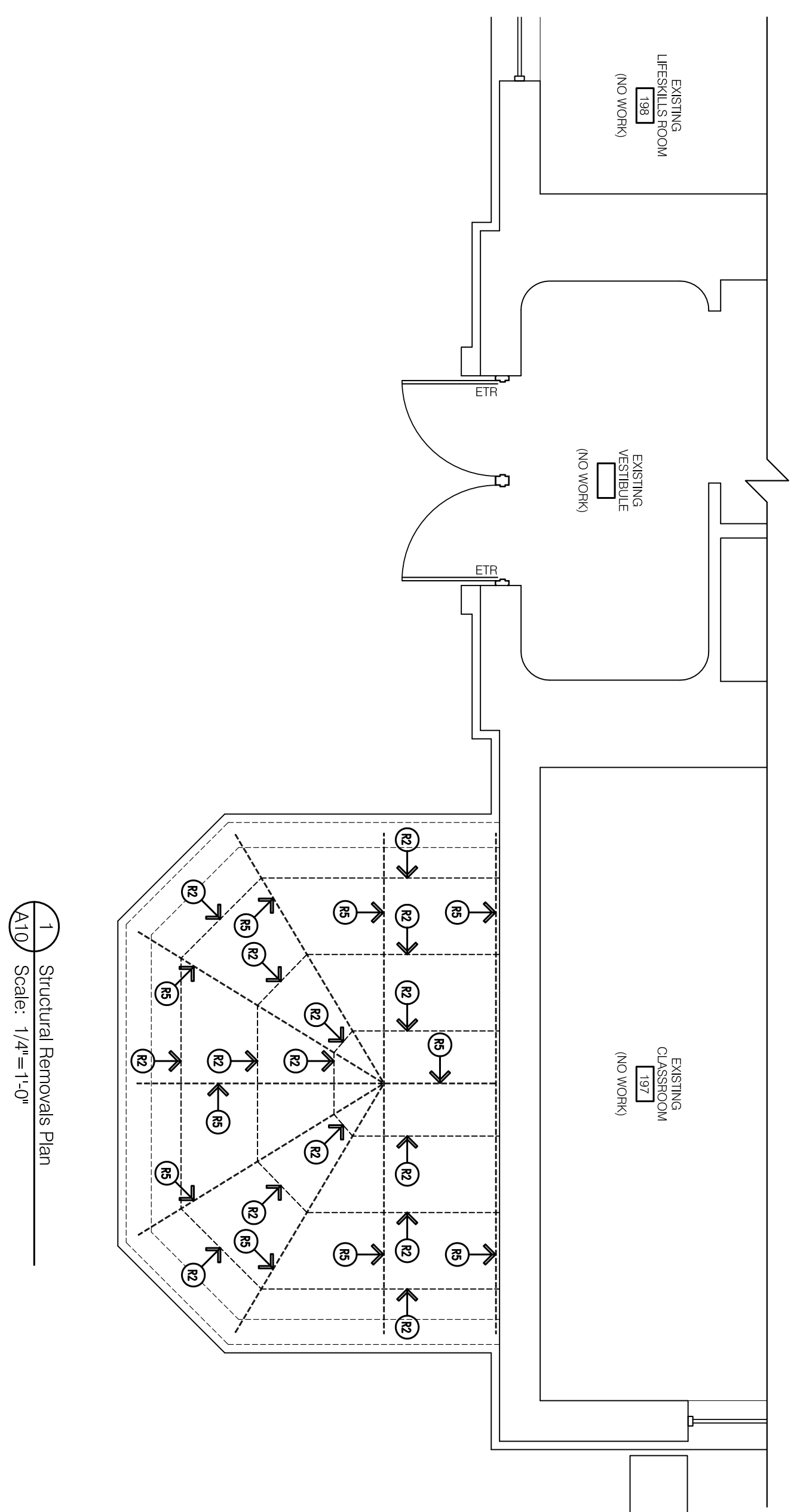
4 Removal Plan @ Limestone Base
A10 Scale: 1/4"=1'-0"



3 Removal Plan @ Vertical Windows
A10 Scale: 1/4"=1'-0"



2 Roof Removals Plan
A10 Scale: 1/4"=1'-0"



1 Structural Removals Plan
A10 Scale: 1/4"=1'-0"

EXISTING ITEMS TO REMAIN:

- E1. MASONRY WALL-EXACT CONDITIONS ARE UNKNOWN.
- E2. LIMESTONE BASE PANEL.
- E3. PAINTED CONCRETE FLOOR SLAB
- E4. CONCRETE SIDEWALK
- E5. FIRE HYDRANT
- E6. CITY FIRE HYDRANT WATER SHUT-OFF VALVE AND COVER.
- E7. LANDSCAPING TREES, SHRUBS, GRASS, ETC.)
- E8. EXTERIOR WOOD DOORS. DOORS TO BE RENOVATED BY THE OWNER.
- E9. LIMESTONE WATERTABLE
- E10. FLOOR OUTLET/DRAIN
- E11. WATER SERVICE AND METER
- E12. EXISTING FIN-TYPE RADIANT HEATING, SUPPORTS, ASSOCIATED PIPING AND METER.

GENERAL NOTES:

- G1. DISPOSE OF ALL REMOVED ITEMS OFF SITE PER ALL LOCAL BUILDING AND SAFETY ORDINANCES. ANY ITEMS REQUESTED BY GROSSE POINTE PUBLIC SCHOOLS TO BE RECYCLED SHALL BE RETURNED.
- G2. ALL AREAS DISTURBED OR DAMAGED DUE TO CONSTRUCTION OPERATIONS SHALL BE REFINISHED/REPAIRED AND RESTORED BACK TO ITS EXISTING CONDITION.
- G3. CONTRACTOR TO COORDINATE TIMING OF REMOVAL WORK THAT AFFECTS SCHOOL OPERATIONS WITH GROSSE POINTE PUBLIC SCHOOLS OPERATIONS.
- G4. CONTRACTOR TO FIELD VERIFY AND DOCUMENT EXISTING CONDITIONS AND FRAMING LOCATIONS FOR FUTURE REFERENCE PRIOR TO COMMENCING ON THE WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR DIRECTION IF CONDITIONS DIFFER FROM THOSE INDICATED.
- G5. REFER TO EXTERIOR ELEVATION REMOVALS FOR FURTHER INFORMATION / CLARIFICATION OF ITEMS TO BE REMOVED.
- G6. WEATHER-PROOF AND SECURE ANY OPENINGS MADE INTO EXISTING OCCUPIED SPACES.
- G7. INTENT FOR ALL LIMESTONE BASE PANELS AND WATERTABLE TO BE REMOVED. RESET (OR REVAS INDICATED), AND POINTED PER LIMESTONE INSTITUTE CONTRACTOR SHALL TAKE SEASONAL CARE AND CAUTION DURING REMOVALS TO ENSURE TO KEEP THE EXISTING LIMESTONE IN TACT. ANY CARELESS REMOVALS AND SPREADS OF LIMESTONE BREAKAGE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL HAVE AN EXISTING CHECK-UP AFTER BROKEN SHALL BE REVIEWED FOR POSSIBLE REPLACEMENT.
- G8. INTENT IS FOR ALL EXISTING GREENHOUSE COMPONENTS TO BE REMOVED INCLUDING BUT NOT LIMITED TO STEEL FRAMING, WOOD FRAMING, GLAZING, INSULATION, GLASS, CEILING PANEL, ETC. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS.
- G9. CONTRACTOR SHALL REFER TO THE ARCHITECT, TESTING REPORTS FOR FURTHER INFORMATION. COMPLY WITH ALL APPLICABLE REQUIREMENTS FOR ASBESTOS AND LEAD REMOVAL PROCEDURES.
- G10. CONTRACTOR SHALL NOTE THAT THE EXTERIOR WALL OF THE EXISTING BUILDING (INSIDE THE GREENHOUSE) IS GLAZED BRICK AND IS DIFFERENT IN APPEARANCE THAN THE SPANDREL EXTERIOR BRICK. VENERE INTENT FOR HER TO PRESERVE THE BRICK FRAMING TO BE ADJACENT WITH THE EXISTING BRICK.

REMOVAL NOTES REMOVE THE FOLLOWING ITEMS:

- R1. EXISTING LIMESTONE BASE PANEL, COMPLETELY FOR INSTALLATION OF NEW.
- R2. EXISTING STEEL ANGLE PLUMB, BRACKETS, ACCESSORIES, ETC. COMPLETE.
- R3. EXISTING LIMESTONE BASE PANEL IN ORDER TO BE REINSTALLED PLUMB AND LEVEL.
- R4. EXISTING ISOLATION JOINT SEALANT AND EXPANSION JOINT MATERIAL.
- R5. EXISTING 3" X 4" STEEL PLUMB COMPLETELY.
- R6. EXISTING WOOD WINDOW FRAMING-OPERATING SASH.
- R7. EXISTING GLAZING
- R8. EXISTING STEEL SILL (NO SEPARATE PIECES ASSUMED) AND STRAP/SH.
- R9. EXISTING LIMESTONE WATERTABLE IN ORDER TO BE REINSTALLED PLUMB, LEVEL AND STRAP/SH.
- R10. EXISTING WALL FLASHING
- R11. EXISTING CONSPICUOUS FRAMING, COLLECTOR BOX, ETC. ABOVE GRADE. EXISTING BELOW GRADE TO REMAIN.
- R12. EXISTING STEEL GUTTER, BRACKETS, ETC. COMPLETE.
- R13. EXISTING WOOD GREENHOUSE FRAMING, ACCESSORIES, ETC. COMPLETE.
- R14. EXISTING VENTING SASH, GLAZING, GEAR DRIVE COMPONENTS, ETC. COMPLETE.
- R15. EXISTING CEILING PANEL, STEEL CONTROLS, WIRING, ETC. COMPLETE. REMOVE WIRING BACK TO THE SOURCE AND TERMINATE PER ALL CODE REQUIREMENTS.
- R16. CONCRETE SLAB AS NEEDED TO ACCESS SEWER FOR DOWNSPOUT ITEM.



NORTH

Bidding: 22 March 2012
Scale: 1/4" = 1'-0"

Removals Plan

Ehresman Associates, Inc.
ARCHITECTS • ENGINEERS

Grosse Pointe Public School System
Grosse Pointe South High School
Greenhouse Stabilization

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