

MARINE CITY HALL

New City Hall Renovation

260 South Parker St., Marine City, MI 48039

PARTNERS



Architect:
PARTNERS in Architecture, PLC

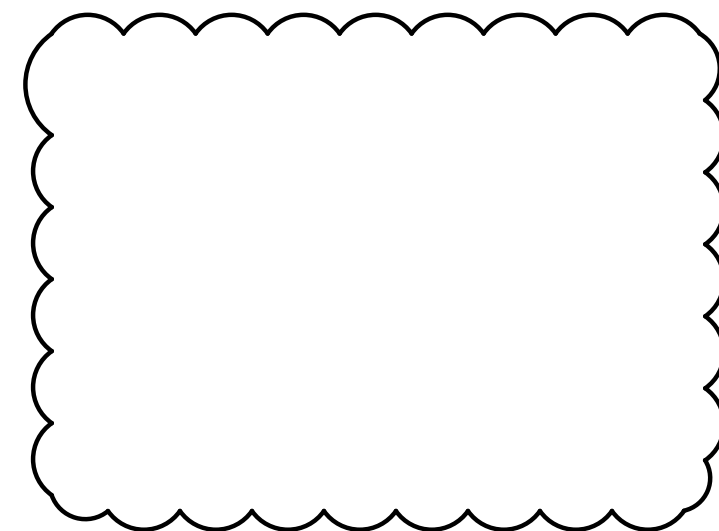
65 Market Street
Mount Clemens, MI 48043
(Phone) 586-469-3600
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Mechanical / Electrical Engineer:
MA Engineering

400 S. Old Woodward Ave
Birmingham MI
(Phone) 248-258-1610

Owner:
Marine City

303 South Water St.
Marine City, MI 48039
(Phone) 586-445-5500



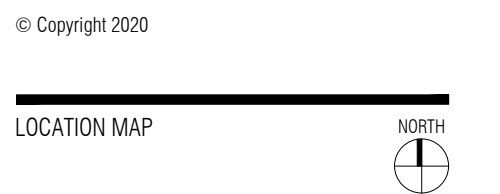
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Statement of Intellectual Property
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KEY PLAN

OWNER
Marine City
330 South Water St.
Marine City, MI 48039

PROJECT NAME
New Marine City Hall Renovation

260 South Parker St.
Marine, MI 48039

PROJECT NO.
20-106

ISSUES / REVISIONS
99% CD's 07/15/2020
100% CD's 07/30/2020

RE-BIDDING / CONSTRUCTION 09/14/2020

DRAWN BY
BH/AM/PE
CHECKED BY
BAH
APPROVED BY
DWG

SHEET NAME
COVER SHEET

SHEET NO.
A0-00

Table of Abbreviations organized by letter (A through Z), including symbols for architectural elements like floors, walls, doors, and equipment.

Graphic Symbols and Text Symbols sections. Includes diagrams for detail numbers, drawing scales, section symbols, and line type designations.

Material Poche Indications section. A grid of material patterns with corresponding names like concrete, plaster, stone, and wood.

Mounting Height Schedule section. A grid of diagrams showing mounting heights for wall-mounted accessories (W1-W20) and plumbing fixtures/toilet accessories (P1-P25).

PARTNERS logo with '15 Celebrating YEARS' and project details for 'General Project Information' including address, owner, and sheet number.

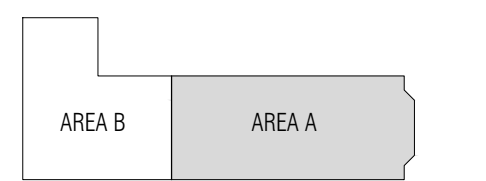


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CONSULTANT

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99% CD's	07/15/2020
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ADDENDUM-1	08/14/2020
RE-BIDDING / CONSTRUCTION	09/14/2020

DRAWN BY

BH/AM

CHECKED BY

BAH

APPROVED BY

DWG

SHEET NAME

DEMO FLOOR
PLAN-AREA 'A'

SHEET NO.

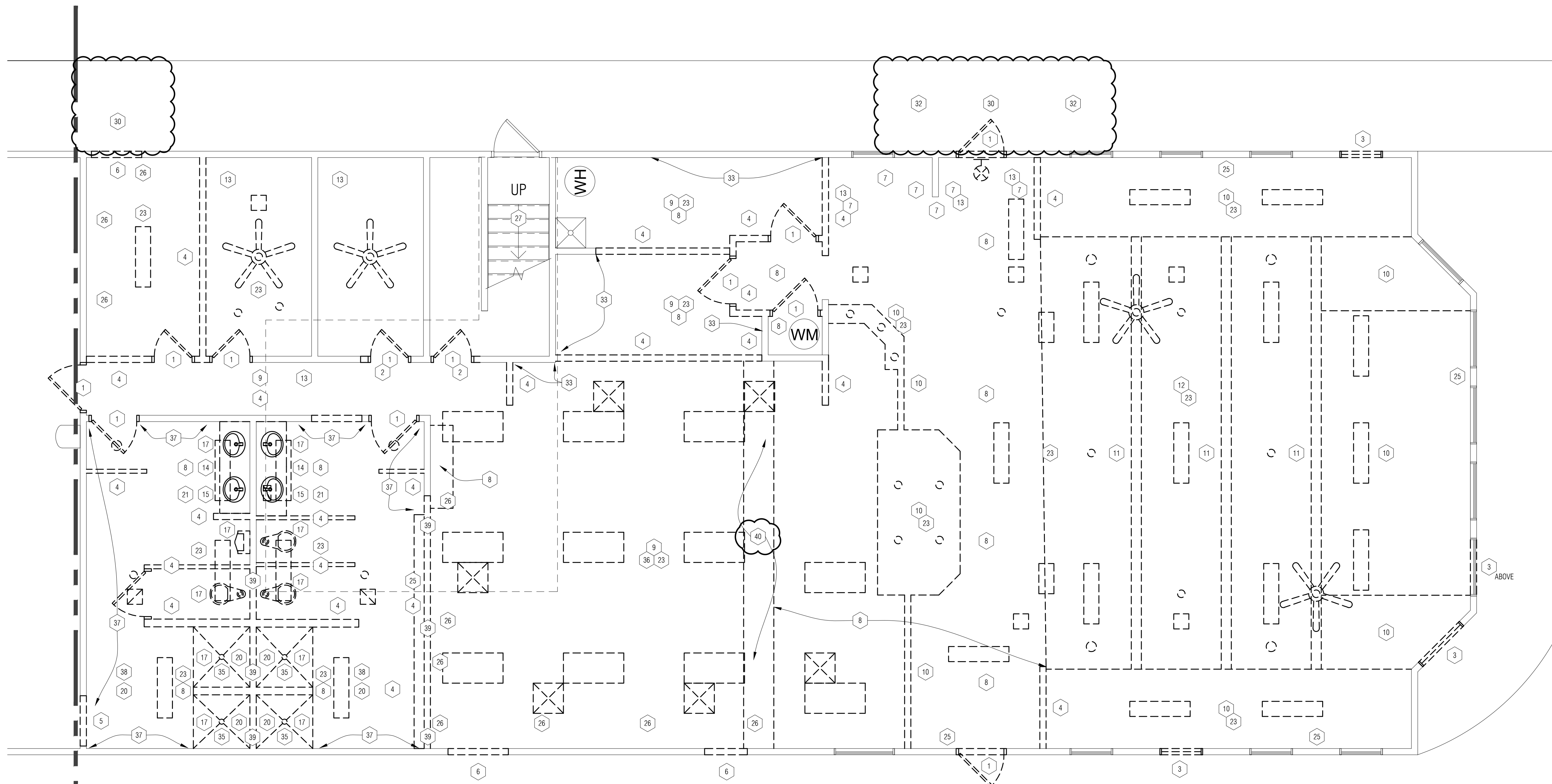
A1-01

DEMOLITION PLAN - GENERAL NOTES:

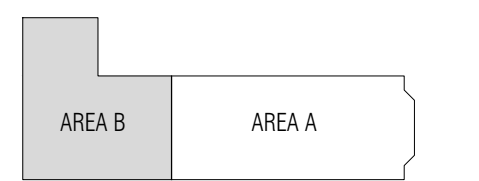
- A. ALL DEMOLITION DRAWINGS AND DEMOLITION DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NEW WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS (AND ARE DESIGNATED WITH DASHED, HIDDEN OR STRUCK THRU LINES). COORDINATE ALL DEMOLITION WORK WITH ALL ARCHITECTURAL, DRAWINGS, CONTRACTOR RESPONSIBLE TO REFERENCE ALL DRAWINGS/SPECIFICATIONS TO CONFIRM EXTENT OF DEMOLITION WORK.
- B. ALL REMOVED ITEMS, WALLS, FLOORS CEILING, OPENINGS, ETC ARE TO BE PATCHED/REPAIRED AND PREPPED TO RECEIVE NEW WORK AND/OR FINISHES.
- C. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- D. REMOVE ALL ITEMS PROJECTING FROM EXISTING WALLS OR FLOORS TO REMAIN (BLOCKING, SCREWS, FASTENERS, PIPES, CONDUITS, MOUNTING PLATES, FIXED EQUIPMENT, ETC). PATCH AND REPAIR FOR NEW FINISH.
- E. DISPOSE AND/OR RECYCLE ALL DEMOLITION MATERIALS LEGALLY OFF-SITE.
- F. AT DEMOLISHED WALLS AND CEILINGS, REMOVE ELECTRICAL DEVICES, FIXTURES, & WIRING BACK TO ELECTRICAL PANEL.
- G. WALL REMOVAL THAT TERMINATES INTO A WALL OR CEILING TO REMAIN SHALL BE COMPLETELY REMOVED FREE OF PROJECTIONS, READY TO RECEIVE NEW WORK.
- H. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS. PRIOR TO BIDDING.
- G. CONTRACTOR SHALL PROTECT EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES. CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS (IDENTIFIED BY OWNER, ARCHITECT, OR CONSTRUCTION MANAGER) AT NO ADDITIONAL COST.
- H. MAINTAIN EXISTING FIRE RATING WHERE OCCURS AND WHERE POSSIBLE DURING DEMOLITION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION.
- I. ASBESTOS AND OTHER HAZARDOUS MATERIALS WILL BE REMOVED PRIOR TO START OF CONSTRUCTION. IF ANY SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, STOP WORK IN THAT AREA AND IMMEDIATELY INFORM THE ARCHITECT, CONSTRUCTION MANAGER, AND OWNER.
- L. CONTRACTOR IS TO DEMO AND PREPARE EXISTING WALL CONSTRUCTION AS REQUIRED FOR INSTALLATION OF NEW MECHANICAL AND ELECTRICAL WORK WITHIN EXISTING WALL.
- M. ALL DIMENSIONS OF EXISTING WALLS TO REMAIN TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMO. CONTACT ARCHITECT IF ANY MAJOR DISCREPANCIES IN MEASUREMENTS.
- P. ALL CONTRACTORS TO FOLLOW OSHA RULES AND REGULATIONS FOR HAZARDOUS MATERIALS.

DEMOLITION SITE PLAN - KEY NOTES:

- 1 REMOVE EXISTING DOORS, FRAMES, GLAZING AND ALL ASSOCIATED COMPONENTS. CAREFULLY REMOVE FRAMES TO PRESERVE EXTERIOR AND INTERIOR FINISHES TO REMAIN.
- 2 REMOVE PORTION OF WALL TO ACCOMMODATE WIDTH OF NEW OPENING
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- 7 REMOVE BEAD BOARD AND TRIM
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- 13 REMOVE WOOD BASE. REMOVE FLOOR BASE CAREFULLY TO PRESERVE WALL FINISHED TO REMAIN. REFER TO NEW WORK PLAN.
- 14 REMOVE MIRROR, TOILET ROOM ACCESSORIES AND ASSOCIATED COMPONENTS
- 15 REMOVE EXIST COUNTERTOP WING WALL, SINK & ACCESSORIES COMPLETE TO PREPARE FOR NEW WORK
- 16 REMOVE EXISTING PL LAM. COUNTERTOP, BASE CABINETS, AND ALL ASSOCIATED ITEMS.
- 17 REMOVE EXISTING PLUMBING FIXTURE(S) AND ALL ASSOCIATED COMPONENTS. PATCH FLOOR AND WALLS AS REQUIRED FOR INSTALLATION OF NEW WORK. COORDINATE WITH MECHANICAL.
- 18 SAW CUT EXISTING CONCRETE SLAB AS NECESSARY FOR NEW SANITARY LINE - REFER TO MECHANICAL - COORDINATE ACTUAL AREA IN FIELD.
- 19 NOT USED.
- 20 DEMO EXISTING FLOOR DRAIN - REFER TO MECHANICAL. CUT & CAP 4" BELOW SLAB. PREP EXISTING ADJACENT CONC FLOOR FOR NEW PATCHED-IN CONC. FLOOR SLAB.
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- 40 GRIND OFF HYDRAULIC UNDERLAYMENT AND PREP FLOOR FOR NEW FINISH.



N
1 Demo Floor Plan - Area 'A'
1/4" = 1'-0"



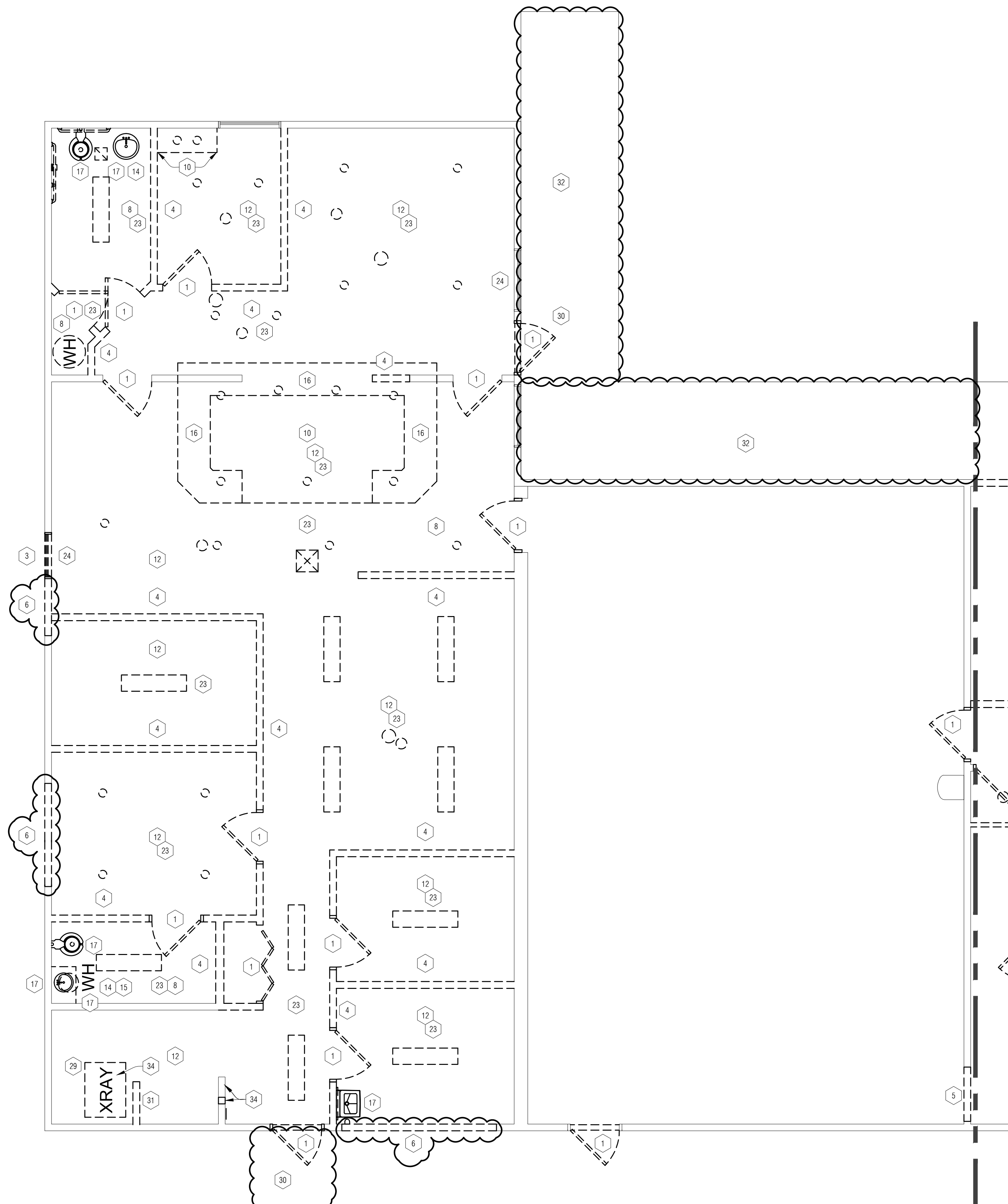
99% CDs	07/15/2020
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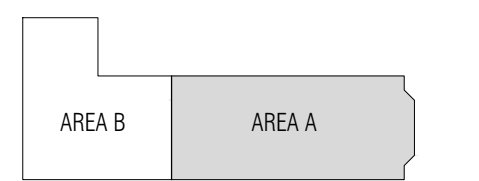
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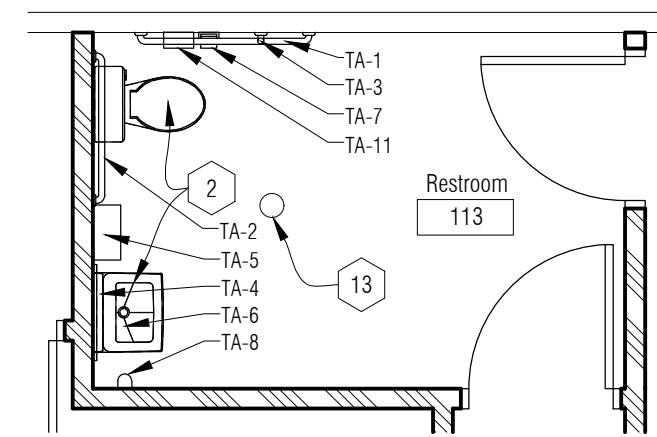
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A1-02 Demo Floor Plan - Area 'B'
1/4" = 1'-0"



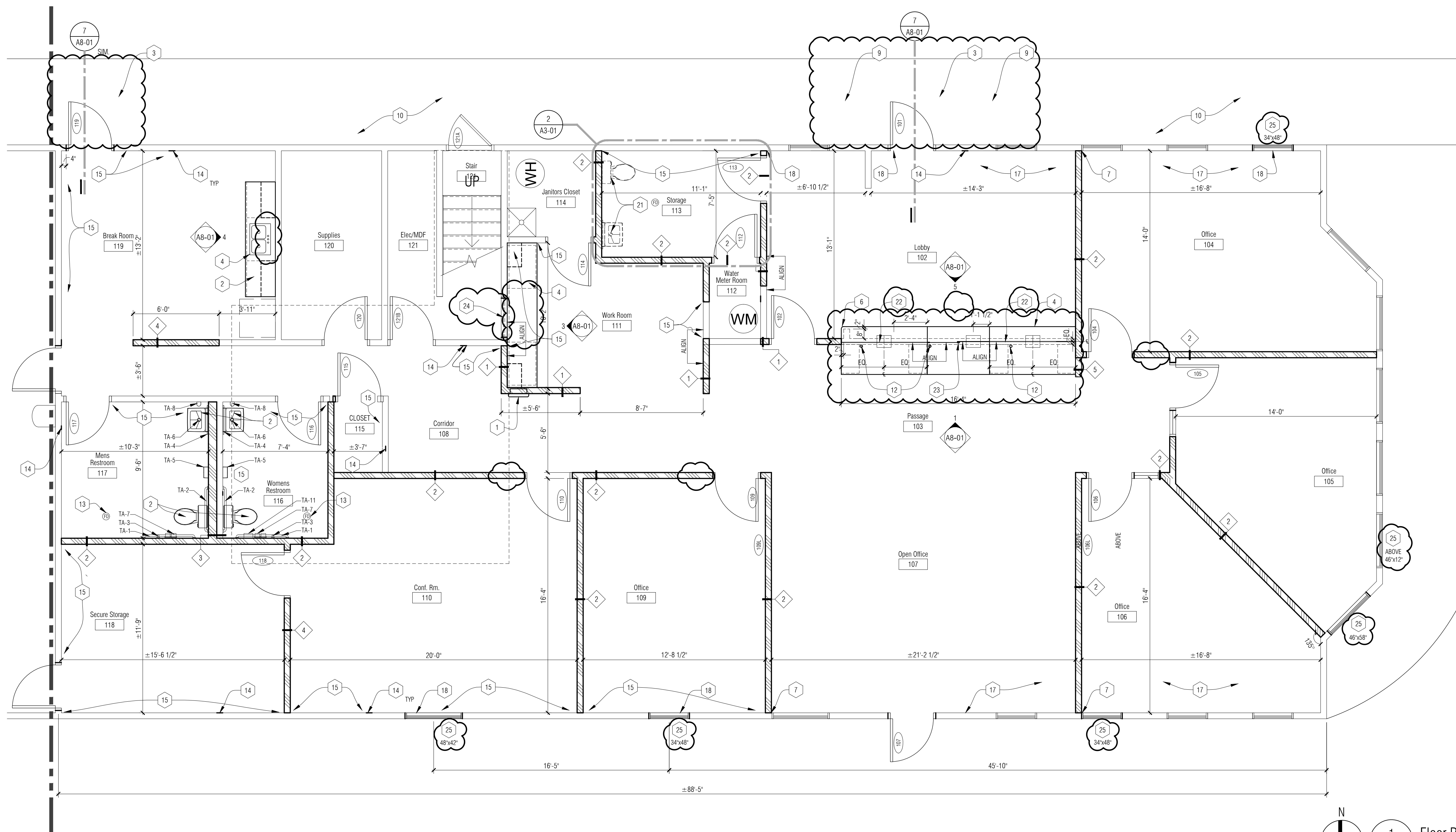
99% CDs	07/15/2020
100% CDs	07/30/2020

TOILET ROOM ACCESSORIES:

- TA-1: 42" HORIZONTAL GRAB BAR, ON WALL ADJACENT TO TOILET
- TA-2: 36" HORIZONTAL GRAB BAR, ON WALL BEHIND TOILET
- TA-3: 18" VERTICAL GRAB BAR, ON WALL ADJACENT TO TOILET
- TA-4: 24"W X 48"H MIRROR, ON WALL ABOVE SINK
- TA-5: PAPER TOWER DISPENSER, ON WALL ADJACENT TO SINK
- TA-6: UNDER LAVATORY GUARD INSTALLED ON SINK
- TA-7: TOILET TISSUE DISPENSER, ON WALL ADJACENT TO TOILET
- TA-8: SOAP DISPENSER, ON WALL ADJACENT TO SINK
- TA-9: COAT HOOK, ON INTERIOR FACE OF DOOR
- TA-10: FREE STANDING WASTE RECEPTACLE
- TA-11: SANITARY NAPKIN DISPOSAL



2 Alternate #2 - Restroom
A3-01 1/4" = 1'-0"



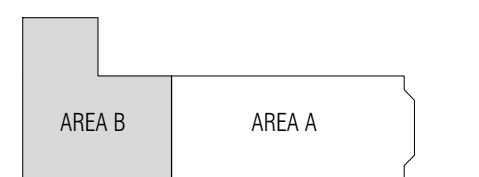
FLOOR PLAN - GENERAL NOTES:

- A. ALL PLAN DIMENSIONS ARE TO FACE OF WALL.
- B. COORDINATE SIZE AND LOCATION OF ALL DUCT, SHAFT AND LOUVER OPENINGS IN WALLS AND FLOORS WITH MECHANICAL AND ELECTRICAL. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS.
- C. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- D. REFER TO FINISH FLOOR PLAN FOR ALL FLOOR PATTERNS, FLOOR TRANSITIONS AND MARKER/TACK BOARD DESIGNATIONS.

FLOOR PLAN KEY NOTES:

- 1 FIRE EXTINGUISHER IN SEMI-RECESSED CABINET - REFER TO SPECIFICATIONS.
- 2 PLUMBING FIXTURE - COORDINATE WITH MECHANICAL.
- 3 FROST PROTECTED SLAB BY OWNER.
- 3A FROST PROTECTED SLAB BY OWNER.
- 4 BUILT-IN MILLWORK - REFER TO INTERIOR ELEVATIONS.
- 5 NEW CONC SLOPED WALK BY OWNER.
- 6 2" RADIUS AT COUNTERTOP EDGE.
- 7 ALIGN NEW WALL WITH EDGE OF WINDOW JAMB/TRIM - COORDINATE WITH DIMENSIONS SHOWN ON PLAN.
- 8 NEW FURNACE-REFER TO MECH.
- 9 NEW CONC REPLACEMENT BY OWNER.
- 10 EXISTING CONC TO REMAIN - PROTECT DURING CONSTRUCTION.
- 11 NEW WINDOW IN EXISTING DOOR OPENING - FRAME AS NECESSARY FOR NEW WINDOW AND TRIM.
- 12 GROMMET IN PLAM COUNTERTOP.
- 13 NEW FLOOR DRAIN - REFER TO MECH.
- 14 PATCH GYPSUM WALL WHERE EXISTING WALL HAS BEEN REMOVED - TYP AT ALL WALL REMOVAL LOCATIONS.
- 15 PATCH (REPLACE IF REQUIRED) GYPSUM WALL BOARD AT REMOVED WALL MOUNTED ITEM FOR LIKE NEW APPEARANCE.
- 16 INSTALL SELF-LEVELING UNDERLAMENT, MAX 1/2" THICK AND TAPERED TO MEET EXISTING ELEVATIONS. APPROXIMATE AREA AND NUMBER OF SSLB BAGS LISTED AS AN ALLOWANCE. FINAL AREA WILL BE DETERMINED ONCE THE SPACE IS DEFINED WITH NEW WALLS, AND THE BUILDER AND ARCHITECT WILL REVIEW PRIORITY AREAS IN THE ROOM TO ADDRESS.
- 17 INSTALL GYP BD ON EXISTING WALL AT REMOVED SOFFIT - COORDINATE W/ NEW CEILING HEIGHT.
- 18 INSTALL NEW INTERIOR WOOD TRIM, SILL AND CASING AROUND WINDOW / DOOR OPENING - MATCH EXISTING - PAINT.
- 19 INSTALL GYP BOARD ON LOWER PART OF EXISTING WALL WHERE GYP BOARD HAS BEEN REMOVED (= 2-4).
- 20 REPLACE GYP BOARD ON ENTIRE WALL DUE TO IMPERFECTIONS IN EXISTING FINISH.
- 21 BASE BID: PREP ROOM FOR FUTURE PLUMBING FIXTURES - REFER TO MECH.
- 22 1/4" TEMPERED GLASS W/ UPPER ALUM FRAME AND LOWER ALUM C CHANNEL - REFER TO INTERIOR ELEVATIONS.
- 23 GLASS PASS-THRU WINDOW SYSTEM W/ 1/4" TEMPERED GLASS- BASIS OF DESIGN: CR LAWRENCE, MODEL #SHCYO_A_LK. FIELD VERIFY HEIGHT AND WIDTH.
- 24 ALTERNATE #1: NEW LOUVER AT SECOND FLOOR - REFER TO MECH. - FRAME OUT OPENING, INSTALL NEW FLASHING, AND REPAIR INTERIOR GYPSUM WALL FINISH. PAINT LOUVER TO MATCH EXISTING SIDING COLOR.
- 25 PROVIDE ROUGH OPENING FOR INSTALLATION OF WINDOW BY OWNER - SIZES LISTED ARE FOR FUTURE WINDOW SIZE.

1 Floor Plan - Area 'A'
A3-01 1/4" = 1'-0"



99% CD's	07/15/2020
100% CD's	07/30/2020

TOILET ROOM ACCESSORIES:

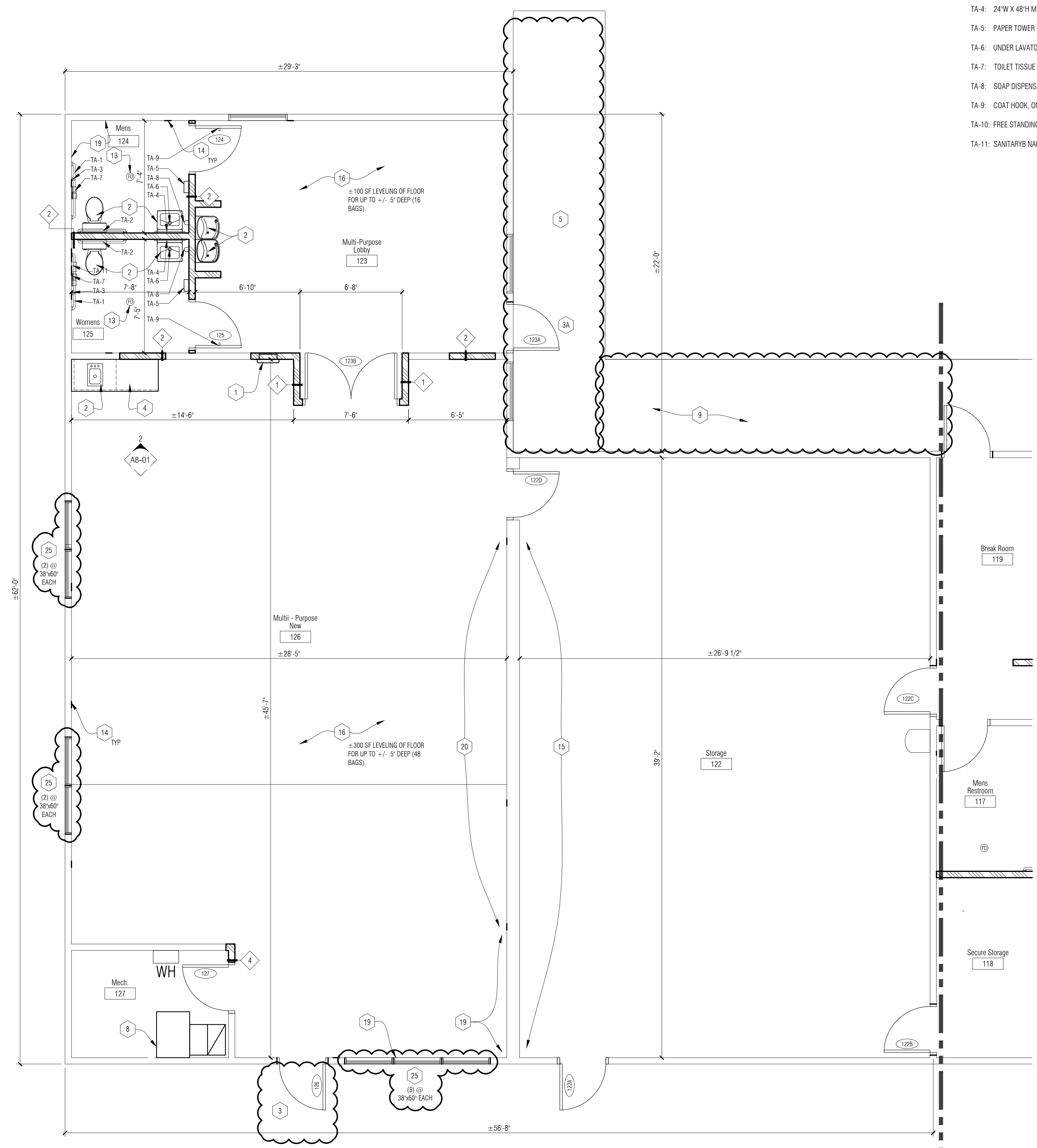
- TA-1: 42" HORIZONTAL GRAB BAR, ON WALL ADJACENT TO TOILET
- TA-2: 36" HORIZONTAL GRAB BAR, ON WALL BEHIND TOILET
- TA-3: 18" VERTICAL GRAB BAR, ON WALL ADJACENT TO TOILET
- TA-4: 24" W X 48" H MIRROR, ON WALL ABOVE SINK
- TA-5: PAPER TOWER DISPENSER, ON WALL ADJACENT TO SINK
- TA-6: UNDER LAVATORY GUARD INSTALLED ON SINK
- TA-7: TOILET TISSUE DISPENSER, ON WALL ADJACENT TO TOILET
- TA-8: SOAP DISPENSER, ON WALL ADJACENT TO SINK
- TA-9: COAT HOOK, ON INTERIOR FACE OF DOOR
- TA-10: FREE STANDING WASTE RECEPTACLE
- TA-11: SANITARY NAPKIN DISPOSAL

FLOOR PLAN - GENERAL NOTES:

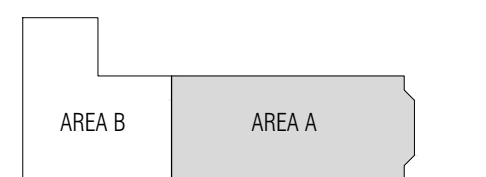
- A. ALL PLAN DIMENSIONS ARE TO FACE OF WALL.
- B. COORDINATE SIZE AND LOCATION OF ALL DUCT, SHAFT AND LOUVER OPENINGS IN WALLS AND FLOORS WITH MECHANICAL AND ELECTRICAL. PROVIDE ALL REQUIRED LITELS FOR OPENINGS.
- C. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- D. REFER TO FINISH FLOOR PLAN FOR ALL FLOOR PATTERNS, FLOOR TRANSITIONS AND MARKER/TACK BOARD DESIGNATIONS.

FLOOR PLAN KEY NOTES:

- 1 FIRE EXTINGUISHER IN SEMI-RECESSED CABINET - REFER TO SPECIFICATIONS.
- 2 PLUMBING FIXTURE - COORDINATE WITH MECHANICAL.
- 3 FROST PROTECTED SLAB BY OWNER.
- 3A FROST PROTECTED SLAB BY OWNER.
- 4 BUILT-IN MILL WORK - REFER TO INTERIOR ELEVATIONS.
- 5 NEW CONC SLOPED WALK BY OWNER.
- 6 2" RADIUS AT COUNTERTOP EDGE.
- 7 ALIGN NEW WALL WITH EDGE OF WINDOW JAMB/TRIM - COORDINATE WITH DIMENSIONS SHOWN ON PLAN.
- 8 NEW FURNACE-REFER TO MECH.
- 9 NEW CONC REPLACEMENT BY OWNER.
- 10 EXISTING CONC TO REMAIN - PROTECT DURING CONSTRUCTION.
- 11 NEW WINDOW IN EXISTING DOOR OPENING - FRAME AS NEEDING FOR NEW WINDOW AND TRIM.
- 12 GROMMET IN PLAM COUNTERTOP.
- 13 NEW FLOOR DRAIN - REFER TO MECH.
- 14 PATCH GYPSUM WALL WHERE EXISTING WALL HAS BEEN REMOVED - TYP AT ALL WALL REMOVAL LOCATIONS.
- 15 PATCH (REPLACE IF REQUIRED) GYPSUM WALL BOARD AT REMOVED WALL MOUNTED ITEM FOR LIKE NEW APPEARANCE.
- 16 INSTALL SELF-LEVELING UNDERLAYMENT, MAX 1/2" THICK AND TAPERED TO MEET EXISTING ELEVATIONS. APPROXIMATE AREA AND NUMBER OF 50LB BAGS LISTED AS AN ALLOWANCE. FINAL AREA WILL BE DETERMINED ONCE THE SPACE IS DEFINED WITH NEW WALLS, AND THE BUILDER AND ARCHITECT WILL REVIEW PRIORITY AREAS IN THE ROOM TO ADDRESS.
- 17 INSTALL GYP BD ON EXISTING WALL AT REMOVED SOFFIT - COORDINATE W/ NEW CEILING HEIGHT.
- 18 INSTALL NEW INTERIOR WOOD TRIM, SILL AND CASING AROUND WINDOW / DOOR OPENING - MATCH EXISTING - PAINT.
- 19 INSTALL GYP BOARD ON LOWER PART OF EXISTING WALL WHERE GYP BOARD HAS BEEN REMOVED (±2-4).
- 20 REPLACE GYP BOARD ON ENTIRE WALL DUE TO IMPERFECTIONS IN EXISTING FINISH.
- 21 BASE BID: PREP ROOM FOR FUTURE PLUMBING FIXTURES - REFER TO MECH.
- 22 1/4" TEMPERED GLASS W/ UPPER ALUM FRAME AND LOWER ALUM C-CHANNEL - REFER TO INTERIOR ELEVATIONS.
- 23 GLASS PASS-THRU WINDOW SYSTEM W/ 1/4" TEMPERED GLASS-BASIS OF DESIGN: CR LAWRENCE, MODEL #SHCYO_A_LK. FIELD VERIFY HEIGHT AND WIDTH.
- 24 ALTERNATE #1: NEW LOUVER AT SECOND FLOOR - REFER TO MECH. - FRAME OUT OPENING, INSTALL NEW FLASHING, AND REPAIR INTERIOR GYPSUM WALL FINISH. PAINT LOUVER TO MATCH EXISTING SIDING COLOR.
- 25 PROVIDE ROUGH OPENING FOR INSTALLATION OF WINDOW BY OWNER - SIZES LISTED ARE FOR FUTURE WINDOW SIZE.



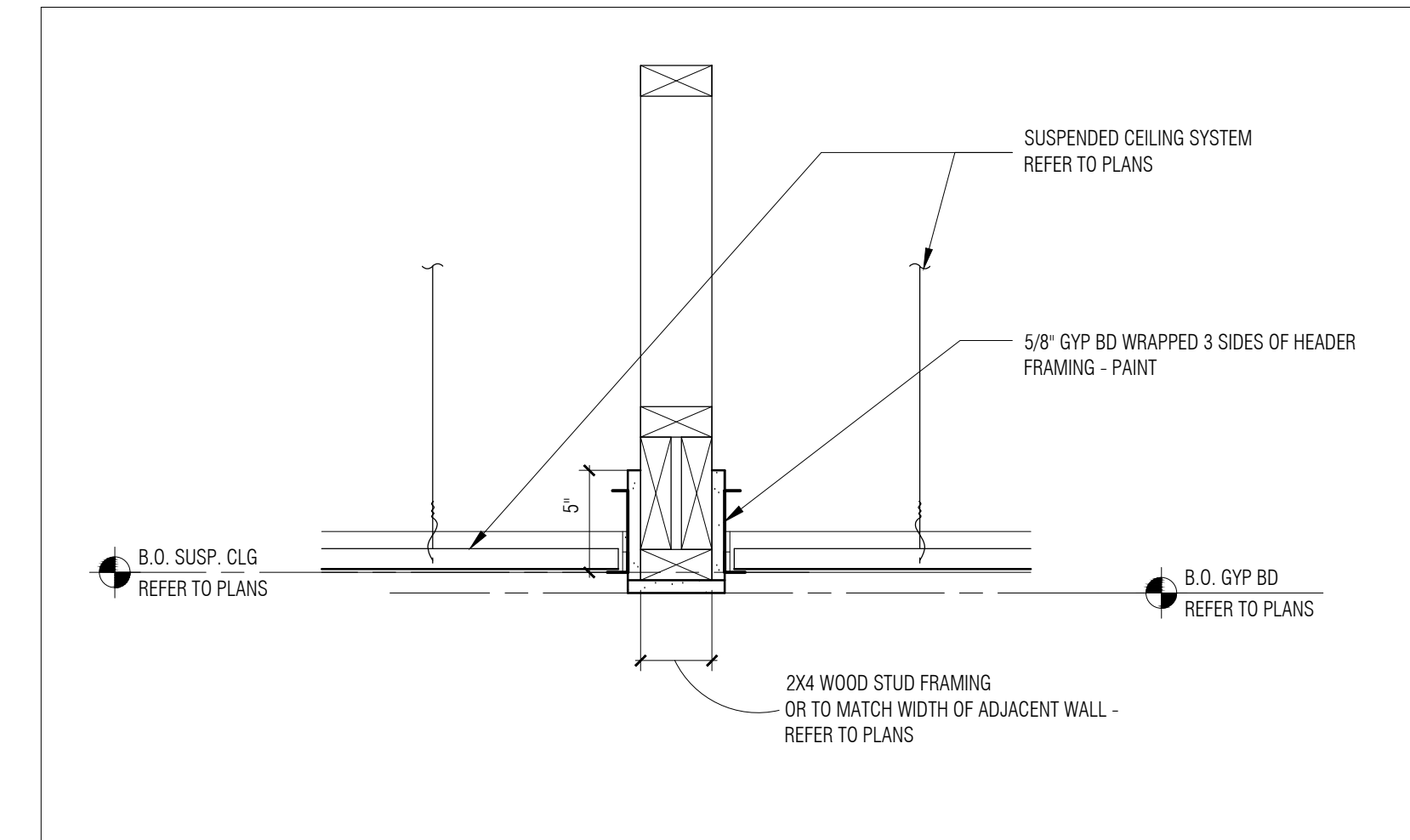
N
1
A3-02 Floor Plan - Area 'B'
1/4" = 1'-0"



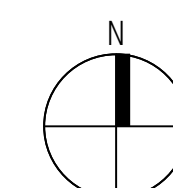
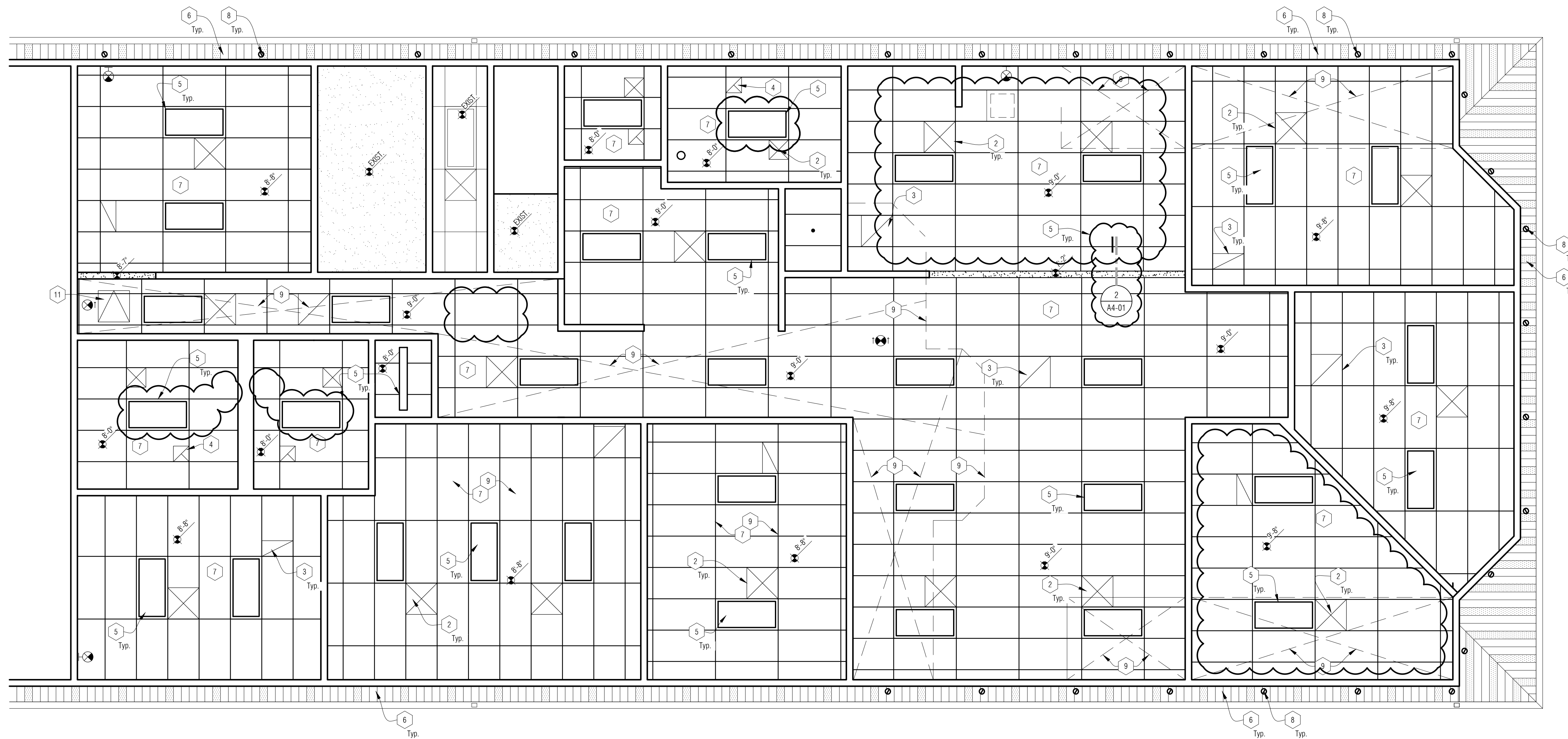
99% CD's	07/15/2020
100% CD's	07/30/2020
ADDENDUM-1	08/14/2020
RE-BIDDING / CONSTRUCTION	09/14/2020

Ceiling Symbols Legend

	5/8" GYP BD ON METAL STUD CONSTRUCTION SECURE TO STRUCTURE ABOVE
	2' X 4' LAY-IN LIGHT FIXTURE IN GRID
	2' X 2' LAY-IN LIGHT FIXTURE IN GRID
	4" RECESSED ROUND LIGHT FIXTURE
	4" RECESSED EXTERIOR GRADE FIXTURE
	6" RECESSED E LIGHT FIXTURE
	6" RECESSED EXTERIOR GRADE LIGHT FIXTURE
	EXIT LIGHT - CEILING MOUNTED
	EXIT LIGHT - WALL MOUNTED
	SUPPLY AIR DIFFUSER (MECHANICAL)
	RETURN AIR GRILLE (MECHANICAL)
	4 FT LED LINEAR LIGHT FIXTURE
	SMOKE DETECTOR
	LED RETROFIT KIT



2
A4-01 Typical Bulkhead
1-1/2" = 1'-0"



1
A4-01 Reflected Ceiling Plan - Area 'A'
1/4" = 1'-0"

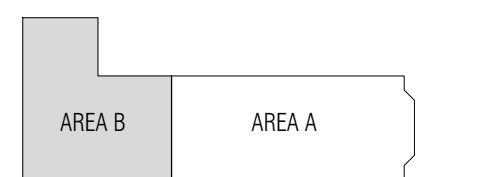


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CONSULTANT

KEY PLAN



OWNER

Marine City
 330 South Water St.
 Marine City, MI 48039

PROJECT NAME

New Marine City Hall
 Renovation

260 South Parker St.
 Marine, MI 48039

PROJECT NO.

20-106

ISSUES / REVISIONS

99% CDs	07/15/2020
100% CDs	07/30/2020
ADDENDUM-1	08/14/2020
RE-BIDDING / CONSTRUCTION	09/14/2020

DRAWN BY

BH/AM

CHECKED BY

BAH

APPROVED BY

DWG

SHEET NAME

REFLECTED
 CEILING
 PLAN-AREA 'B'

SHEET NO.

A4-02

Ceiling Symbols Legend

	5/8" GYP BD ON METAL STUD CONSTRUCTION SECURE TO STRUCTURE ABOVE
	2' X 4' LAY-IN LIGHT FIXTURE IN GRID
	2' X 2' LAY-IN LIGHT FIXTURE IN GRID
	4" RECESSED ROUND LIGHT FIXTURE
	4" RECESSED EXTERIOR GRADE FIXTURE
	6" RECESSED E LIGHT FIXTURE
	6" RECESSED EXTERIOR GRADE LIGHT FIXTURE
	EXIT LIGHT - CEILING MOUNTED
	EXIT LIGHT - WALL MOUNTED
	SUPPLY AIR DIFFUSER (MECHANICAL)
	RETURN AIR GRILLE (MECHANICAL)
	4 FT LED LINEAR LIGHT FIXTURE
	SMOKE DETECTOR
	LED RETROFIT KIT

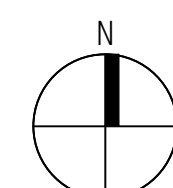
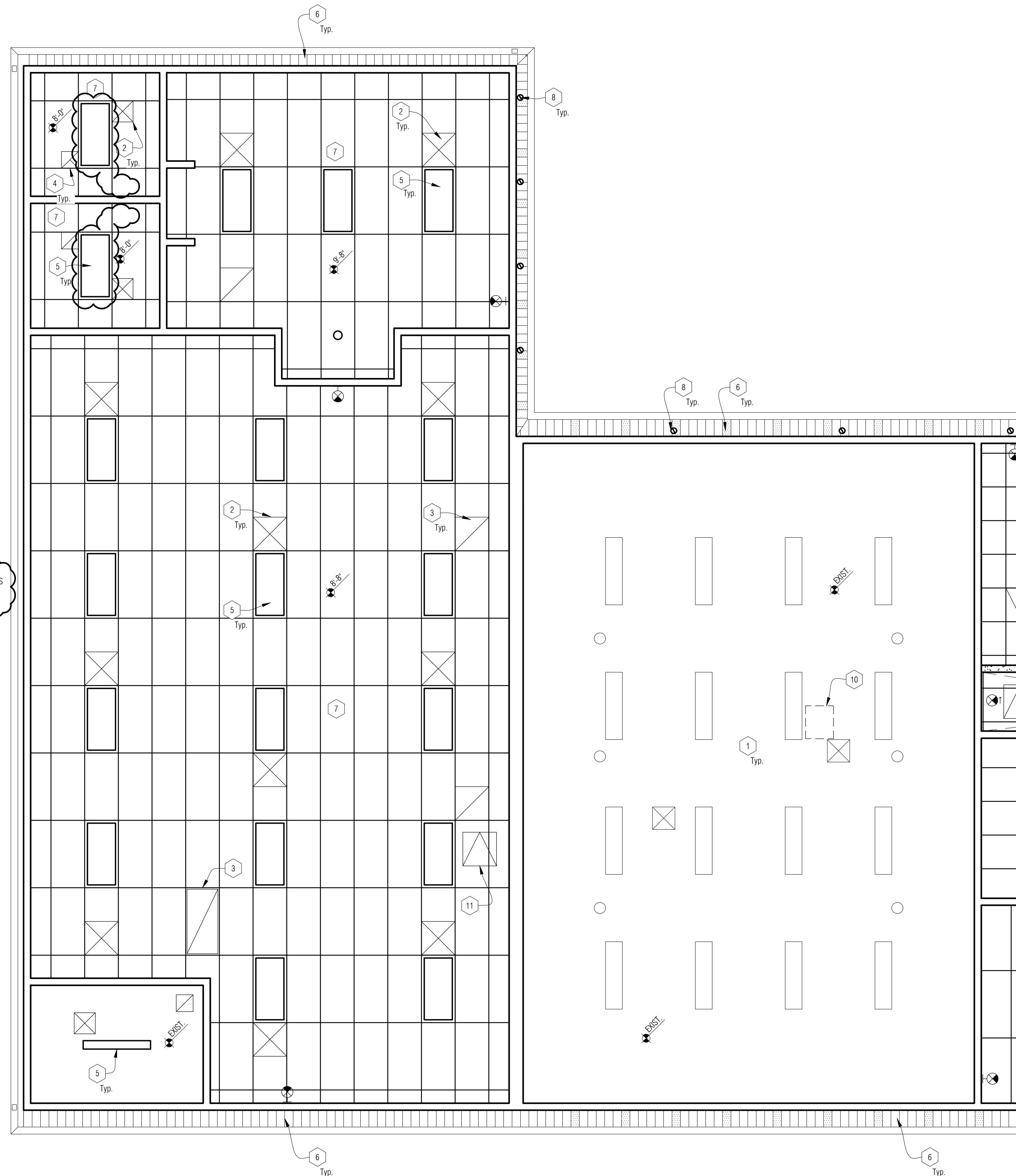
REFLECTED CEILING PLAN - GENERAL NOTES:

- A. REFER TO FLOOR PLANS FOR ROOM NAMES, NUMBERS AND ROOM DIMENSIONS.
- B. REFER TO ELECTRICAL FOR LIGHT FIXTURE TYPES AND SPECIFICATIONS.
- C. REFER TO MECHANICAL FOR DIFFUSERS, REGISTERS, AND RETURNS.
- D. ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN CEILING U.O.N.
- E. PAINT ALL EXPOSED STRUCTURE, MECH, AND ELEC - REFER TO SPEC SECTION 000200 MATERIAL / FINISH COLOR SCHEDULE AND DRAWINGS FOR EXACT COLORS.
- F. PATCH ALL GYPSUM BOARD CEILINGS AT REMOVED WALLS, SOFFITS, BEAMS, ETC. TAPE, MASTIC, AND SEAL TO MAINTAIN VAPOR BARRIER.

REFLECTED CEILING PLAN - KEY NOTES:

- 1 EXISTING LIGHT FIXTURES AND CEILING TO REMAIN.
- 2 SUPPLY AIR DIFFUSER- REFER TO MECH.
- 3 RETURN AIR-REFER TO MECH.
- 4 EXHAUST FAN- REFER TO MECH.
- 5 LIGHT FIXTURE - COORDINATE WITH ELEC.
- 6 EXISTING VENTED ALUMINUM SOFFIT PANELS TO REMAIN - POWER WASH IN THREE STEPS - WATER, TSP SOLUTION, RINSE - PROTECT LANDSCAPING, SITE AND BUILDING DURING PROCESS.
- 7 2 x 4 SUSPENDED ACOUSTICAL CEILING TILE SYSTEM (ACT-1)
- 8 REPLACE EXISTING EXTERIOR RECESSED LIGHT AND TRIM - REFER TO ELEC FOR EXTENT OF WORK.
- 9 BATT INSULATION IN ATTIC TO REMAIN. SECURE 5/8" GYPSUM DIRECTLY TO BOTTOM TRUSS. TAPE, MASTIC, SEAL AND PAINT TO MAINTAIN VAPOR BARRIER.
- 10 PATCH AREA OF DAMAGED GYP BOARD TEXTURED CEILING TO MATCH ADJACENT CEILING - PAINT AREA TO MATCH EXISTING.
- 11 ACCESS PANEL ABOVE SUSPENDED ACOUSTICAL CEILING TILE SYSTEM. AVOID INSTALLING MAINS OVER OPENING. PROVIDE REMOVABLE GRID MEMBER TO ALLOW FOR A 4'X4' OPENING.

REFER TO MECH DRAWINGS FOR ALTERNATE #2



1
 A4-02

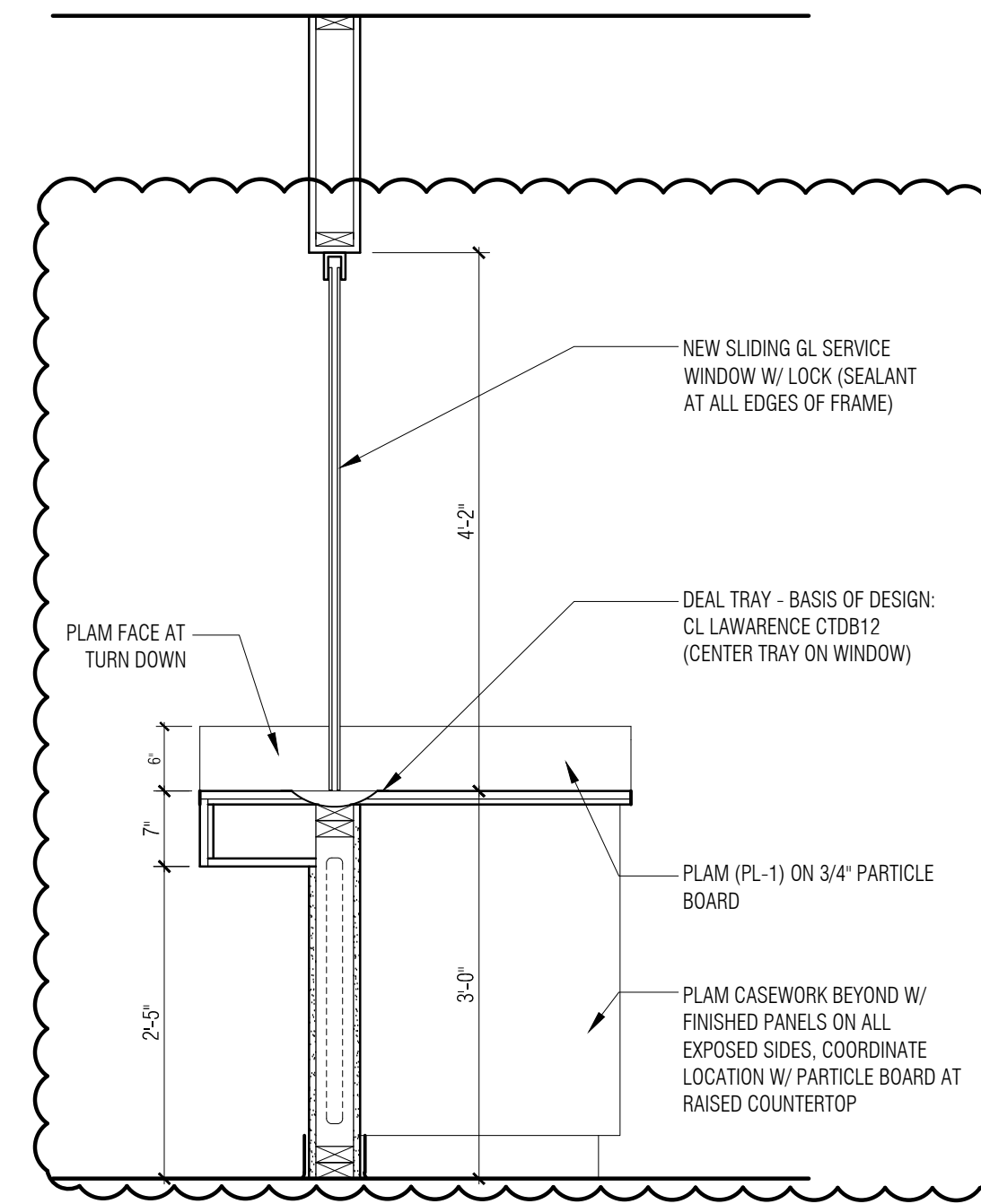
Reflected Ceiling Plan - Area 'B'
 1/4" = 1'-0"

CASEWORK LEGEND CASEWORK MODEL NUMBERS ARE DERIVED FOR BASIS OF DESIGN FROM CASE SYSTEMS DESIGN CORPORATION

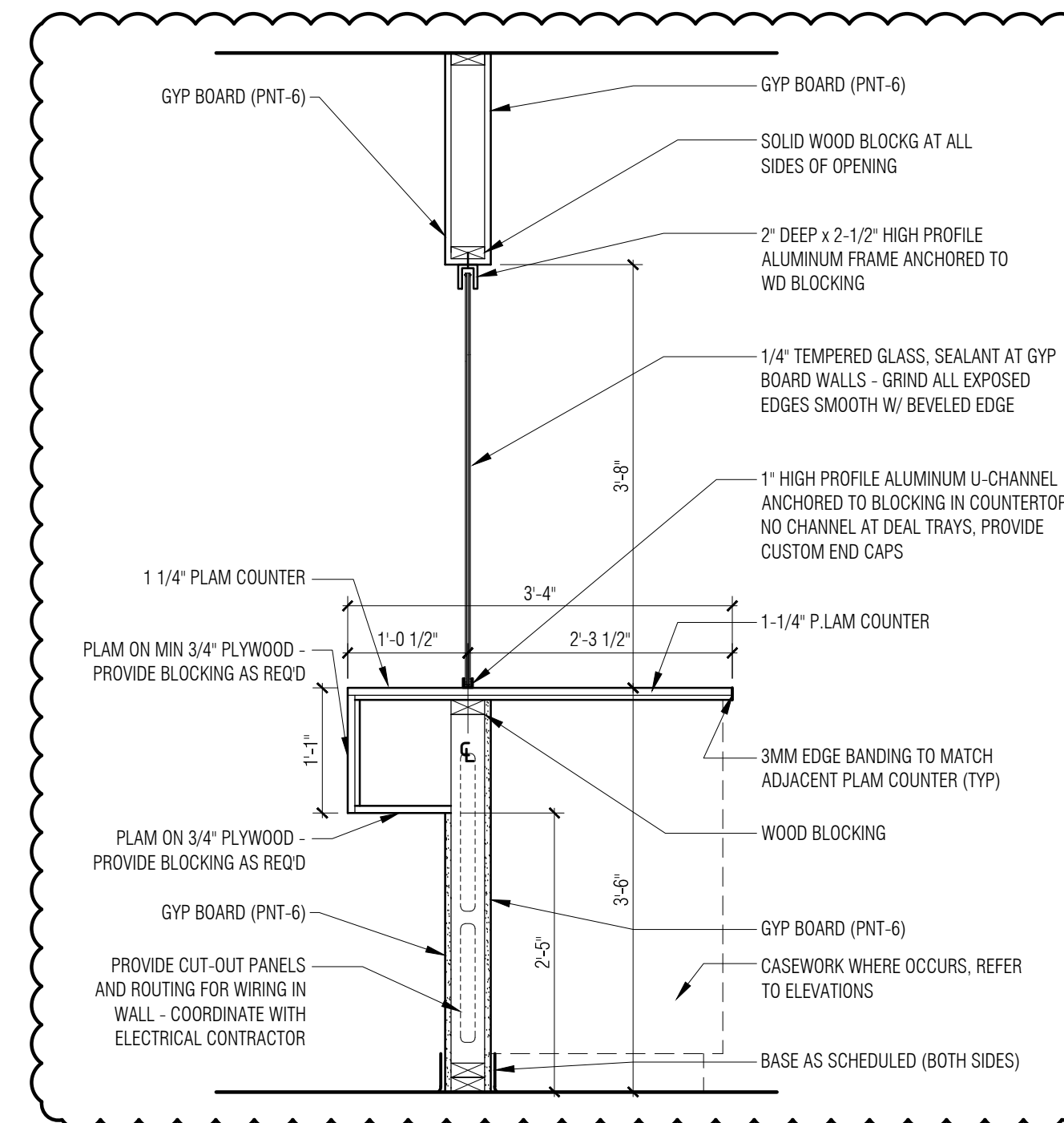
- BASE CABINETS**
- BC-1 DOOR/DRAWER STORAGE - B3110 OR B3120
 - BC-2 DOORS/DRAWERS STORAGE - B3100
 - BC-3 WHEELCHAIR ACCESSIBLE VANITY - D1000
 - BC-4 NOT USED
 - BC-5 FILE DRAWER STORAGE (THREE DRAWERS) - B4540
- WALL CABINETS**
- WC-1 STORAGE W/ DOOR - W0110 OR W0120
 - WC-2 STORAGE W/ DOORS - W0100

GENERAL CASEWORK NOTES:

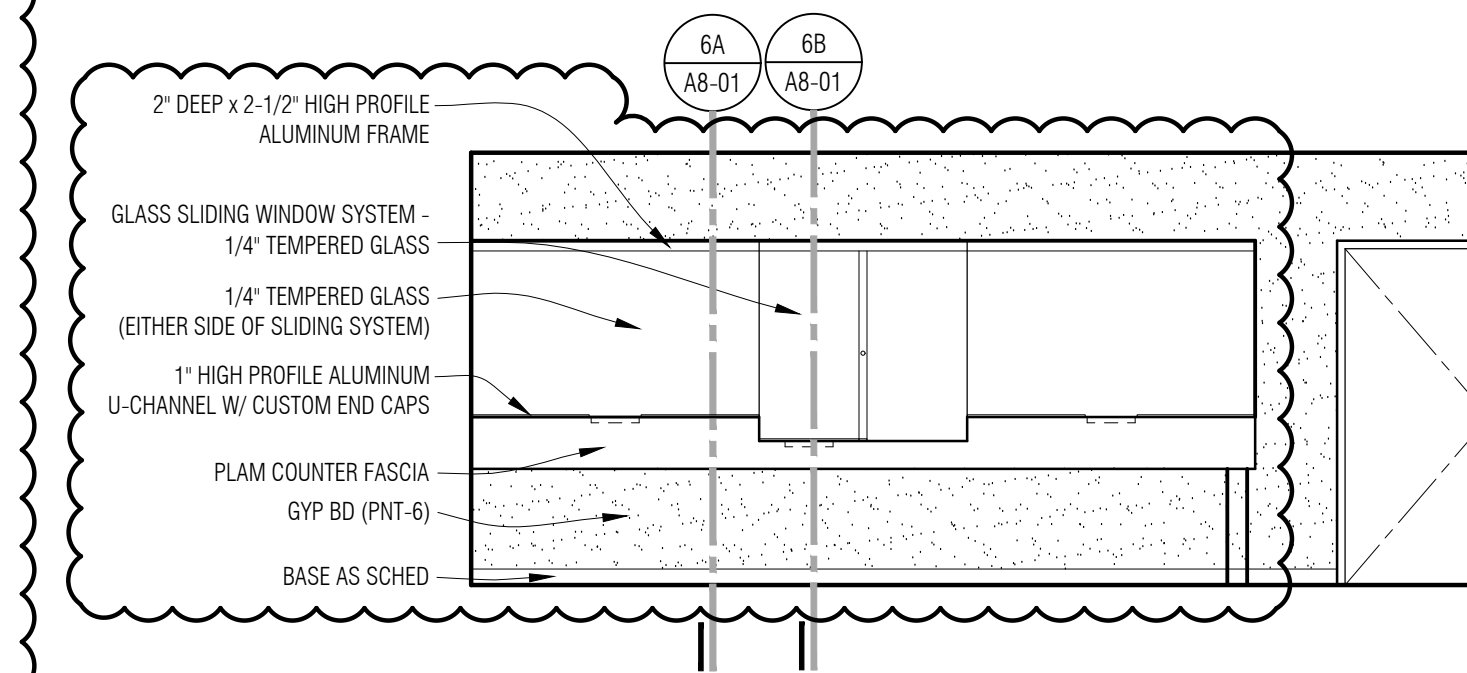
1. ALL EXPOSED SURFACES ARE TO BE FINISHED
2. PROVIDE FINISHED FILLER PANELS AS REQUIRED AT ALL SPACES BETWEEN CABINETS AND BETWEEN CASEWORK AND WALLS
3. CALK AROUND ENTIRE PERIMETER OF ALL CABINETS AND COUNTERTOPS AT INTERSECTION OF DISSIMILAR SURFACES
4. BASE CABINET DEPTH IS TO BE 24" (U.O.N.) AND UPPER CABINET DEPTH IS TO BE 12" DEEP (U.O.N.) - INTERIOR DEPTH OF CABINET
5. REFER TO OTHER ELEVATIONS WITHIN THE SAME ROOM FOR SIMILAR APPLICABLE NOTES AND REQUIREMENTS
6. WHERE COUNTER TOP ABUTS WALL, PROVIDE PAINTED WOOD CLAT
7. REFER TO MATERIAL FINISH/COLOR SCHEDULE (SPEC SECTION 000200) FOR LAMINATE (PL-#) COLORS



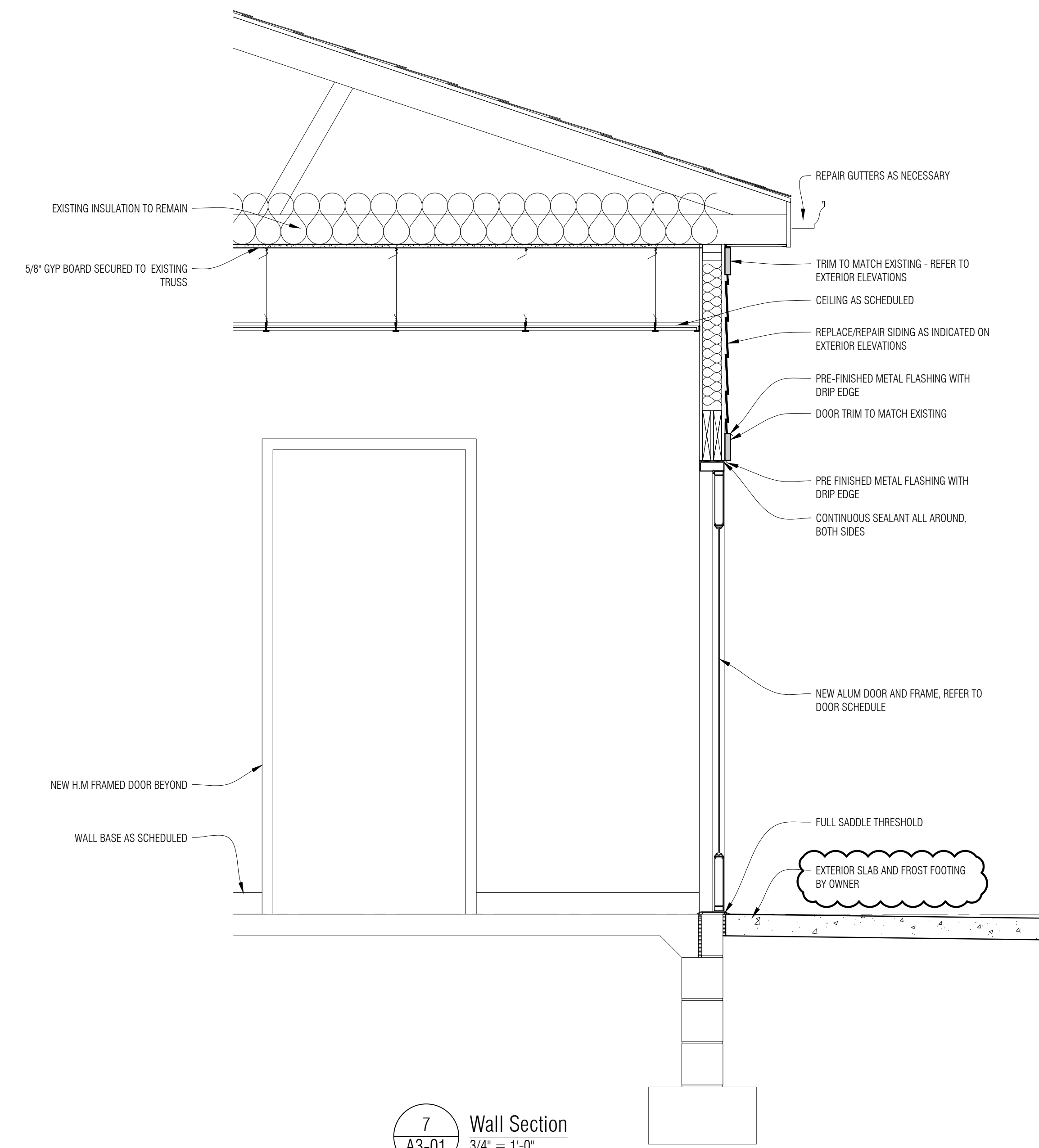
6B Section at Lobby-Transaction Counter
3/4" = 1'-0"
REFER TO ELEVATION 6A THIS SHEET FOR TYPICAL NOTES AND DIMENSIONS



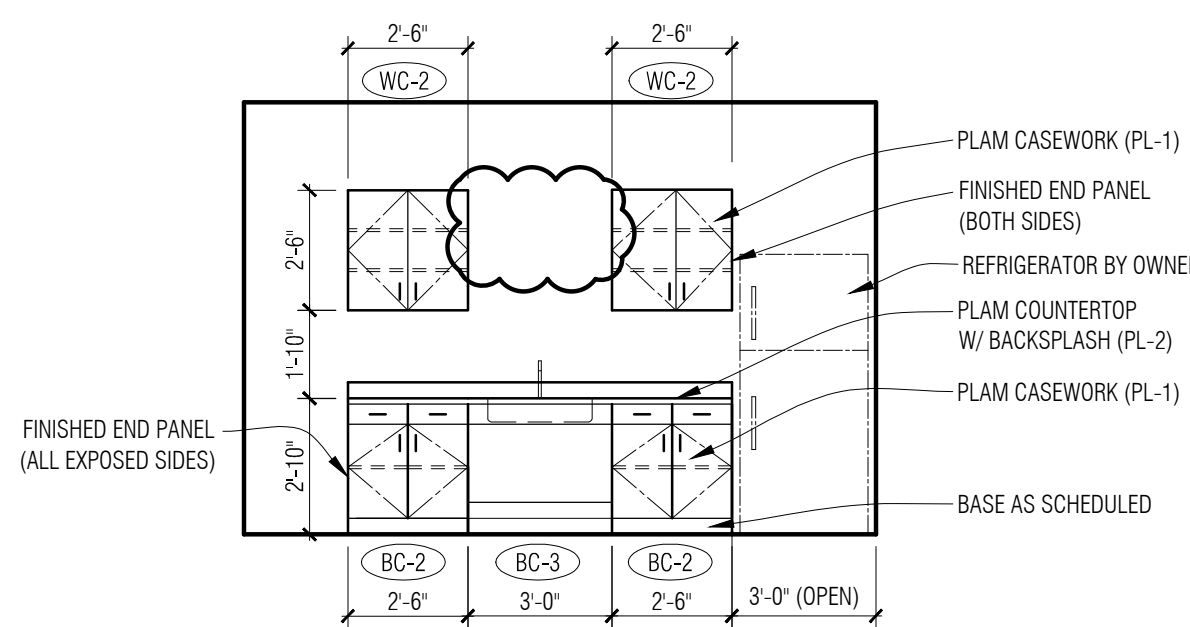
6A Section at Lobby-Transaction Counter
3/4" = 1'-0"



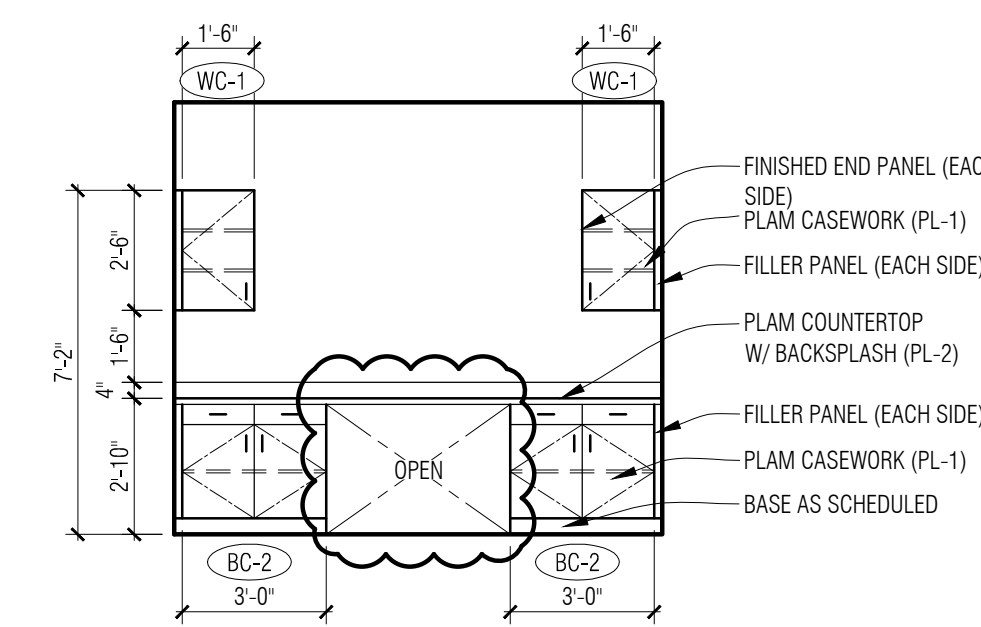
5 Lobby-Transaction Counter
1/4" = 1'-0"



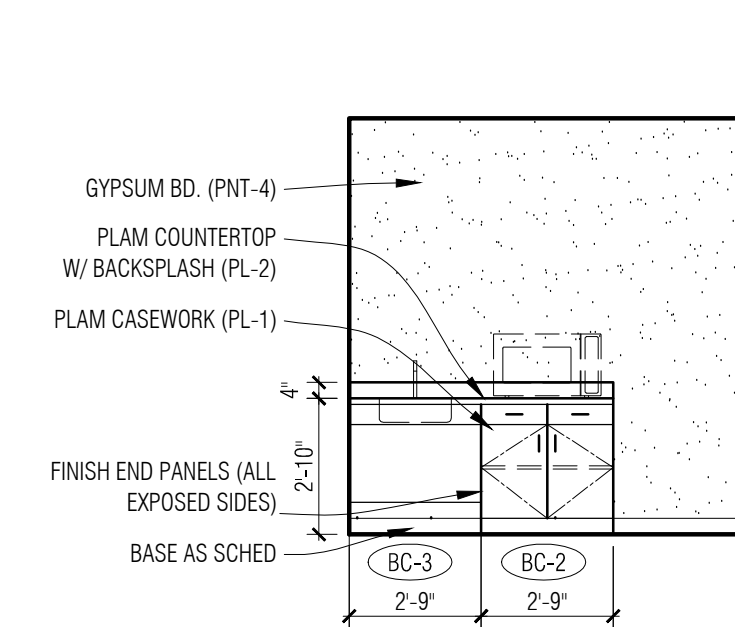
7 Wall Section
3/4" = 1'-0"



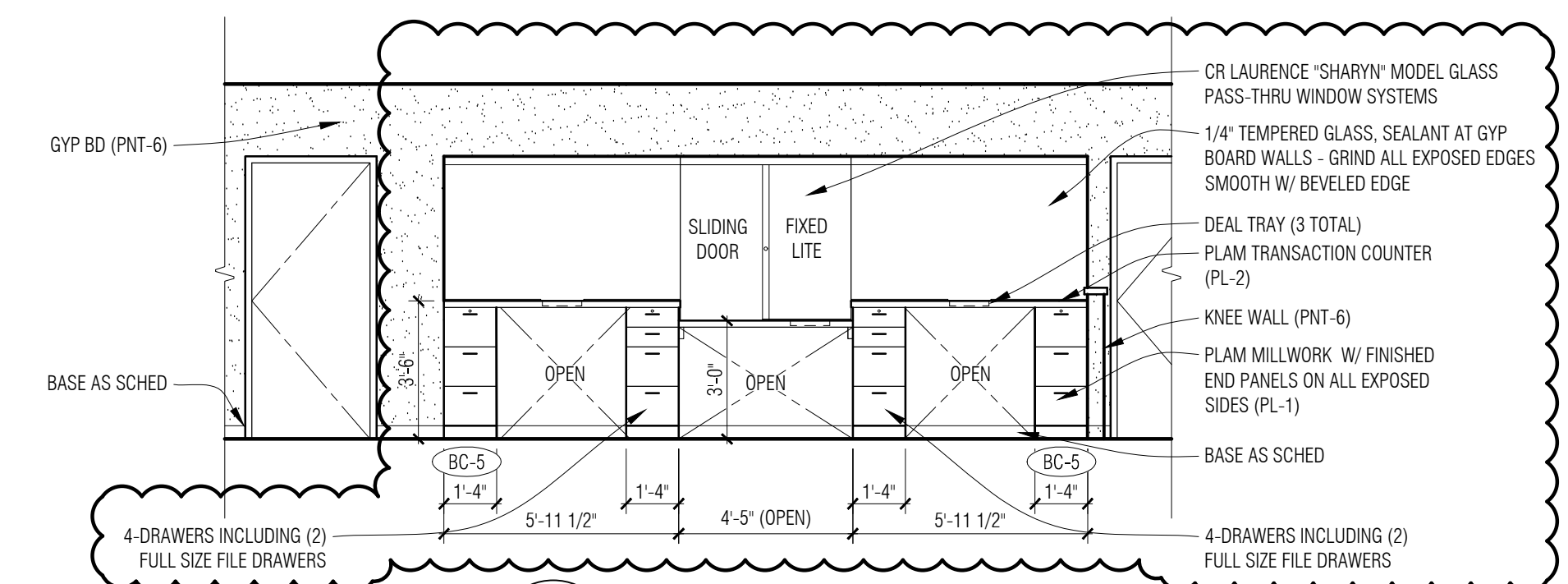
4 Break Room
1/4" = 1'-0"



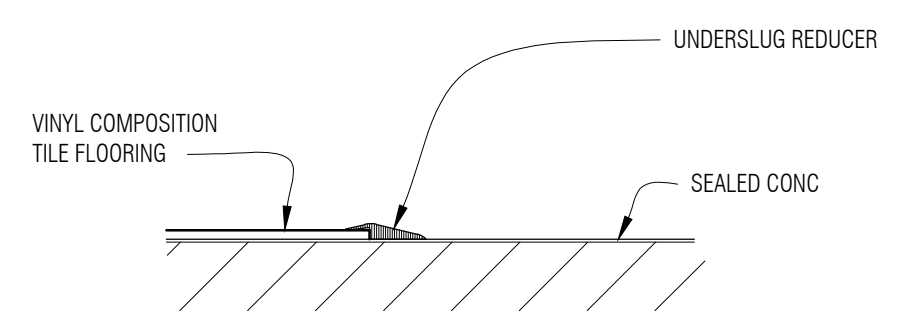
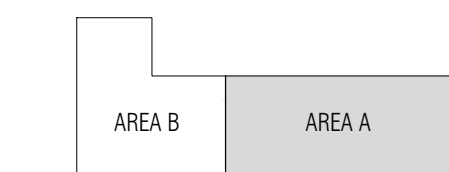
3 Work Room
1/4" = 1'-0"



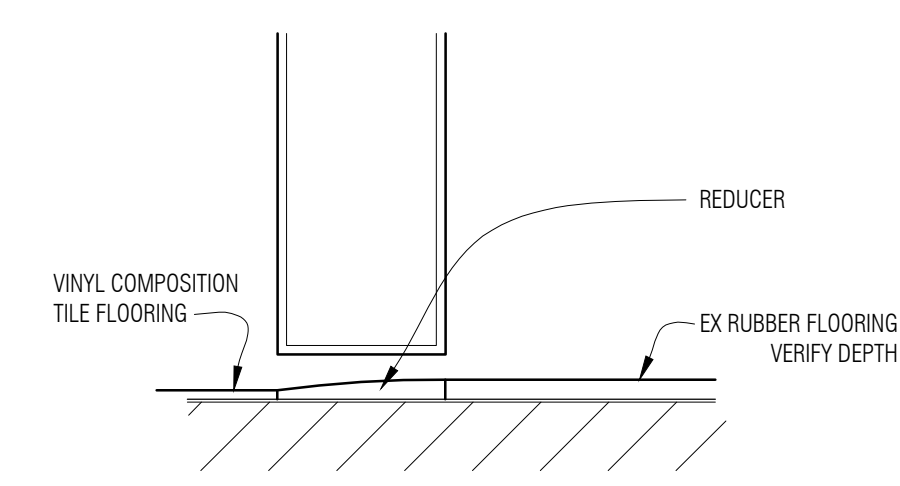
2 Multi-Purpose Room Millwork
1/4" = 1'-0"



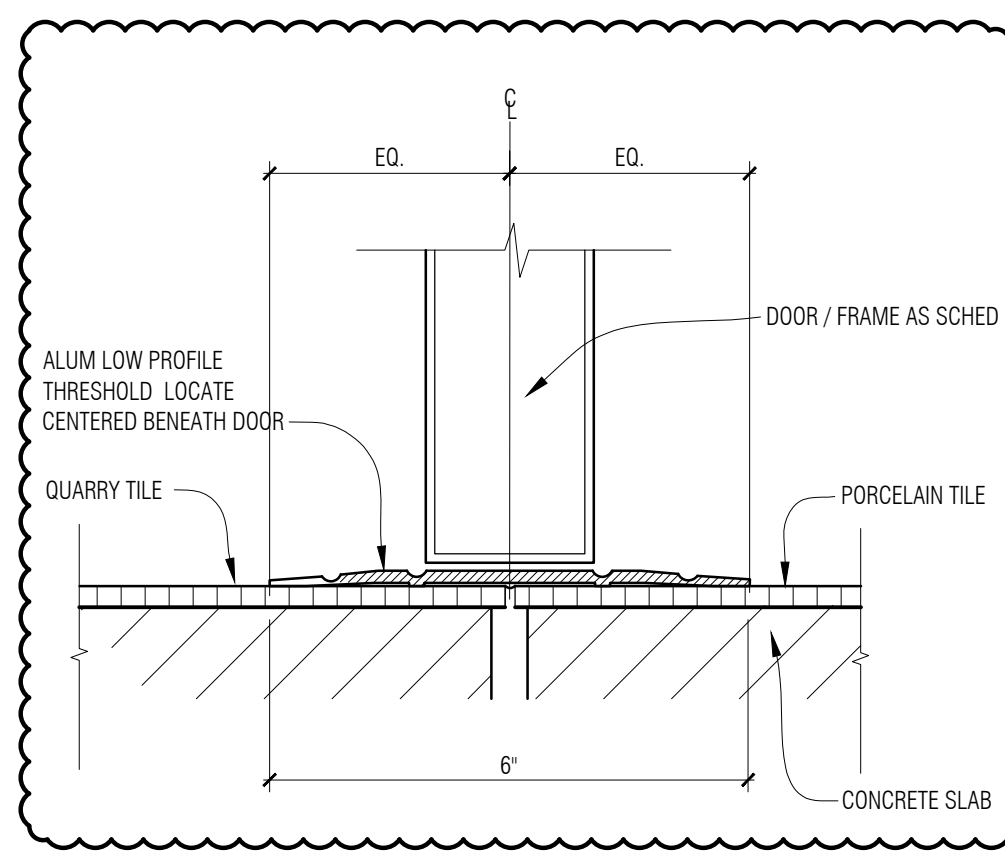
1 Lobby-Transaction Counter
1/4" = 1'-0"



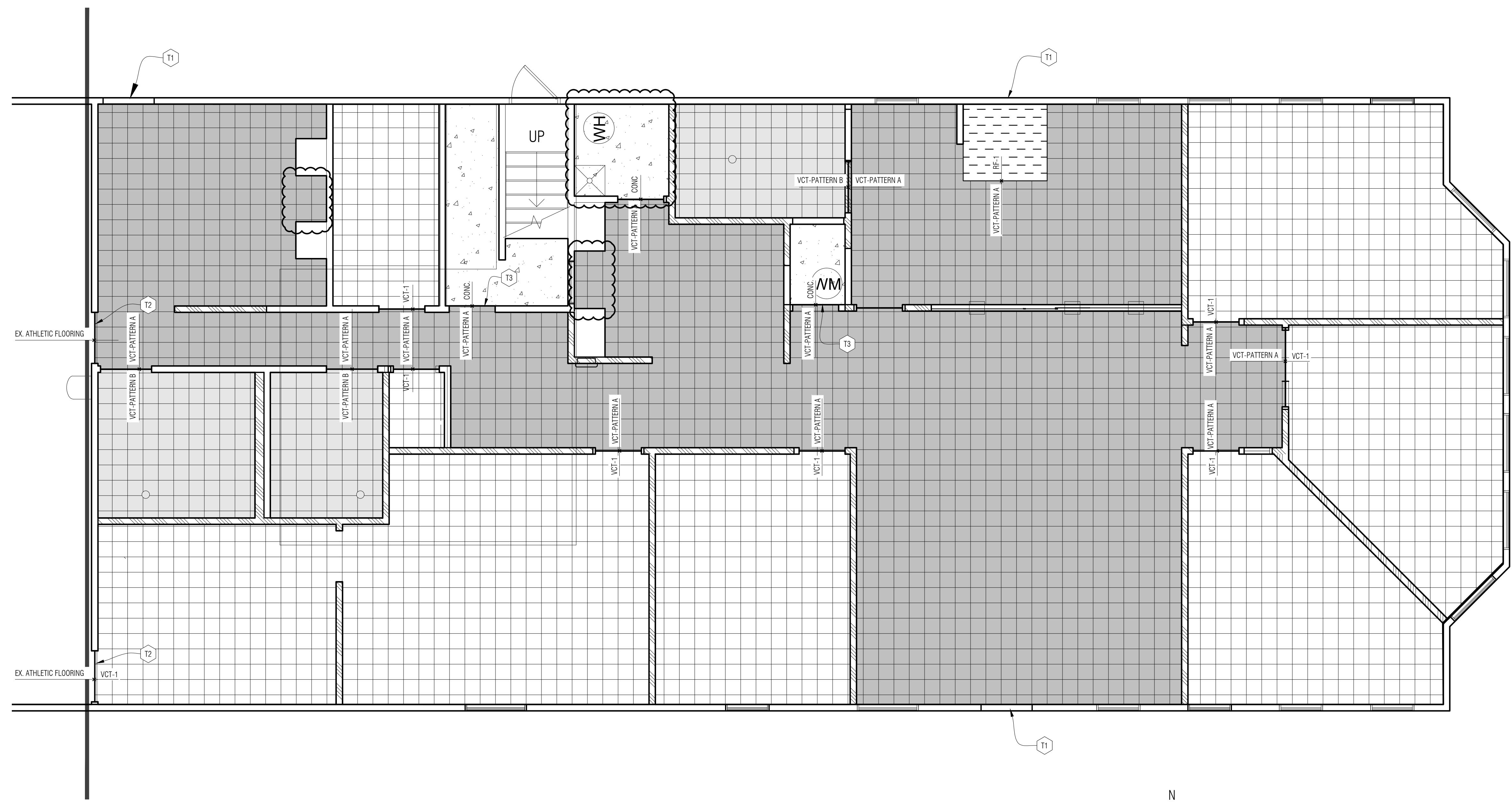
VINYL/CARPET TO CONC TRANSITION 6" = 1'-0" T3



VINYL TO EX RUBBER FLOORING REDUCER 6" = 1'-0" T2



FULL SADDLE THRESHOLD 6" = 1'-0" T1



GENERAL NOTES - FINISH FLOOR PLANS:

- A. REFERENCE ROOM FINISH SCHEDULE AND MATERIAL FINISH / COLOR SCHEDULE (SPEC SECTION 000200) FOR ADDITIONAL FINISH INFORMATION.
- B. VCT COLOR TRANSITION TO BEGIN AT FIRST JOINT INSIDE CORNER OF WALL AT ALL DOORWAYS SHOWN AS HAVING A COLOR TRANSITION.
- C. ALL DIMENSIONS ARE SHOWN AS +/- AND NEED TO BE VERIFIED IN FIELD.
- D. UNLESS OTHERWISE NOTED, FLOOR FINISHES TRANSITION UNDER THE CENTERLINE OF DOORS (WHEREVER APPLICABLE).
- E. KEYNOTE TAG WITH "T#" REFERENCES THRESHOLD DETAILS ON DRAWING A9-01.
- F. ALIGN TILE GRID AT DIFFERENT TILE TYPE CHANGES BELOW CENTERLINE OF DOOR.

Flooring Symbols Legend

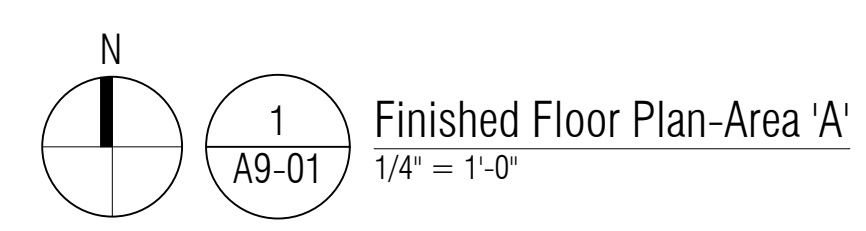
	EXISTING TO REMAIN
	CONCRETE SEALER
	RUBBER FLOORING - RF-1
	12"x12" VCT INDICATES PATTERN A
	12"x12" VCT INDICATES PATTERN B

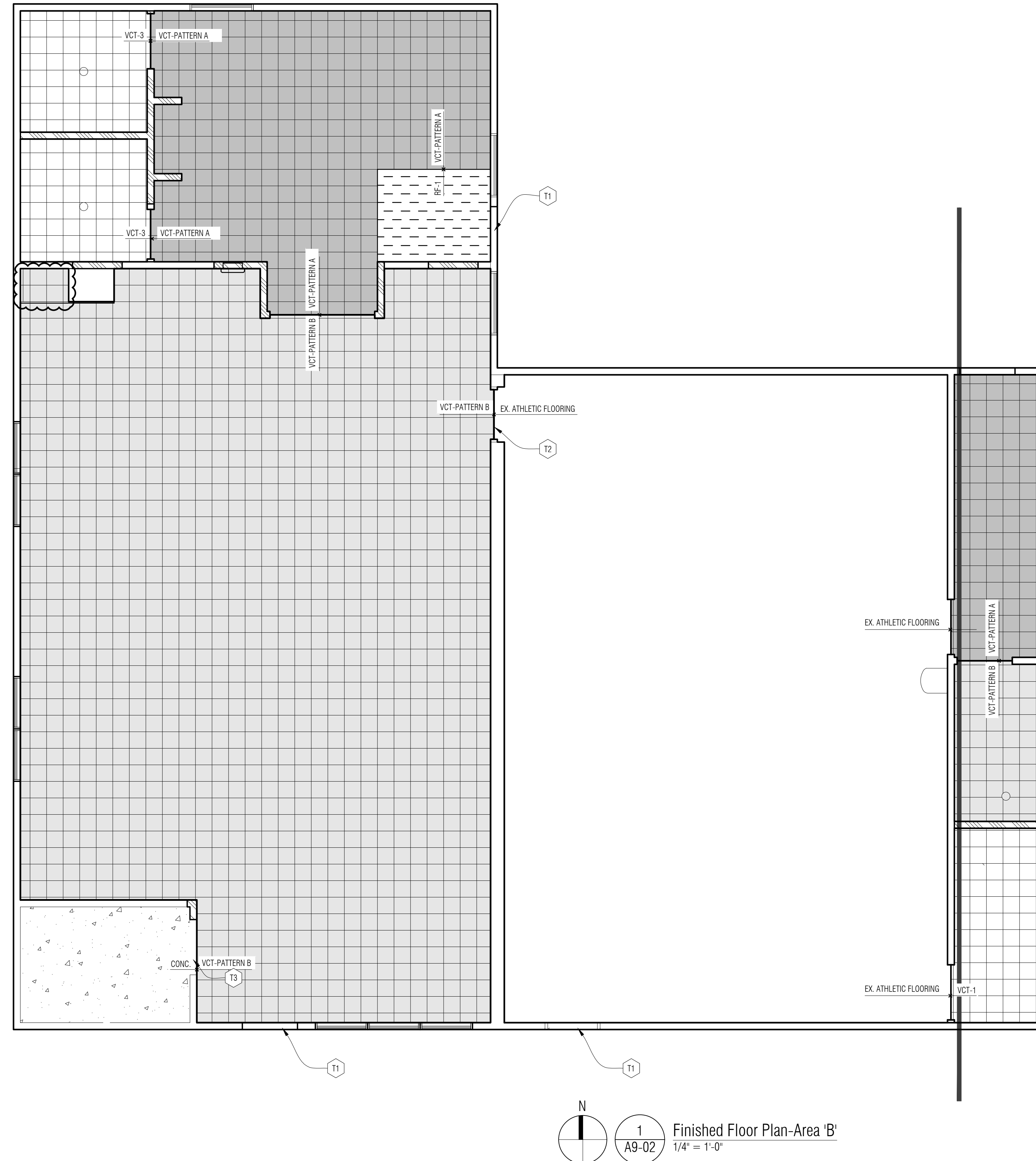
VCT Tile Pattern A

VCT-3	VCT-3	VCT-1	VCT-2	VCT-4	VCT-1
VCT-1	VCT-3	VCT-1	VCT-3	VCT-2	VCT-1
VCT-3	VCT-1	VCT-1	VCT-3	VCT-2	VCT-1
VCT-2	VCT-4	VCT-3	VCT-1	VCT-1	VCT-1
VCT-3	VCT-1	VCT-1	VCT-1	VCT-2	VCT-1
VCT-1	VCT-3	VCT-1	VCT-2	VCT-1	VCT-1
VCT-4	VCT-1	VCT-3	VCT-3	VCT-3	VCT-1
VCT-3	VCT-1	VCT-4	VCT-4	VCT-1	VCT-1
VCT-3	VCT-2	VCT-1	VCT-1	VCT-1	VCT-1

VCT Tile Pattern B

VCT-3	VCT-3	VCT-1	VCT-2	VCT-5	VCT-1
VCT-1	VCT-3	VCT-5	VCT-3	VCT-1	VCT-1
VCT-3	VCT-1	VCT-1	VCT-2	VCT-1	VCT-1
VCT-5	VCT-1	VCT-5	VCT-3	VCT-1	VCT-1
VCT-2	VCT-1	VCT-5	VCT-3	VCT-1	VCT-1
VCT-3	VCT-1	VCT-5	VCT-5	VCT-1	VCT-1
VCT-1	VCT-3	VCT-1	VCT-2	VCT-1	VCT-1
VCT-5	VCT-3	VCT-1	VCT-3	VCT-3	VCT-1
VCT-3	VCT-1	VCT-5	VCT-5	VCT-1	VCT-1
VCT-3	VCT-2	VCT-1	VCT-1	VCT-1	VCT-1





GENERAL NOTES - FINISH FLOOR PLANS:

- A. REFERENCE ROOM FINISH SCHEDULE AND MATERIAL FINISH / COLOR SCHEDULE (SPEC SECTION 000200) FOR ADDITIONAL FINISH INFORMATION.
- B. VCT COLOR TRANSITION TO BEGIN AT FIRST JOINT INSIDE CORNER OF WALL AT ALL DOORWAYS SHOWN AS HAVING A COLOR TRANSITION.
- C. ALL DIMENSIONS ARE SHOWN AS +/- AND NEED TO BE VERIFIED IN FIELD.
- D. UNLESS OTHERWISE NOTED, FLOOR FINISHES TRANSITION UNDER THE CENTERLINE OF DOORS (WHEREVER APPLICABLE).
- E. KEYNOTE TAG WITH "T#" REFERENCES THRESHOLD DETAILS ON DRAWING A9-01.
- F. ALIGN TILE GRID AT DIFFERENT TILE TYPE CHANGES BELOW CENTERLINE OF DOOR.

	EXISTING TO REMAIN
	CONCRETE SEALER
	RUBBER FLOORING - RF-1
	12"x12" VCT
	INDICATES PATTERN A
	INDICATES PATTERN B

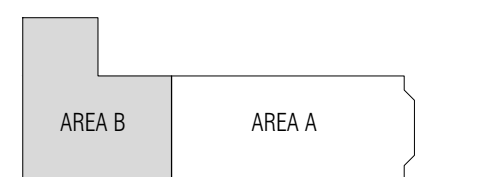
VCT-3	VCT-1	VCT-4	VCT-1
VCT-4	VCT-3	VCT-2	VCT-1
VCT-1	VCT-1	VCT-3	VCT-1
VCT-3	VCT-1	VCT-1	VCT-2
VCT-1	VCT-3	VCT-3	VCT-1
VCT-2	VCT-4	VCT-1	
VCT-3	VCT-1	VCT-1	VCT-1
VCT-1	VCT-3	VCT-2	VCT-1
VCT-4	VCT-1	VCT-3	
VCT-3	VCT-1	VCT-4	VCT-1
VCT-3	VCT-2	VCT-1	VCT-1

VCT Tile Pattern A

VCT-3	VCT-1	VCT-5	VCT-1
VCT-5	VCT-3	VCT-2	VCT-1
VCT-1	VCT-5	VCT-3	VCT-1
VCT-3	VCT-1	VCT-1	VCT-2
VCT-5	VCT-1	VCT-3	VCT-1
VCT-2	VCT-5	VCT-1	
VCT-3	VCT-1	VCT-5	VCT-1
VCT-1	VCT-3	VCT-2	VCT-1
VCT-5	VCT-1	VCT-3	
VCT-3	VCT-1	VCT-5	VCT-1
VCT-3	VCT-2	VCT-1	VCT-1

VCT Tile Pattern B

KEY PLAN



OWNER

Marine City
 330 South Water St.
 Marine City, MI 48039

PROJECT NAME

New Marine City Hall
 Renovation

260 South Parker St.
 Marine, MI 48039

PROJECT NO.

20-106

ISSUES / REVISIONS

99% CD's 07/15/2020
 100% CD's 07/30/2020

RE-BIDDING / CONSTRUCTION 09/14/2020

DRAWN BY

BH/AM

CHECKED BY

BAH

APPROVED BY

DWG

SHEET NAME

**FINISHED FLOOR
 PLAN-AREA 'B'**

SHEET NO.

A9-02

GENERAL DEMOLITION NOTES:

- REMOVE EXISTING MECHANICAL SERVICES AND EQUIPMENT AS INDICATED AND/OR DESCRIBED ALONG WITH SUPPORTS, HANGERS, CONTROLS, AND ALL RELATED ACCESSORIES.
- ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED TO BE EXISTING UNLESS OTHERWISE NOTED.
- FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING SERVICES PRIOR TO DEMOLITION.
- COORDINATE SHUTDOWN OF ANY EXISTING SYSTEMS WITH THE BUILDING SERVICES PERSONNEL.
- WHERE DUCT AND/OR PIPE INSULATION HAS BEEN DAMAGED, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
- ALL ITEMS REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS POSSESSION RIGHTS ARE WAIVED. REFER TO SPECIFICATIONS.
- LIMITS OF DEMOLITION ARE INDICATED ON THE DRAWINGS. SHOULD EXISTING FIELD CONDITIONS REQUIRE MODIFICATIONS OF THESE LIMITS FOR THE PROPER INSTALLATION OF NEW WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH MODIFICATIONS.
- ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED UNLESS OTHERWISE NOTED. CAP EXISTING PIPING, DUCTWORK, ETC. AT BRANCH MAINS. REMOVE ALL RELATED CONTROLS, WIRING, ETC., UNLESS OTHERWISE NOTED.

GENERAL HVAC NOTES:

- COORDINATE NEW DUCTWORK WITH EXISTING SITE CONDITIONS. EQUIPMENT MANUFACTURER AND ALL OTHER TRADES TO PREVENT INTERFERENCE. RESIZE & FIELD ROUTE AS REQUIRED. USE EQUIVALENT DUCT SIZING.
- PROVIDE ACCESS AROUND ALL NEW EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS.
- ALL CORING THROUGH FLOORS SHALL BE BY MECHANICAL CONTRACTOR.
- ALL DUCTWORK SHALL BE ROUTED AS HIGH AS POSSIBLE, UNLESS OTHERWISE NOTED. COORDINATE ROUTING WITH OTHER TRADES TO PREVENT INTERFERENCE.
- BALANCE AIR HANDLING SYSTEMS & DISTRIBUTION INCLUDING SUPPLY, RETURN & OUTDOOR AIR TO INDICATED FLOW RATES. REFER TO HVAC PLAN & VENTILATION SCHEDULE.
- DUCT SIZES TO DIFFUSERS SHALL MATCH NECK SIZE OF EACH. REFER TO SCHEDULES.
- ALL CONCEALED SUPPLY AIR DUCTWORK SHALL BE INSULATED PER SPECIFICATIONS.
- UNLESS NOTED ALL DUCTWORK SHALL BE CONCEALED IN WALLS, CEILING SPACE AND/OR ATTIC SPACE.
- SEAL ALL PENETRATIONS THROUGH WALLS PER SPECIFICATIONS.
- COORDINATE EXACT LOCATIONS OF DIFFUSERS AND RETURN GRILLES WITH ARCHITECTURAL AND ELECTRICAL REFLECTED CEILING PLAN.
- PROVIDE SPIN-IN DAMPERS AT ALL ROUND BRANCH DUCT CONNECTIONS TO DIFFUSERS. PROVIDE MANUAL VOLUME DAMPERS AT EACH BRANCH DUCT AT CONNECTION TO MAIN AS WELL AS IN EACH DUCT AFTER A BRANCH DUCT SPLIT. THESE ARE NOT INDICATED ON PLANS, HOWEVER, ARE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING LOCATIONS NECESSARY TO PROPERLY BALANCE THE SYSTEM.

GENERAL UTILITY NOTES:

- UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
- PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD.
- DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.

MECHANICAL ADD ALTERNATES:

- REFER TO DRAWING NOTES FOR ADD ALTERNATE DESCRIPTIONS.
- ELECTRICAL TRADES SHALL PROVIDE THE CORRESPONDING WORK AS SUGGESTED BY THE ALTERNATE DESCRIPTIONS.

GENERAL MECHANICAL NOTES:

- SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS & SPECIFICATIONS THE GREATER QUANTITY OR QUALITY WORK SHALL BE PERFORMED. THIS WORK MUST BE SUBMITTED IN WRITING TO ENGINEER PRIOR TO FINAL BID FOR APPROVAL. NO EXTRAS SHALL BE ALLOWED AFTER THAT TIME. THIS SHALL ALSO PERTAIN TO ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS OR BETWEEN TRADES. ALL ITEMS SHALL BE ADDRESSED IN WRITING PRIOR TO FINAL BIDS.
- CONTRACTORS ARE CAUTIONED NOT TO SUBMIT A BID WITHOUT CAREFULLY REVIEWING THE COMPLETE CONTRACT DOCUMENTS INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TRADES, DRAWINGS, AND THE COMPLETE PROJECT MANUAL. NO ADDITIONAL CHARGE TO CONTRACT PRICE WILL BE ALLOWED FOR ADDITIONAL CONTRACTOR EXPENSE RESULTING FROM A FAILURE TO COMPLY WITH THIS REQUIREMENT.
- NO MODIFICATIONS TO THE SPECIFICATIONS, CONSTRUCTION DOCUMENTS, OR INTENT OF THE SCOPE OF WORK SHALL BE ALLOWED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ENGINEER. ALL MODIFICATIONS, CHANGE ORDERS, ALTERNATES, VALUE ENGINEERING, OR ANY REVISIONS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND ENGINEER FOR REVIEW.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED EQUIPMENT AND OWNER PROVIDED EQUIPMENT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES RESPONSIBLE FOR FINAL CONNECTION OF ALL EXISTING AND RELOCATED EQUIPMENT.

GENERAL PLUMBING & PIPING NOTES:

- COORDINATE NEW PIPING WITH EXISTING SITE CONDITIONS, EQUIPMENT, MANUFACTURER, AND ALL OTHER TRADES TO PREVENT INTERFERENCE.
- PROVIDE ACCESS AROUND ALL NEW EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS.
- ALL CORING THROUGH FLOORS AND FLOOR TRENCHING SHALL BE BY MECHANICAL CONTRACTOR.
- ALL PIPING SHALL BE ROUTED AS HIGH AS POSSIBLE, UNLESS OTHERWISE NOTED. COORDINATE ROUTING WITH OTHER TRADES TO PREVENT INTERFERENCE.
- BALANCE WATER SYSTEMS TO INDICATED FLOW RATES.
- ALL PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- ALL PIPING SHALL BE CONCEALED IN WALLS AND/OR CEILING SPACE.
- SEAL ALL PENETRATIONS THROUGH WALLS. REFER TO SPECIFICATIONS.
- SWING JOINTS ARE TO BE USED ON ALL HOT WATER AND HOT WATER RETURN PIPING.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL PLUMBING FIXTURES.
- COORDINATE ALL LOCATION, SIZE, AND ELEVATIONS OF ALL SLEEVES THROUGH WALLS AND SLABS WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- ALL OUTLETS FOR FUTURE CONNECTIONS SHALL BE VALVED, CAPPED, AND INSTALLED TO PERMIT EASY CONNECTION. COORDINATE LOCATION WITH STRUCTURAL AND ARCH. CONDITIONS.
- VERIFY DEPTHS, SIZES, AND LOCATIONS OF EXISTING UTILITIES IN THE FIELD. INCLUDING POINTS OF CONNECTION BEFORE STARTING WORK.
- FAUCETS AND PLUMBING FIXTURES SHALL BE OF WATER CONSERVATION TYPE AND COMPLY WITH THE STATE ENERGY STANDARDS.
- RUN ALL SANITARY PIPING AT 1/8" PER FOOT, MINIMUM SLOPE, UNLESS OTHERWISE NOTED. 1-1/2" TO 2-1/2" PIPES SHALL PITCH AT 1/4" PER FOOT.
- COORDINATE INTERRUPTIONS OF SERVICES INCLUDING WATER, SEWER, AND NATURAL GAS WITH OWNER AND UTILITY COMPANIES A MINIMUM OF 72 HOURS IN ADVANCE OF ALTERATIONS.
- CONTRACTOR SHALL MAINTAIN ADEQUATE CLEARANCES ABOVE AND AROUND ELECTRICAL PANELS, EQUIPMENT, AND TRANSFORMERS WHEN ROUTING OVERHEAD DOMESTIC WATER, SANITARY, OR STORM PIPING.
- REFER TO PLUMBING FIXTURE SCHEDULE FOR FIXTURE TYPES, CONNECTIONS, AND ADDITIONAL REQUIREMENTS.
- PROVIDE ONE OF THE FOLLOWING METHODS FOR ALL FLOOR DRAINS, FLOOR SINKS WHERE TRAP IS SUBJECT TO EVAPORATION LOSS.
 - A. PROVIDE TRAP SEAL DEVICE EQUAL TO RECTORSEAL SURSEAL-PLUS OR J.R. SMITH 2692 QUAD CLOSE. CONFIRM ACCEPTANCE OF THIS METHOD WITH LOCAL PLUMBING AUTHORITY.
 - B. PROVIDE DEDICATED TRAP PRIMER VALVE AND PIPING TO EACH TRAP. TRAP PRIMER VALVE SHALL CONFORM TO ASSE 1018 OR ASSE 1044.
- PROVIDE CLEANOUTS AT THE BASE OF ALL STACKS.
- ALL VENTS THROUGH THE ROOF MUST BE A MINIMUM OF 10'-0" FROM OUTDOOR AIR INTAKES AND 12" ABOVE THE ROOF.
- JOINTS, FLANGES, UNIONS OR VALVES OF ANY KIND SHALL NOT BE INSTALLED IN THE NATURAL GAS PIPING LOCATED ABOVE CEILING IN A RETURN AIR PLENUM.
- AT EACH CONNECTION OF GAS SUPPLY TO EQUIPMENT, PROVIDE A PIPE UNION, GAS SERVICE COCK, TEE, AND 12" LONG DIRT LEG WITH CAP.

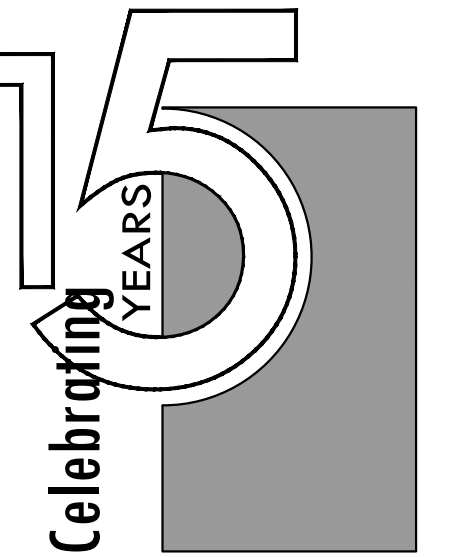
MECHANICAL LEGEND					
	FIRE DEPT. SIAMESE CONNECTION		RETURN GRILLE	HW	HOT WATER
	AIR BALANCING DAMPER		SUPPLY DIFFUSER	HWR	HOT WATER RETURN
	BACKFLOW PREVENTER (BFP)		EXHAUST GRILLE	I.E.	INVERT ELEVATION
	GAS METER		FLEXIBLE DUCT	IW	INDIRECT WASTE
	WATER METER		MOTORIZED DAMPER	LAV	LAVATORY
	NEW CONNECTION TO EXISTING		SPIN-IN FITTING WITH VOLUME DAMPER	MT	MECHANICAL TRADES
	DEMOLITION LIMITS	A.F.F.	ABOVE FINISHED FLOOR	MS	MOP SINK
	DIAMETER	AHJ	AUTHORITY HAVING JURISDICTION	O.A.	OUTSIDE AIR
	PLUG VALVE NON LUBRICATED TYPE (KEYPORT 400 SERIES) (GAS COCK)	AHU	AIR HANDLING UNIT	R.A.	RETURN AIR
	BALL VALVE	ASR	AUTO SPRINKLER RISER	RG/EG	RETURN GRILLE OR EXHAUST GRILLE
	GATE VALVE	AT	ARCHITECTURAL TRADES	RTU	ROOFTOP UNIT
	CHECK VALVE	CA	COMPRESSED AIR	S	SINK
	O.S. & Y VALVE	CD	CEILING DIFFUSER	S.A.	SUPPLY AIR
	RELIEF VALVE	CFH	CUBIC FEET PER HOUR	SAN	SANITARY
	THERMOMETER	CFM	CUBIC FEET PER MINUTE	SR	SUPPLY REGISTER
	THERMOSTAT (ELECTRIC)	CO	CLEANOUT	TCC	TEMPERATURE CONTROLS CONTRACTOR
	RECIRCULATING PUMP	CW	COLD WATER (DOMESTIC)	UR	URINAL
	MANUAL AIR VENT	DN	DOWN	VAV	VARIABLE AIR VOLUME
	SHOCK ABSORBER	(E)	EXISTING	V.T.R.	VENT THRU ROOF
	GAUGE	EF	EXHAUST FAN	W	WASTE
	UNION	ET	ELECTRICAL TRADES	WC	WATER CLOSET
	PIPE DOWN	EWC	ELECTRIC WATER COOLER	-----	DOMESTIC COLD WATER
	PIPE UP	EWL	ELECTRIC WATER HEATER	-----	DOMESTIC HOT WATER
	PIPE TEE	FD	FLOOR DRAIN	-----	DOMESTIC HOT WATER RETURN
	STRAINER	GC	GENERAL CONTRACTOR	---G---	NATURAL GAS
	FLOOR DRAIN	HO	HUB OUTLET	---DX---	REFRIGERANT LINES
	PIPE GUIDES	HVAC	HEATING VENTILATING & AIR CONDITIONING	---SAN---	SANITARY SEWER
	CIRCUIT SETTER	HV	HEATING VENTILATING UNIT	---V---	VENT PIPING

MECHANICAL DRAWING INDEX	
SHEET NO.	SHEET TITLE
MO-01	MECHANICAL LEGEND, DRAWING INDEX AND GENERAL NOTES
MO-02	MECHANICAL SPECIFICATIONS
MO-03	MECHANICAL SPECIFICATIONS
MO-04	MECHANICAL SCHEDULES
MO-05	MECHANICAL SCHEDULES
MO-06	MECHANICAL DETAILS
MO-01	MECHANICAL DEMO PLAN AREA - A
MO-02	MECHANICAL DEMO PLAN AREA - B
M-10	PLUMBING FLOOR PLAN AREA - A
M-11	PLUMBING FLOOR PLAN AREA - B
M-20	HVAC FLOOR PLAN AREA - A
M-21	HVAC FLOOR PLAN AREA - B

MECHANICAL BID ALTERNATES:
 PROVIDE ADD ALTERNATE PRICING FOR THE FOLLOWING WORK INCLUDING ASSOCIATED WORK OF OTHER TRADES.

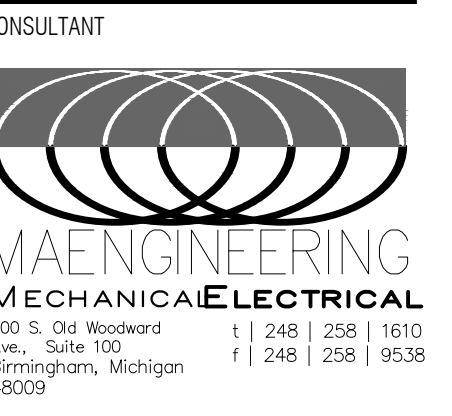
- PROVIDE MIN R-6 DUCT INSULATION ON ALL EXISTING DUCTWORK ROUTED IN ATTIC TO COMPLY WITH 2013 ASHRAE 90.1 ENERGY CODE. BASE BID: NEW DUCTWORK ROUTED IN ATTIC TO COMPLY WITH 2013 ASHRAE 90.1 ENERGY CODE.

PARTNERS

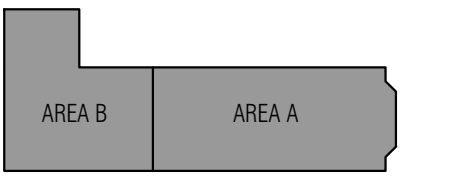


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KEY PLAN



OWNER
 Marine City
 330 South Water St.
 Marine City, MI48039

PROJECT NAME
 New Marine City Hall
 Renovation

260 South Parker St.
 Marine, MI 48039

PROJECT NO.
 20-106

ISSUES / REVISIONS
 99% CDs 07/15/2020
 100% CDs 07/30/2020

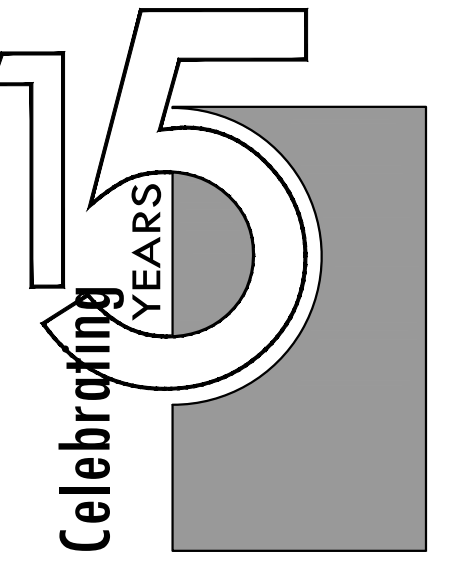
RE-BIDDING / CONSTRUCTION 09/14/2020

DRAWN BY
 MJ
 CHECKED BY
 LS
 APPROVED BY
 GS
 SHEET NAME

MECHANICAL COVER SHEET

SHEET NO.
 MO-01

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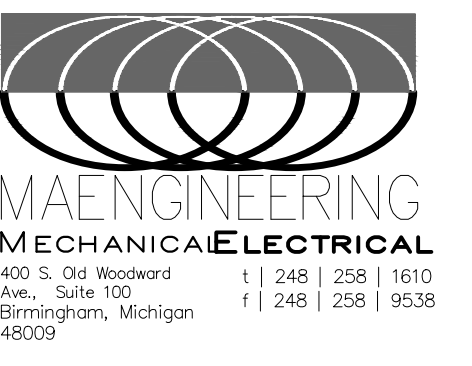


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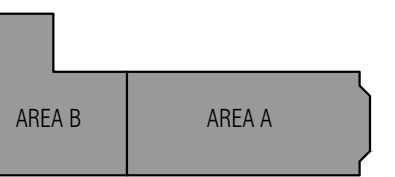
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KEY PLAN



OWNER

Marine City
330 South Water St.
Marine City, MI 48039

PROJECT NAME

New Marine City Hall
Renovation

260 South Parker St.
Marine, MI 48039

PROJECT NO.

20-106

ISSUES / REVISIONS

Table with 2 columns: Issue/Revision description, Date. Includes 99% CDs (07/15/2020) and 100% CDs (07/30/2020).

RE-BIDDING / CONSTRUCTION

09/14/2020

DRAWN BY

MJ

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LS

APPROVED BY

GS

SHEET NAME

MECHANICAL
SPECIFICATIONS

SHEET NO.

MO-03

CONTROL DAMPERS

THE CONTRACTOR SHALL PROVIDE ALL CONTROL DAMPERS OF THE TYPES INDICATED ON THE PLANS, UNITED ENERTECH, NAILOR, RUSKIN, PREFCO, AIR BALANCE OR AMERICAN WARMING. FRAMES SHALL NOT BE LESS THAN 13 GAUGE GALVANIZED STEEL. BLADES MUST NOT BE OVER 8" WIDE NOR LESS THAN 16 GAUGE, GALVANIZED STEEL, ROLL FORMED. BEARINGS SHALL BE OILTITE, BALL BEARING OR NYLON WITH 1/4" SHAFTS. SIDE SEALS SHALL BE STAINLESS STEEL OF THE TIGHT-SEAL SPRING TYPE. DAMPERS AND SEALS SHALL BE SUITABLE FOR TEMPERATURE RANGES OF -40 TO 200? F.

ALL PROPORTIONAL CONTROL DAMPERS SHALL BE OPPOSED BLADE TYPE AND ALL TWO-POSITION DAMPERS SHALL BE PARALLEL-BLADE TYPES.

DAMPERS SHALL BE MINIMUM LEAKAGE TYPE TO CONSERVE ENERGY AND THE MANUFACTURER SHALL SUBMIT LEAKAGE AND FLOW CHARACTERISTIC DATA FOR ALL CONTROL DAMPERS WITH THE ENVIRONMENTAL CONTROL SUBMITTED. MAXIMUM LEAKAGE SHALL BE 2% AT STATIC PRESSURE OF 4" OF W.C.

DAMPER ACTUATORS

ALL DAMPER OPERATORS SHALL BE FULLY PROPORTIONING, UNLESS OTHERWISE SPECIFIED. THEY SHALL BE QUIET IN OPERATION AND SHALL HAVE AMPLE POWER TO OVERCOME FRICTION OF DAMPER LINKAGE AND AIR PRESSURE ACTING ON LOUVERS TO POSITION DAMPERS ACCURATELY AND SMOOTHLY. THE CONTROL MANUFACTURER SHALL FURNISH AND INSTALL A SUITABLE SPRING LINKAGE BETWEEN OPERATOR AND DAMPER.

THE OPERATORS SHALL BE CAPABLE OF OPERATING AT VARYING RATES OF SPEED TO CORRESPOND TO THE DICTATES OF THE CONTROLLERS AND VARIABLE LOAD REQUIREMENTS. THE OPERATORS SHALL BE CAPABLE OF OPERATING IN SEQUENCE AS REQUIRED BY THE SEQUENCE OF OPERATION.

THE OPERATORS SHALL HAVE EXTERNAL ADJUSTABLE STOPS TO LIMIT THE STROKE IN EITHER DIRECTION. THE OPERATOR LINKAGE ARRANGEMENTS SHALL BE SUCH AS TO PERMIT NORMALLY OPEN OR NORMALLY CLOSED POSITIONS OF THE DAMPERS AS REQUIRED. OPERATORS SHALL BE POWER OPEN, SPRING CLOSE (POWER OPEN, POWER CLOSE) TYPE.

ELECTRIC HEATER

ELECTRIC HEATER (EH) SHALL BE EQUAL TO ERINCRAFT, QMARK OR MARKEL 120V SINGLE PHASE WITH INTEGRAL THERMOSTAT, DISCONNECT SWITCH, FAN DELAY, WALL SLEEVE, LOUVERED GRILLE.

ELECTRIC DUCT HEATER

ELECTRIC DUCT HEATERS SHALL BE EQUAL TO MARKEL, QMARK, THERMOLEC, GREENHECK OR BRASCH WITH OPEN COIL ELEMENTS, SLIP-IN DUCT DESIGN, TERMINAL BOX FOR HOUSING ELECTRICAL TEMPERATURE AND SAFETY CONTROLS, AIR FLOW SWITCH, 24V CONTROL TRANSFORMER, DISCONNECT SWITCH, SCR CONTROLS.

FURNACES AND CONDENSING UNITS

FURNACES SHALL BE HIGH EFFICIENCY TYPE (95+%), SEALED COMBUSTION CONDENSING TYPE DESIGN, AS MANUFACTURED BY ARMSTRONG, CARRIER, TRANE OR LENNOX. FURNISH WITH NATURAL GAS FIRED HEAT, ELECTRONIC IGNITION, DRAFT INDUCER BLOWER, CONDENSATE DRAIN KIT, TEMPERATURE CONTROLS, 7 DAY THERMOSTAT WITH NIGHT SET-BACK, 1" THROWAWAY FILTERS, COOLING COIL, LINE SET, FULL CHARGE REFRIGERANT.

FURNACES ARE TO BE VERTICAL OR HORIZONTAL DESIGN AS SHOWN ON THE PLANS. PROVIDE SUPPORT CHANNELS AND VIBRATION ISOLATOR HANGERS FOR HORIZONTAL UNITS. WHERE THE RETURN AIR DUCT MUST CONNECT AT THE BOTTOM, PROVIDE AN ANGLE IRON SUPPORT FRAME TO ELEVATE THE FURNACE.

PROVIDE CONDENSATE DRAINS AND HORIZONTAL OR VERTICAL CONCENTRIC TERMINATION KITS FOR ALL SEALED COMBUSTION TYPE FURNACES. UNLESS NOTED OTHERWISE, ALL VENTS ARE TO BE VERTICAL TYPE THROUGH THE ROOF.

PROVIDE A WATER LEVEL DETECTOR IN THE CONDENSATE DRAIN PAN HIGHER THAN THE PRIMARY DRAIN CONNECTION AND LOWER THAN THE OVERFLOW RIM. ACTIVATION WILL SHUT DOWN THE UNIT.

AIR COOLED CONDENSING UNITS SHALL BE BY THE SAME MANUFACTURER AS THE FURNACES AND SHALL INCLUDE SCROLL COMPRESSOR, FILTER-DRYER, HIGH-LOW PRESSURE CUTOUT, EXPANSION VALVE KIT, SERVICE VALVES, ANTI-SHORT CYCLE TIMER, 45" (0") LOW AMBIENT CONTROL AND ADDITIONAL 4 YEAR COMPRESSOR REPAIR/REPLACEMENT WARRANTY. MINIMUM SEER 14.0, 208/230 VOLT, SINGLE PHASE.

MOUNT CONDENSING UNITS ON 3" THICK, VIBRATION ABSORBING, PRE-FABRICATED, CEMENT COMPOSITE PADS EQUAL TO DIVERSITECH CORP. 'ULTRALITE' WITH POLYSTYRENE CORE AND HEAT RESISTANT OUTER SKIN. EACH PAD IS TO BE 4" LARGER THAN THE EQUIPMENT IN EACH DIRECTION.

TESTS, ADJUSTMENTS AND ACCEPTANCE

UPON COMPLETION OF THE ERECTION OF ALL EQUIPMENT AND ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE APPROVED SHOP DRAWINGS, OR AT SUCH TIME AS DIRECTED BY THE ARCHITECT, THIS SUBCONTRACTOR SHALL START ALL APPARATUS, MAKE NECESSARY TESTS AS DIRECTED AND AS SPECIFIED HEREIN, AND MAKE COMPLETE ADJUSTMENTS OF ALL ITEMS OF EQUIPMENT BEFORE ACCEPTANCE BY THE ARCHITECT TO WHOSE REPRESENTATIVE THIS SUBCONTRACTOR SHALL DEMONSTRATE (BY PERFORMANCE) ALL OF THE VARIOUS APPARATUS AND EQUIPMENT. START UP AND ADJUSTMENT OF EQUIPMENT SHALL INCLUDE ALL EQUIPMENT FURNISHED AND INSTALLED BY THIS CONTRACTOR.

MANUFACTURER'S AUTHORIZED PERSONNEL MUST BE PRESENT AT THE START-UP AND CALIBRATION OF ALL MAJOR EQUIPMENT INCLUDING THE BOILERS, WATER HEATERS, CHILLER, CONDENSING UNITS, HVAC UNITS, PUMPS AND MAKE-UP AIR UNITS.

WORK UNDER THIS SECTION OF THE SPECIFICATIONS SHALL NOT BE CONSIDERED COMPLETE UNTIL THIS SUBCONTRACTOR HAS OBTAINED REQUIRED INSPECTIONS, CONDUCTED PERFORMANCE TESTS, MADE NECESSARY ADJUSTMENTS AND HAS SUBMITTED SATISFACTORY EVIDENCE OF COMPLIANCE. THE ARCHITECT SHALL MAKE SPOT CHECKS TO DETERMINE THE ACCURACY AND COMPLETENESS OF FINAL ADJUSTMENTS. SHOULD SPOT CHECKS INDICATE MORE THAN A REASONABLE DEVIATION FROM DESIGN DRAWINGS AND REQUIREMENTS, THIS SUBCONTRACTOR SHALL REPEAT TESTS AND ADJUSTMENTS TO THE SATISFACTION OF THE ARCHITECT. DURING THE TESTING PERIOD, THIS SUBCONTRACTOR SHALL MAINTAIN ON THE JOB A COMPETENT INDIVIDUAL, THOROUGHLY FAMILIAR WITH ALL PHASES OF THE HEATING AND VENTILATION SYSTEMS, FOR AS LONG AS MAY BE REQUIRED TO THOROUGHLY ADJUST ALL OF THE SYSTEMS AND TO DEMONSTRATE TO THE ARCHITECT AND/OR ENGINEER THAT THEY ARE FUNCTIONING PROPERLY.

AUTOMATIC TEMPERATURE CONTROLS

M.T. SHALL FURNISH AND INSTALL ALL REQUIRED AUTOMATIC TEMPERATURE CONTROLS INCLUDING ELECTRICAL WIRING, TRANSFORMERS AND THERMOSTATS FOR PROPER OPERATION OF THE HVAC SYSTEMS. WIRING SHALL BE IN ACCORDANCE WITH N.E.C. STANDARDS. POWER FOR CONTROLS IS AVAILABLE IN ONE OF THE ELECTRICAL PANELS. COORDINATE CIRCUIT AND BREAKER SIZE REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR.

GAS FIRED FURNACES

UNITS ARE AUTOMATICALLY CYCLED FOR HEATING AND COOLING BY THEIR PROGRAMMABLE THERMOSTAT AND SPACE SETPOINT.

ACTIVATION OF THE UNIT OR DUCT MOUNTED SMOKE DETECTORS SHALL STOP THE FAN, OPEN THE RETURN AIR DAMPERS AND CLOSE THE OUTDOOR AIR DAMPERS AND ACTIVATE A VISIBLE AND AUDIBLE ALARM.

FANS

EXHAUST FANS ARE CONTROLLED BY AN INTERLOCK, A TIME SWITCH, A SEPARATE WALL SWITCH OR MOTION SENSOR BY ELECTRICAL TRADES. REFER TO FAN SCHEDULE.

INSULATION SPECIFICATIONS

GENERAL

INSULATION SHALL BE INSTALLED ON ALL PIPING AND DUCTWORK SYSTEMS WHERE SPECIFIED BELOW. INSULATION PRODUCTS SHALL BE MANUFACTURED BY OWENS CORNING, CERTAINTEED, JOHNS-MANVILLE OR KNAUF AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

INSULATION MATERIALS SHALL MEET CURRENT ASHRAE 90.1 REQUIREMENTS INCLUDING MAXIMUM FLAME SPREAD RATING OF 25 AND SMOKE DEVELOPED RATING OF 50 OR LESS.

DUCTWORK THAT IS ACOUSTICALLY LINED SHALL NOT BE INSULATED.

INSULATION PRODUCTS

ALL DOMESTIC HOT AND COLD WATER PIPING EXCEPT FOR SHORT RUNS TO FIXTURES SHALL BE INSULATED WITH 1" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER. TAPE JOINTS AND COVER ELBOWS WITH PRE-FABRICATED PVC OR ALUMINUM ELBOW WRAPS. NOTE THAT PVC USED IN CEILING SPACES USED AS RETURN AIR PLENUMS MUST BE PLENUM RATED.

AT THE CONTRACTOR'S OPTION, CLOSED CELL POLYMER FOAM INSULATION EQUAL TO ARMAFLEX OR NOMACO MAY BE USED ON DOMESTIC WATER PIPING. 3/4" THICKNESS FOR PIPES UP TO 1-1/4" IN SIZE AND 1" THICK FOR PIPES 1-1/2" AND LARGER.

PHYSICALLY HANDICAPPED LAVATORIES SHALL BE PROVIDED WITH "P" TRAP AND WATER INSULATION KITS EQUAL TO TRUEBRO "HAND-LAY-GUARD". INSULATION SHALL THOROUGHLY COVER THE HOT AND COLD WATER AND WASTE PIPES FROM THE LAVATORY TO THE WALL ESCUTCHEONS AND PROVIDE ACCESS TO WATER ANGLE STOP VALVES. WHITE FINISH.

ALL CONCEALED INDOOR HEATING AND/OR COOLING SUPPLY AND RETURN AIR DUCTWORK SHALL BE INSULATED WITH 1-1/2" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER. TAPE ALL JOINTS WITH VAPOR BARRIER TAPE. MINIMUM INSTALLED "R" VALUE TO BE 4.2.

REFRIGERANT PIPING SHALL BE INSULATED WITH 3/4" NOMACO OR ARMAFLEX. PIPING LOCATED OUTDOORS SHALL BE FINISHED WITH ARMAFLEX SEAL PAINT PER MANUFACTURERS RECOMMENDATIONS.

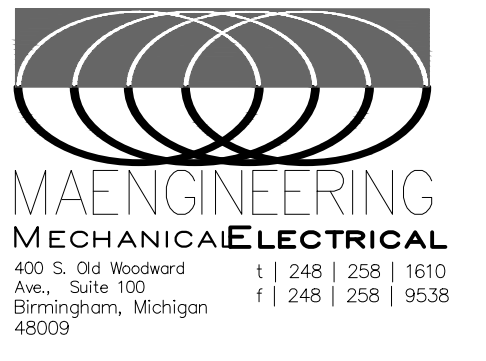


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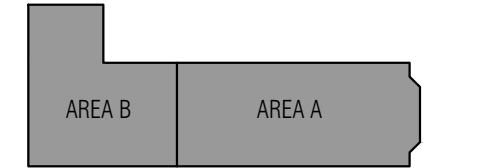
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20-106

ISSUES / REVISIONS

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RE-BIDDING / CONSTRUCTION

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MJ

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LS

APPROVED BY

GS

SHEET NAME

MECHANICAL
SCHEDULES

SHEET NO.

MO-05

FAN SCHEDULE

FAN SCHEDULE table with columns: TAG, SPACE/SYSTEM SERVED, TYPE, BASIS OF DESIGN MFR, BASIS OF DESIGN MODEL NUMBER, DRIVE TYPE, CFM, ESP (IN WC), TSP (IN WC) INCLUDING BACKDRAFT DPR, FAN SPEED (RPM), MOTOR (HP (WATTS), VOLTAGE), FAN SPEED ADJUSTMENT FOR BALANCING, CONTROLLED BY, INLET DBA (DB), INLET SONES, BASE FAN WEIGHT (LBS), WEIGHT OF CURB & ACCESSORIES (LBS), TOTAL OPERATING WEIGHT (LBS), NOTES/ACCESSORIES.

NOTES & ACCESSORIES

1 CEILING CABINET EXHAUST FAN WITH INTEGRAL BACKDRAFT DAMPER, SOLID STATE SPEED CONTROL IN FAN CABINET FOR BALANCING, DISCONNECT, SEE PLAN FOR EXHAUST DUCT TERMINATION.

GAS FIRED FURNACE SCHEDULE

GAS FIRED FURNACE SCHEDULE table with columns: TAG, MFR, MODEL, BLOWER (CFM, MAX ESP (IN WC), DRIVE TYPE), GAS DATA (TYPE, MBH INPUT, MBH OUTPUT, AFUE), DX AC EVAP COIL (MODEL, NOMINAL TONS, VOLTAGE), ELECTRICAL (MCA, MOP), OA CFM, WEIGHT (LBS), NOTES/ACCESSORIES.

FURNACE NOTES/ ACCESSORIES

1 CASED EVAP COIL, PROGRAMMABLE THERMOSTAT, ECM BLOWER MOTOR, VARIABLE SPEED FAN CONTROLS, VERTICAL UPFLOW CONFIGURATION, SIDE RETURN WITH 30% MERV 8 FILTER RACK, CONDENSATE DRAIN ACID NEUTRALIZING KIT.

ELECTRIC FAN FORCED HEATER SCHEDULE

ELECTRIC FAN FORCED HEATER SCHEDULE table with columns: TAG, BASIS OF DESIGN MFR, BASIS OF DESIGN MODEL NUMBER, ARRANGEMENT, KW, BTUHR, CFM, TEMP RISE (F), VOLTAGE, HIGH SPEED AMPS, MOUNTING, ROUGH DIMENSIONS (IN), WEIGHT (LBS), NOTES/ACCESSORIES.

NOTES & ACCESSORIES

1 DISCONNECT SWITCH, AUTOMATIC FAN DELAY CIRCUIT, AUTOMATIC RESET THERMAL LIMIT, BRONZE POWDER COATED 18 GAUGE STEEL GRILL WITH EXTRUDED ALUMINUM FRONT FRAME, STEEL BLOCK FINNED TUBULAR HEATING ELEMENT, VANE AXIAL FAN BLADE, BUILT-IN TAMPER PROOF THERMOSTAT, ETL LISTED, 1-YEAR LIMITED WARRANTY, INSTALLATION TEMPLATES.
2 DISCONNECT SWITCH, WHITE POWDER COATED 20 GAUGE GRILL, MANUAL RESET THERMAL LIMIT, 24V CONTROL TRANSFORMER, ENCLOSED STEEL FIN SHEATH ELEMENT, MAXIMUM MOUNTING IS 12", REMOTE THERMOSTAT.

PUMP SCHEDULE

PUMP SCHEDULE table with columns: TAG, SERVICE, TYPE, BASIS OF DESIGN MANUFACTURER, BASIS OF DESIGN MODEL, GPM, HEAD (FT H2O), SUCTION SIZE (IN), DISCHARGE SIZE (IN), FLUID, MOTOR NAMEPLATE HP, NOMINAL MOTOR SPEED (RPM), MOTOR VOLTAGE, OPERATING WEIGHT (LBS), REMARKS.

PROVIDE LEAD FREE BRONZE CONSTRUCTION SUITABLE FOR DOMESTIC HOT WATER DUTY. PROVIDE AQUA-STAT AND TIMECLOCK TO START/ STOP PUMP BASED ON RETURN WATER TEMP AND ENABLE/ DISABLE PUMP CIRCUIT BASED ON OCCUPANCY SCHEDULE.

FURNACE DX AC REMOTE AIR COOLED CONDENSING UNIT SCHEDULE

FURNACE DX AC REMOTE AIR COOLED CONDENSING UNIT SCHEDULE table with columns: TAG, FURNACE SERVED, MFR, MODEL NUMBER, NOMINAL TONS COOLING, TOTAL MBH, SENS MBH, ARI RATED EFFICIENCY, AMBIENT TEMP (DEG. F), ELECTRICAL (VOLTAGE, MCA, MOP), WEIGHT (LBS), NOTES/ACCESSORIES.

NOTES/ ACCESSORIES

1 R-INSULATED DX REFRIGERANT PIPING SIZED BY MFR FOR LENGTH OF RISE AND RUN, ASHRAE 90.1 2013 COMPLIANT, PREFABRICATED PAD FOR GRADE MOUNTING.

CONNECTED GAS LOAD SUMMARY AND NOTES

CONNECTED GAS LOAD SUMMARY AND NOTES table with columns: TAG, ITEM, QUANTITY, HIGH FIRE INPUT (MBH), TOTAL MBH, REQUIRED GAS PRESSURE RANGE AT EQUIPMENT.

SERVICE REQUIREMENT: TOTAL MBH & RECOMMENDED MINIMUM DELIVERY PRESSURE

NATURAL GAS SERVICE NOTES:
1) COORDINATE GAS SERVICE UPGRADE WITH THE GAS UTILITY COMPANY.
2) GENERAL CONTRACTOR SHALL ASSIST THE OWNER WITH APPLYING FOR AND OBTAINING GAS SERVICE WORK FROM THE UTILITY.
3) SUMMARY TABLE INFORMATION IS PER BASIS OF DESIGN EQUIPMENT ONLY. CONFIRM ACTUAL WITH PURCHASED EQUIPMENT AND ADJUST DESIGN ACCORDINGLY.
4) GAS DELIVERY PRESSURE SHALL BE PROVIDED AND ADJUSTED BY THE UTILITY TO BE ADEQUATE FOR ALL EQUIPMENT WITHOUT ISSUE.
5) PROVIDE BALANCED VALVE POSITIVE LOCK-UP GAS PRESSURE REGULATORS EQUAL TO MAXITROL 210 FOR EQUIPMENT WHERE DELIVERY PRESSURE EXCEEDS THE MAXIMUM RECOMMENDED INLET PRESSURE OF THE EQUIPMENT. PROPERLY VENT ALL REGULATORS TO THE OUTDOORS AND IN COMPLIANCE WITH THE INTERNATIONAL FUEL GAS CODE AND EQUIPMENT MFR'S IOM. SELECT REGULATORS TO PROVIDE INTERMITTENT 10 PSIG OVER PRESSURE PROTECTION ABOVE THE NORMAL LINE PRESSURE TO THE EQUIPMENT.

SUPPLY AIR DIFFUSER NECK SIZING SCHEDULE

SUPPLY AIR DIFFUSER NECK SIZING SCHEDULE table with columns: TAG, AIR QUANTITY RANGE, NECK SIZE (IN).

SUPPLY AIR REGISTER NECK SIZING SCHEDULE

SUPPLY AIR REGISTER NECK SIZING SCHEDULE table with columns: TAG, AIR QUANTITY RANGE, NECK SIZE (IN).

EXHAUST REGISTER SIZING SCHEDULE

EXHAUST REGISTER SIZING SCHEDULE table with columns: TAG, CFM RANGE, NECK SIZE (IN).

RETURN/TRANSFER GRILLE SIZING SCHEDULE

RETURN/TRANSFER GRILLE SIZING SCHEDULE table with columns: TAG, CFM RANGE, NECK SIZE (IN).

GRILLE REGISTER AND DIFFUSER SCHEDULE

GRILLE REGISTER AND DIFFUSER SCHEDULE table with columns: TAG, SERVICE, BASIS OF DESIGN MFR, BASIS OF DESIGN MODEL NUMBER, CFM RANGE, NECK SIZE (IN), FACE DIMENSIONS (IN), MOUNTING, NOTES/ACCESSORIES.

NOTES & ACCESSORIES

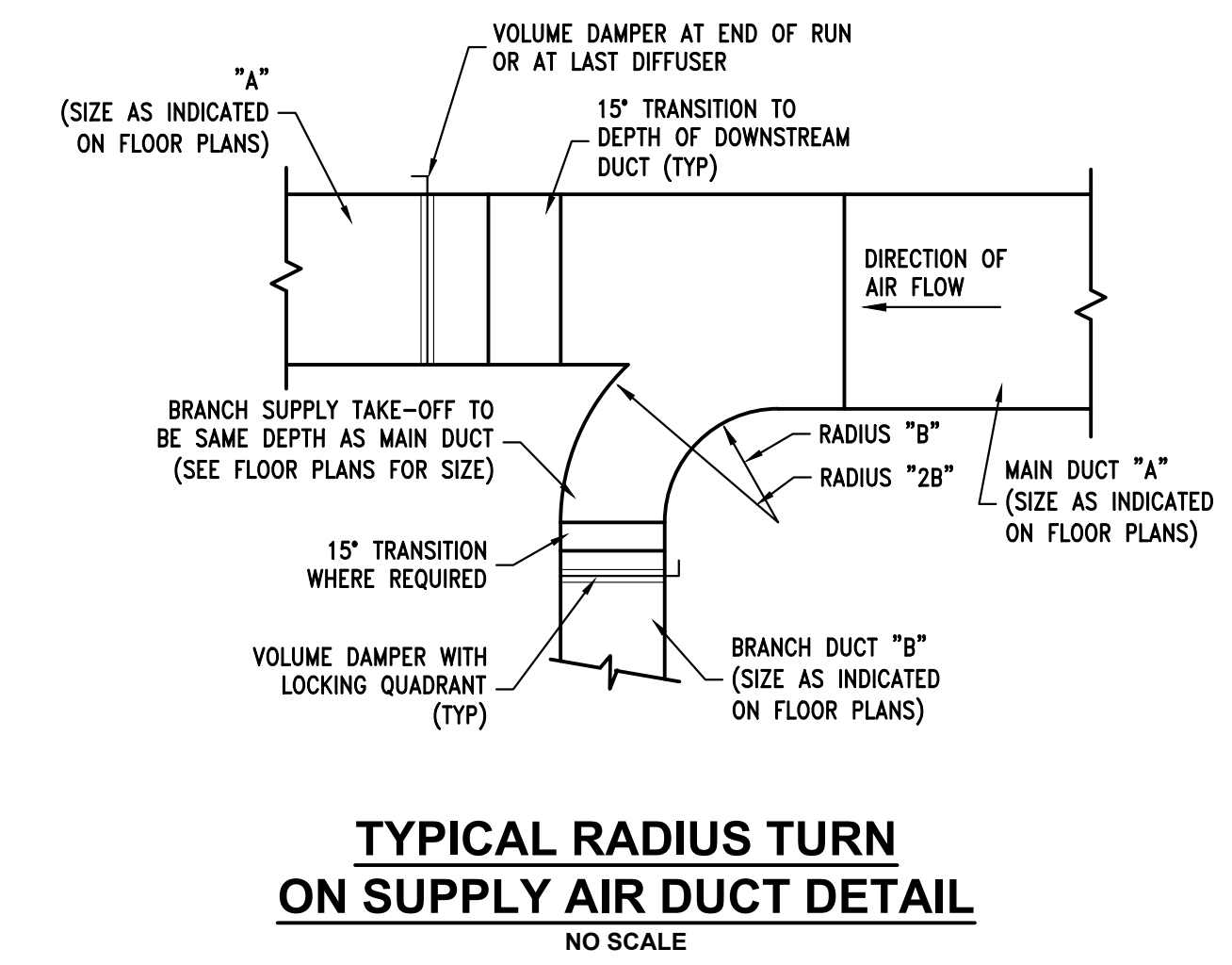
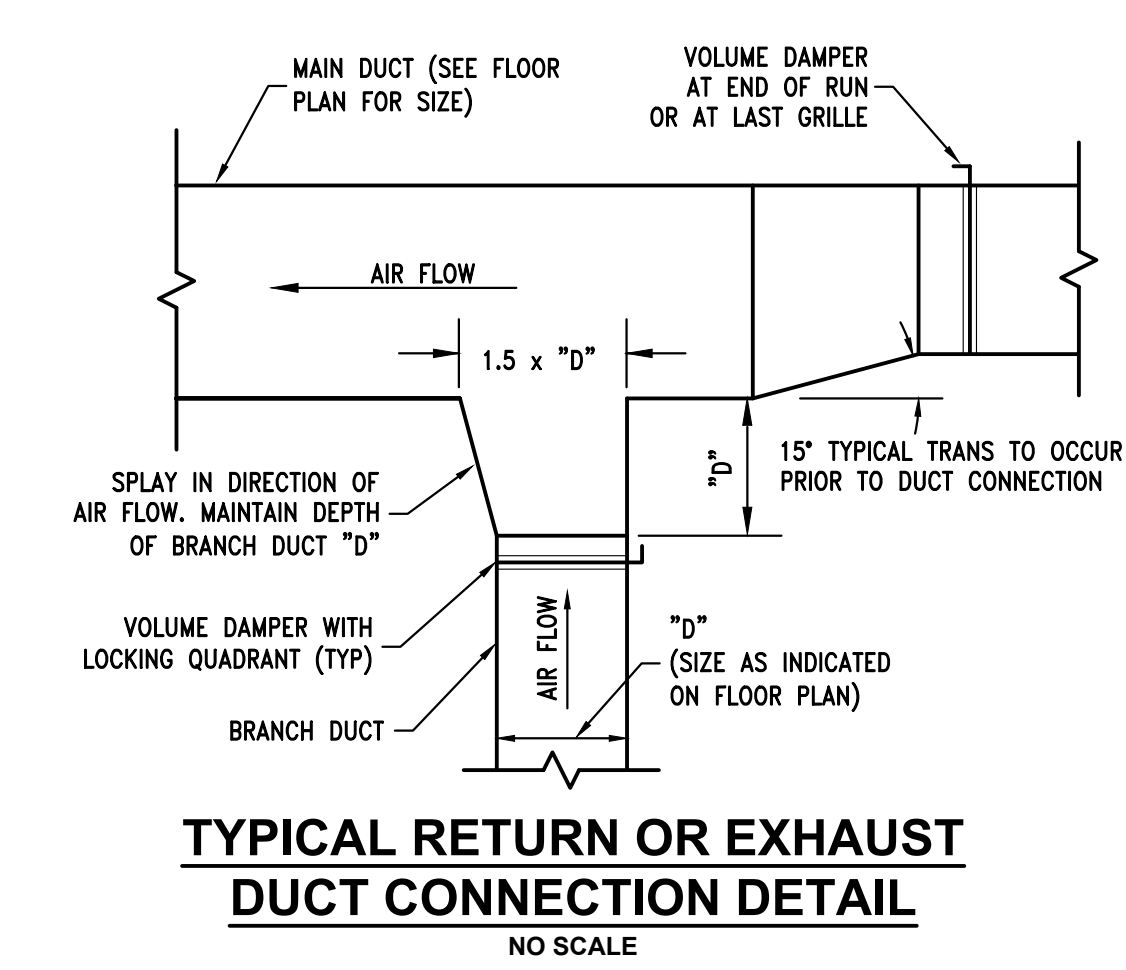
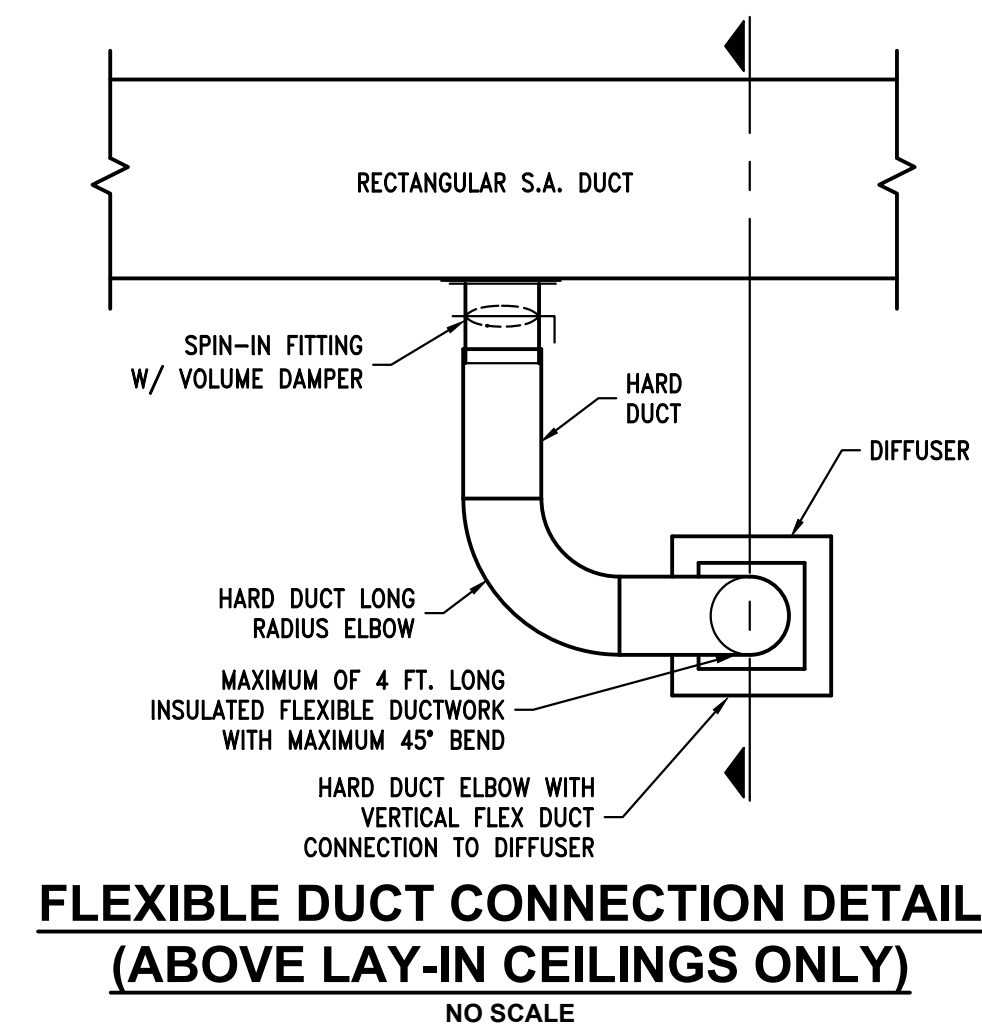
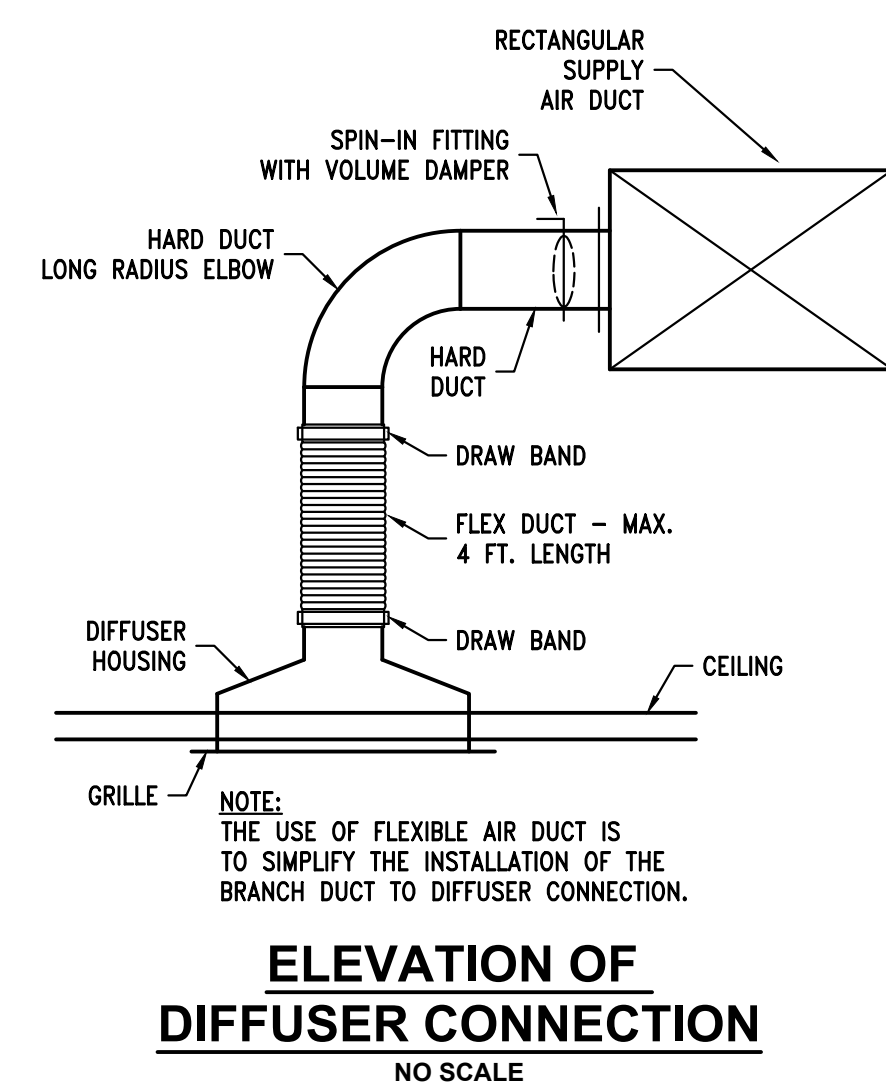
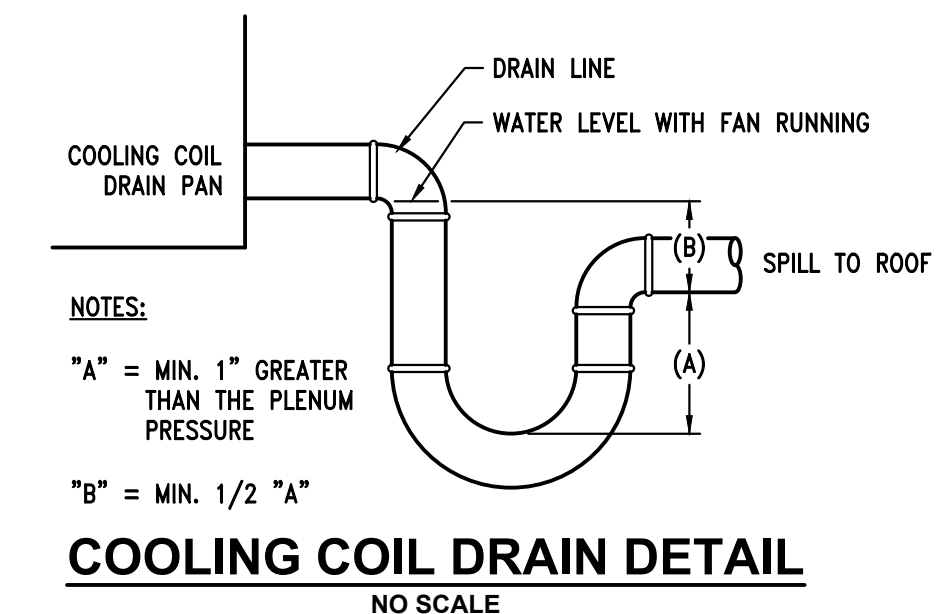
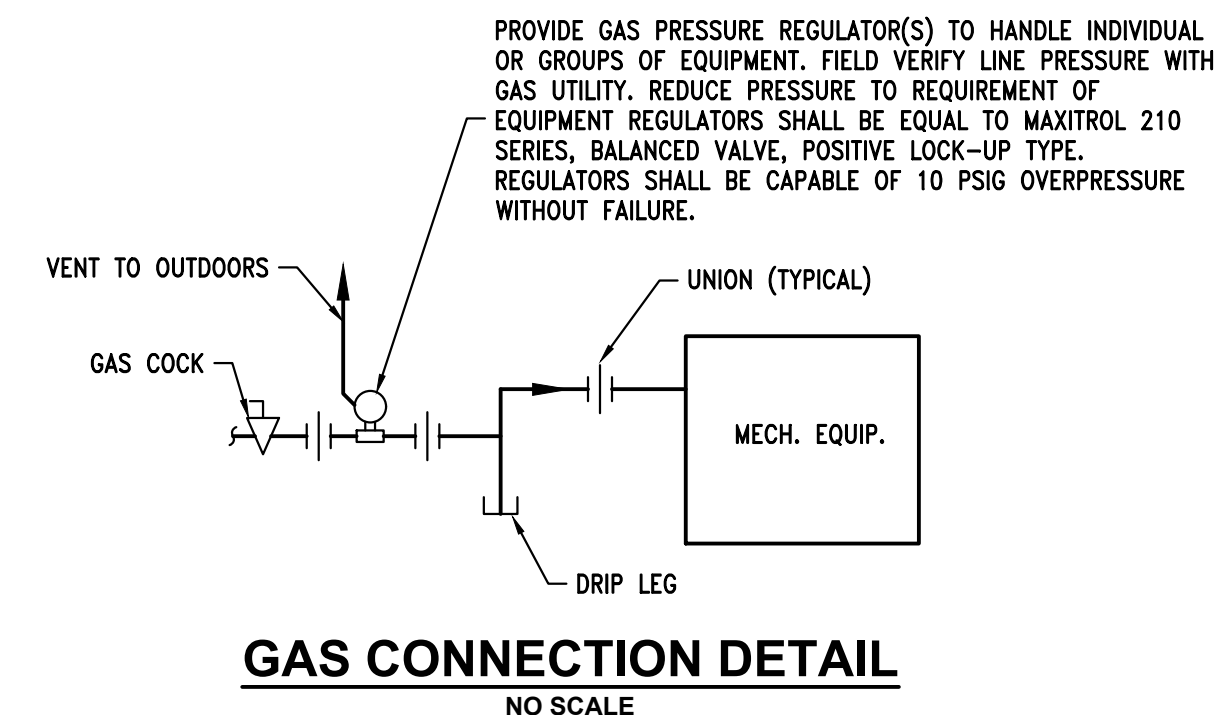
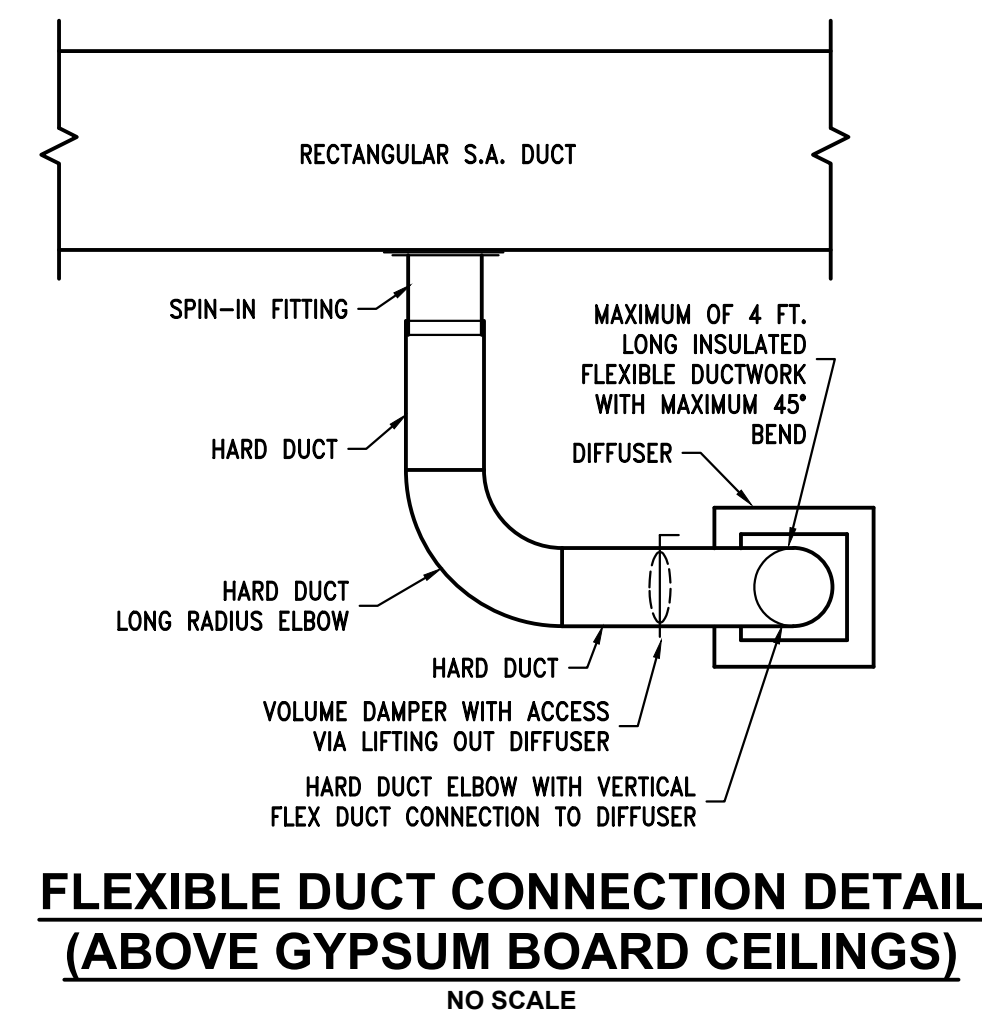
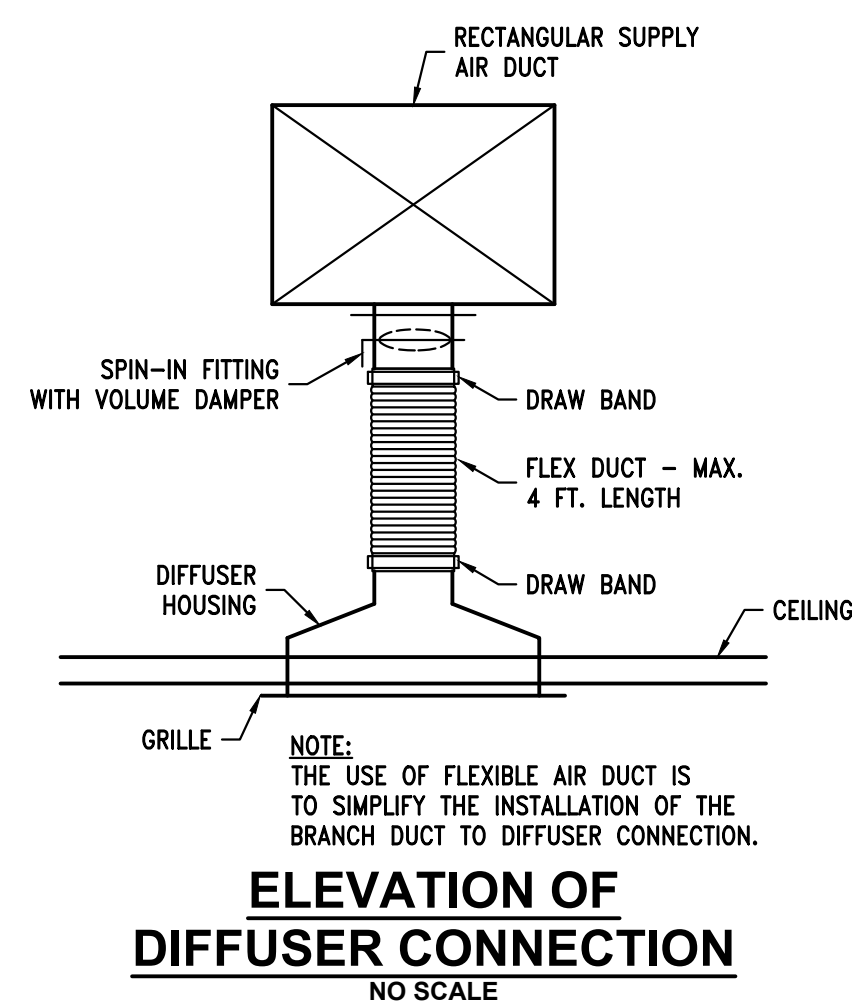
1 CONTRACTOR SHALL COORDINATE INSTALLATION WITH THE ARCHITECT'S REFLECTED CEILING PLAN. MATCH MOUNTING FRAME TO CEILING TYPE AS APPLICABLE. SURFACE MOUNTING TYPES INSTALLED IN LAY-IN CEILING SHALL BE CENTERED IN ONE DIMENSION FOR APPEARANCE. PROVIDE ADAPTER FRAME FOR LAY-IN TYPES INSTALLED IN HARD CEILINGS.
2 PROVIDE OFF-WHITE FINISH UNLESS OTHERWISE NOTED OR DICTATED BY THE ARCHITECT.
3 4-WAY THROW STAMPED SQUARE CONE DIFFUSER.
4 1/2 INCH SQUARE GRID X 1 INCH THICK ALL ALUMINUM EGGCRATE RETURN AIR GRILLE.
5 FIXED BLADE GRILLE, 3/4" BLADE SPACING, 45 DEG BLADE ANGLE, STEEL CONSTRUCTION, BLADES PARALLEL TO LONG DIMENSION.
6 ADJUSTABLE BLADE REGISTER, 3/4" BLADE SPACING, STEEL CONSTRUCTION, FRONT BLADES PARALLEL TO LONG DIMENSION.
7 PROVIDE FACTORY OR FIELD FABRICATED BOOT PLENUM WITH ROUND DUCT COLLAR FOR RETURN AIR RUNOUT.

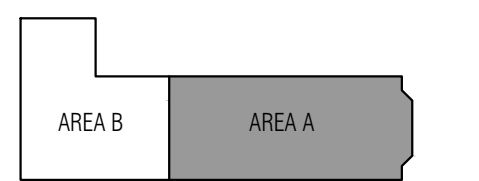
PLUMBING FIXTURE SCHEDULE

PLUMBING FIXTURE SCHEDULE table with columns: TAG, ITEM, MAKE, MODEL NAME, MODEL NUMBER, PIPE CONNECTION SIZES (W, V, CW, HW), NOTES/ACCESSORIES.

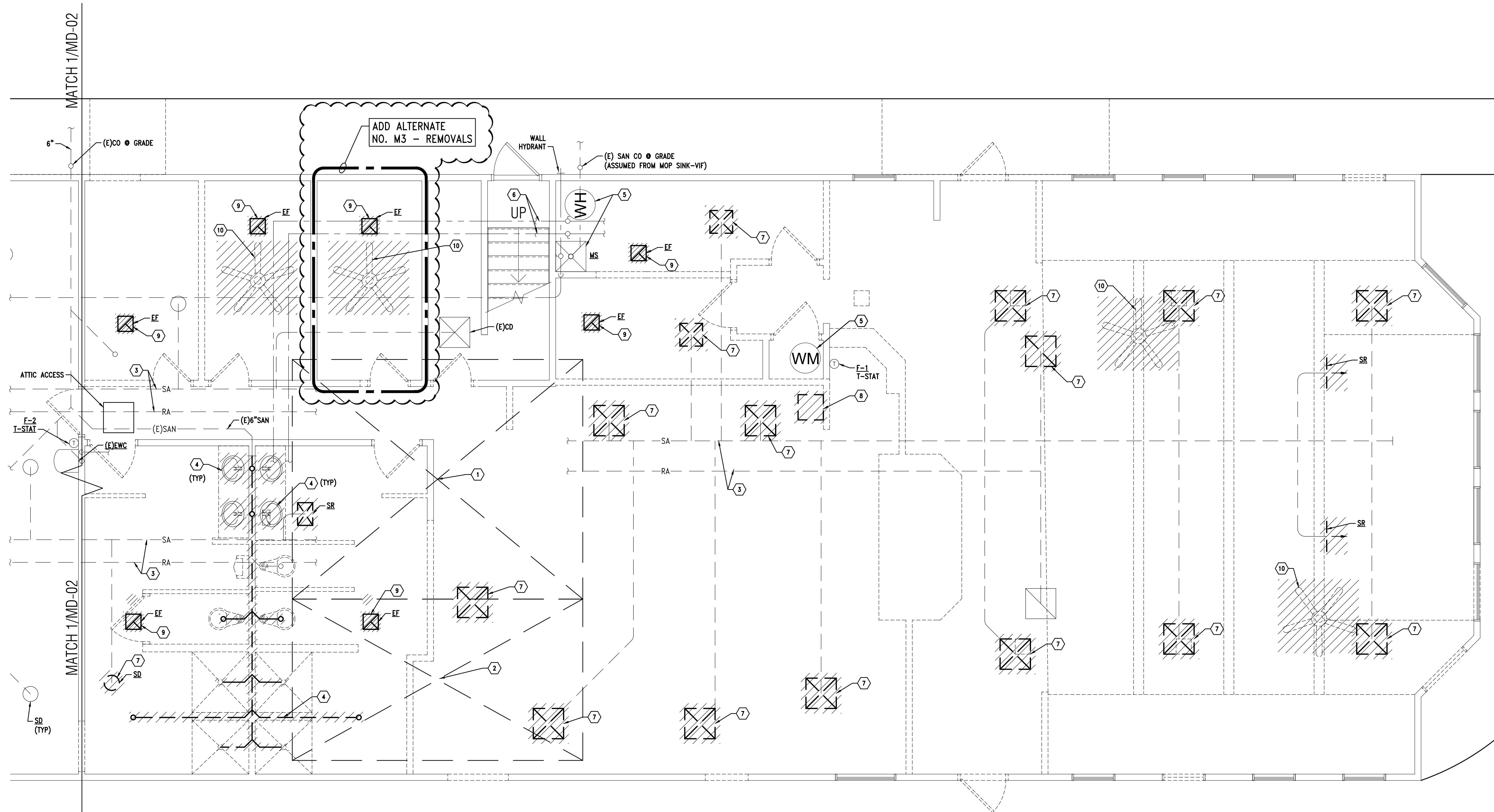
PLUMBING FIXTURE NOTES/ACCESSORIES

A VERIFY COLOR/FINISH WITH ARCHITECT
B PROVIDE ALL SLEEVES, TEMPLATES, ETC. AS 5, WITH CORD AND PLUG, 1/2 HP, 120V, 1ø, 6.9 AMPS COORDINATE WITH ARCHITECTURAL TRADES
C PROVIDE SEAT; BEHMS: 1955SSTFR W/ STA-TITE FASTENERS
D PROVIDE BRASSCRAFT COMMERCIAL ANGLE SUPPLY WITH RISER
E PROVIDE WRAP ON SUPPLY AND WASTE PIPING EQUAL TO KEENEY "TRAP WRAP"
F PROVIDE BRASSCRAFT: 1-1/2" CAST BRASS "P" TRAP
K LAVATORY FAUCET: DELTA 22C101
Q PROVIDE J.R. SMITH 2692 TRAP SEALER SIZED TO MATCH DRAINING OUTLET
R PROVIDE BRASSCRAFT 1-1/4" CAST BRASS "P" TRAP
S PROVIDE BRASSCRAFT 1-1/4" OFFSET DRAIN WITH TAILPIECE
T DRAIN OUTLET WITH TAILPIECE: JONES STEPHENS CORP.: S14-014T
U BACKFLOW CHECK & WALL BOX
V PROVIDE VACUUM BREAKER PRIOR MODEL P-003
W SINK FAUCET: DELTA 120LF, SINGLE LEVER
WV MOUNT AIR ADMITTANCE VALVE IN STUDOR.
WV MULTI-PURPOSE RECESS BOX, MODEL 20306. AT
WV GARBAGE DISPOSER: IN-SINK ERATOR BADGER 5, WITH CORD AND PLUG, 1/2 HP, 120V, 1ø, 6.9 AMPS
DD TEMPERING VALVE: POWERS: LF#480, ASSE 1070
MM
NN USE F1100C WHERE MEMBRANE FLOOR IS USED
OO PROVIDE DEEP SEAL TRAP UNLESS OTHERWISE NOTED





99% CD's	07/15/2020
100% CD's	07/30/2020

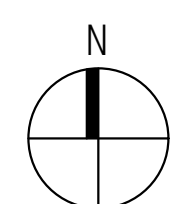


KEYED NOTES:

- 1 (E) ATTIC FURNACE ROOM. SEE ENLARGED SCALE NEW WORK PLAN.
- 2 (E) CONDENSING UNIT/SERVICE PLATFORM ON ROOF. SEE ENLARGED SCALE NEW WORK PLAN.
- 3 (E) SUPPLY AIR & RETURN AIR DUCTWORK ROUTED IN ATTIC TRUSS SPACE. FIELD VERIFY. TO REMAIN FOR RE-USE.
- 4 REMOVE (E) TOILET ROOM FIXTURES & REWORK (E) CW, HW, SAN & VENT PIPING FOR NEW FIXTURES. CAP & ABANDON (E) SAN UNDERGROUND INDICATED BY CROSS HATCH. REMOVE SAN WASTE & FLOOR DRAINS TO BELOW FLOOR, CAP & PATCH FLOOR. REMOVE VENT TO COMMON OR CONCEALED LOCATION & CAP. FLOOR GRIND OFF. FLUSH WITH FINISHED FLOOR. ISOLATE/CAP & ABANDON CONCEALED CW & HW PIPING SERVING SHOWERS & TOILET LOCATIONS NOT REUSED.
- 5 (E) DOMESTIC WATER METER (WM), WATER HEATER (WH) & MOP SINK (MS) SHALL REMAIN IN SERVICE.
- 6 (E) 1" HW & CW VALVED. THESE ARE ASSUMED TO SERVE MEN'S & WOMEN'S TOILET/SHOWER ROOMS. VIF & TAG VALVES.
- 7 REMOVE (E) CEILING SA DIFFUSER OR SA REGISTER. RUNOUTS THAT ARE NOT RE-USED FOR NEW SA DIFFUSERS SHALL BE REMOVED TO DUCT MAIN & CAPPED. SIZING OF RUNOUTS TO BE RE-USED SHALL BE EQUAL TO OR LARGER THAN NEW DIFFUSER SIZING.
- 8 REMOVE (E) ELECTRIC WATER COOLER & PLUMBING SERVICES. REMOVE CW TO SOURCE & CAP. REMOVE SAN TO BELOW FLOOR, CAP & PATCH FLOOR. REMOVE VENT TO COMMON OR CONCEALED LOCATION & CAP.
- 9 REMOVE (E) CEILING EXHAUST FAN.
- 10 REMOVE (E) CEILING PROP FAN.

GENERAL NOTES:

1. DUCTWORK SHOWN DASHED IS ROUTED IN ATTIC.

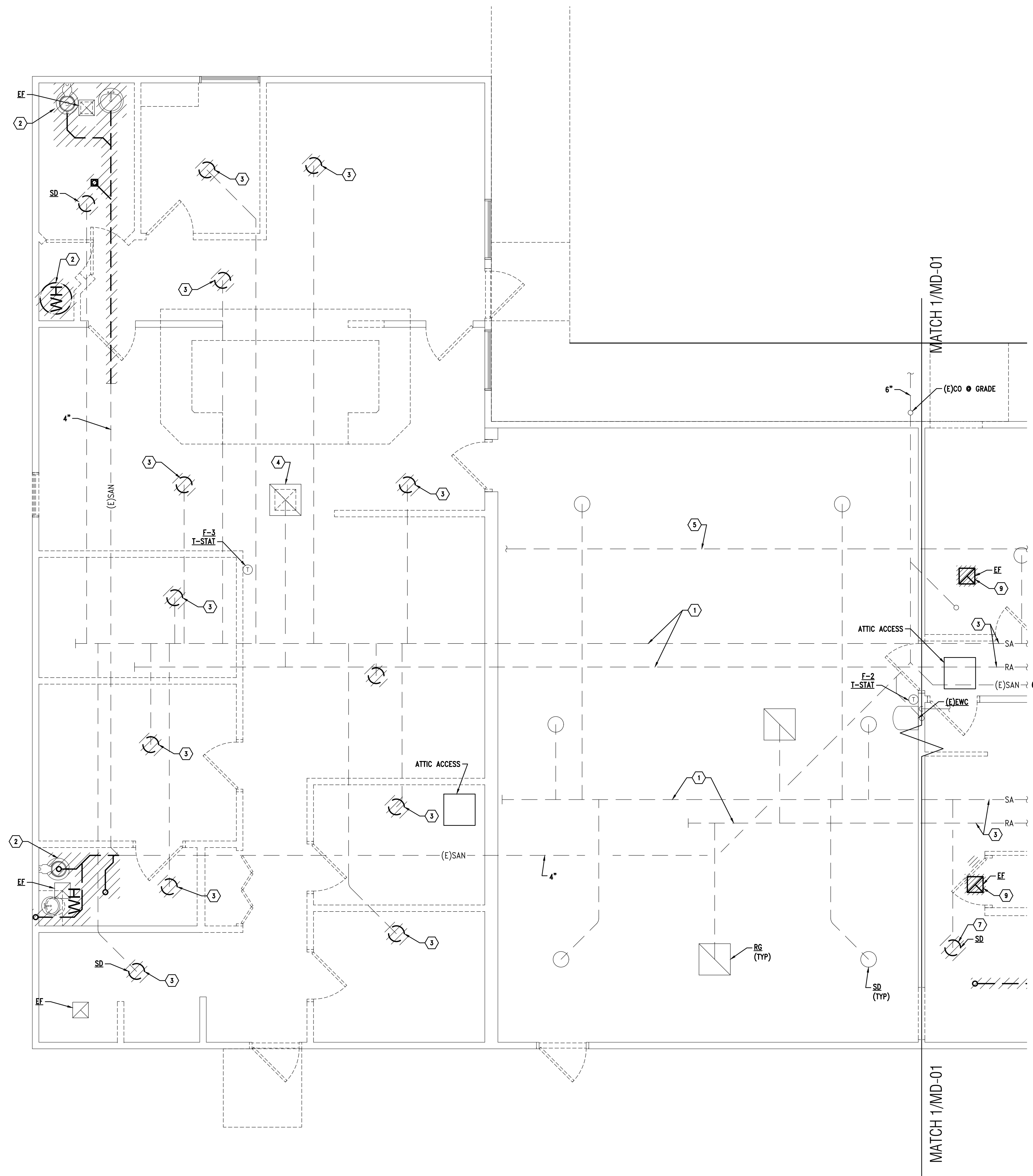
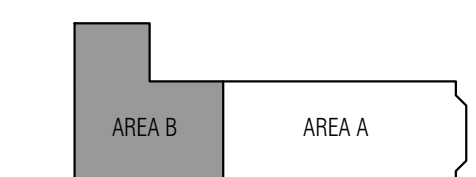


1
MD-01

Mechanical Demo Plan - Area 'A'
 1/4" = 1'-0"

MATCH 1/MD-02

MATCH 1/MD-02

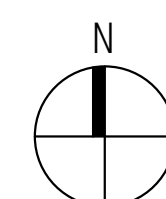


KEYED NOTES:

- ① (E) SUPPLY AIR & RETURN AIR DUCTWORK ROUTED IN ATTIC TRUSS SPACE. FIELD VERIFY. TO REMAIN FOR RE-USE.
- ② REMOVE (E) PLUMBING FIXTURES & PLUMBING SERVICES. REMOVE SAN TO POINT INDICATED. REMOVE DOMESTIC HOT & COLD WATER TO BELOW FLOOR. ABANDON UNDERFLOOR SYSTEM COMPLETELY. REMOVE SAN VENT TO CEILING FOR REWORK.
- ③ REMOVE (E) CEILING SA DIFFUSER OR SA REGISTER. RUNOUTS THAT ARE NOT RE-USED FOR NEW SA DIFFUSERS SHALL BE REMOVED TO DUCT MAIN & CAPPED. SIZING OF RUNOUTS TO BE RE-USED SHALL BE EQUAL TO OR LARGER THAN NEW DIFFUSER SIZING.
- ④ (E) RA GRILLE TO REMAIN IN SERVICE & OPEN TO NEW CEILING RA PLENUM.
- ⑤ ABANDON (E) 1" CW UNDERFLOOR. TO BE REPLACED WITH OVERHEAD SERVICE. ROUTING BELOW FLOOR IS NOT KNOWN.
- ⑥ REMOVE (E) ELECTRIC WATER COOLER. TO BE REPLACED WITH NEW BI-LEVEL ADA UNIT.

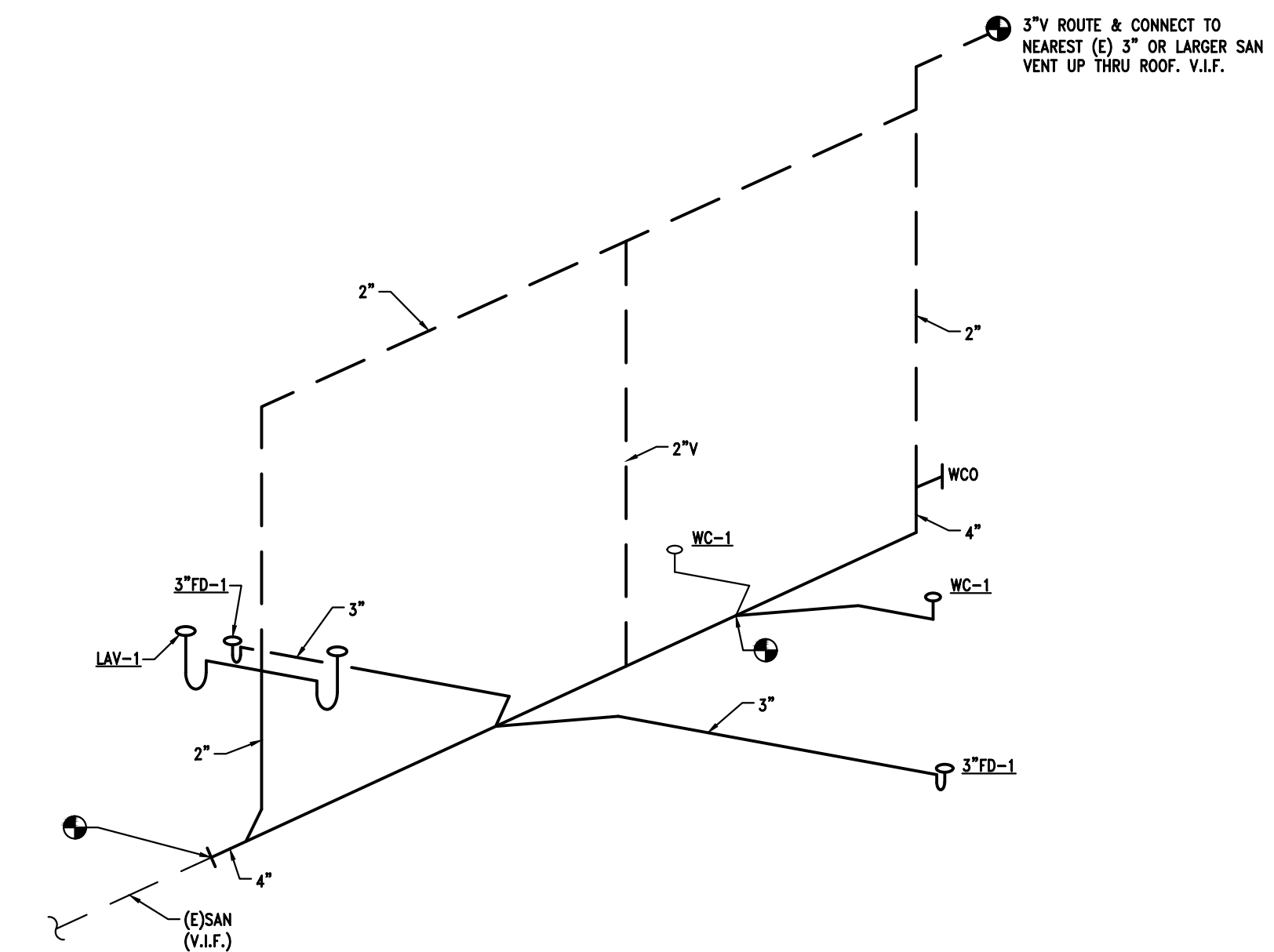
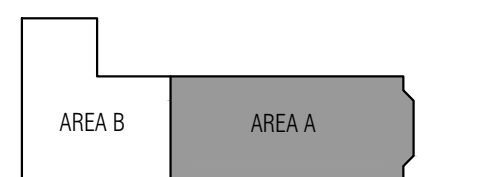
GENERAL NOTES:

1. DUCTWORK SHOWN DASHED IS ROUTED IN ATTIC.

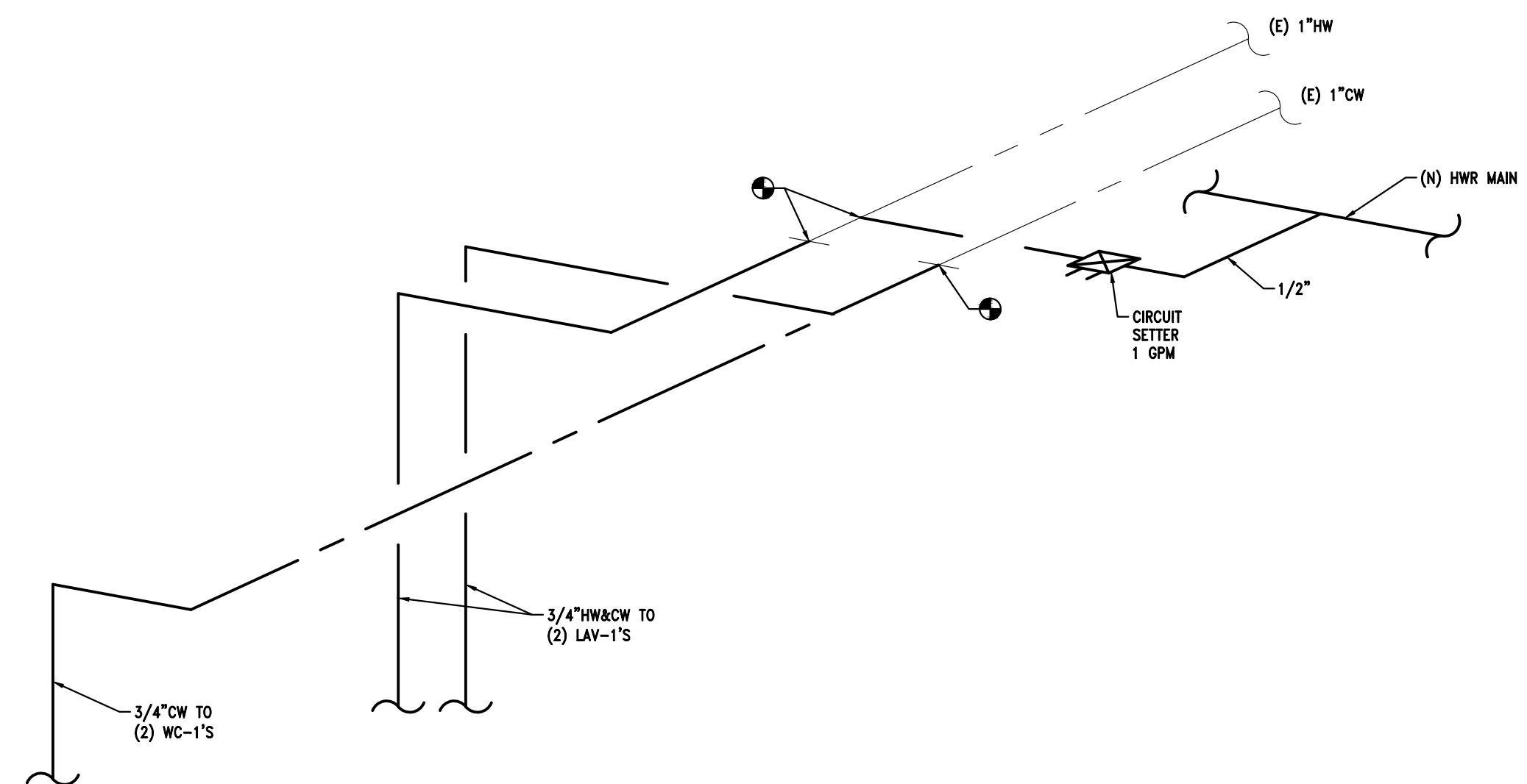


1
 MD-02

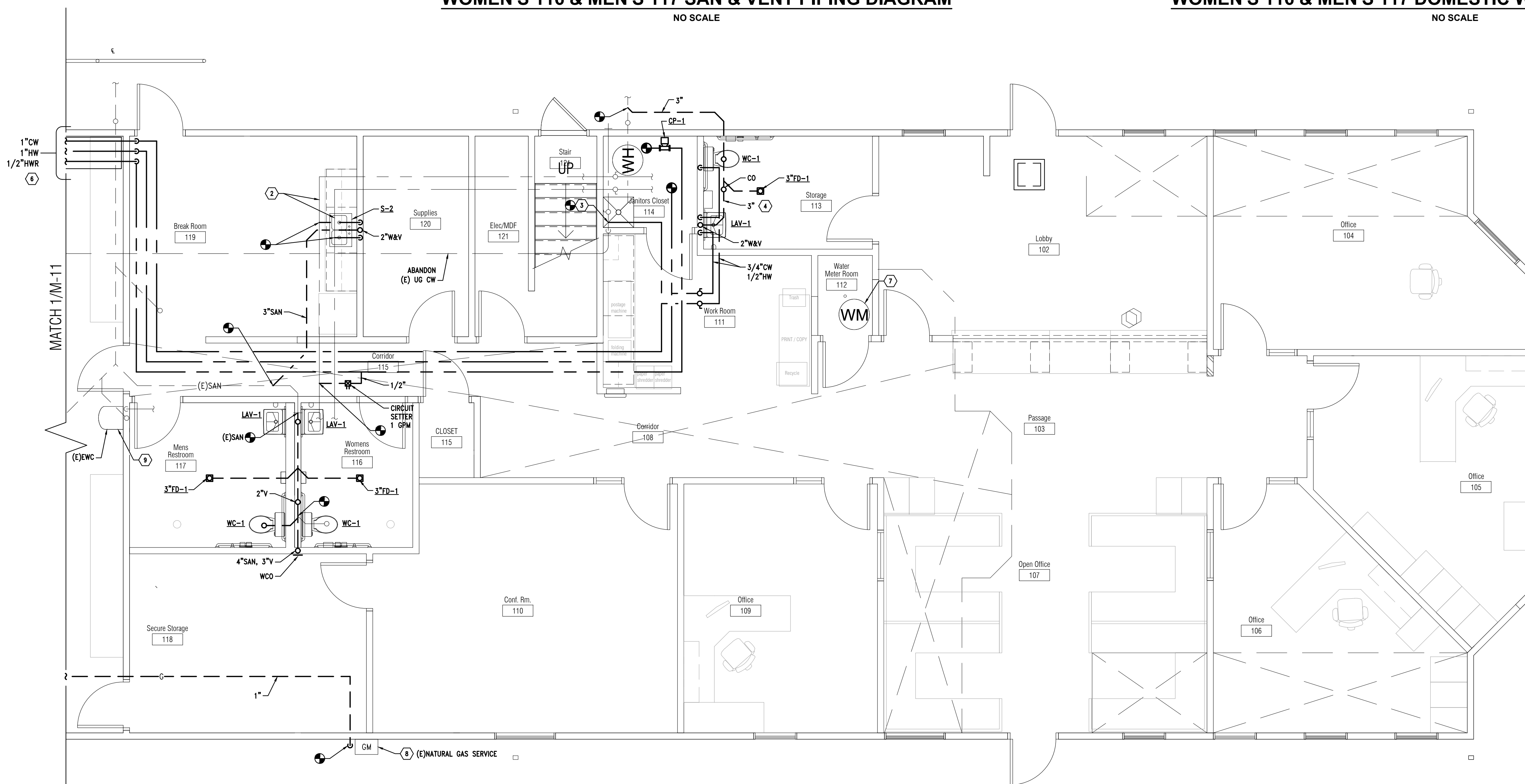
Mechanical Demo Plan - Area 'B'
 1/4" = 1'-0"



WOMEN'S 116 & MEN'S 117 SAN & VENT PIPING DIAGRAM
NO SCALE



WOMEN'S 116 & MEN'S 117 DOMESTIC WATER PIPING DIAGRAM
NO SCALE

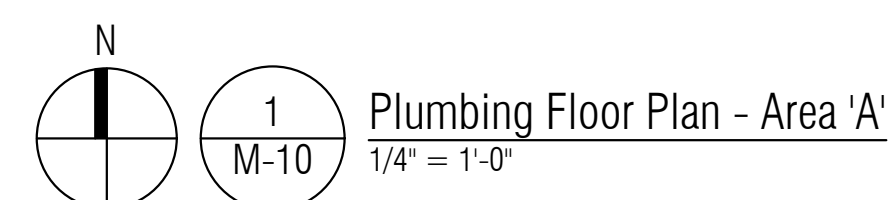


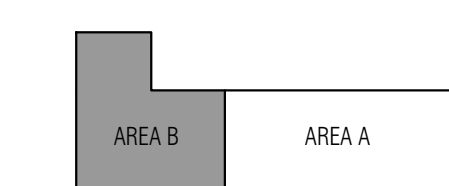
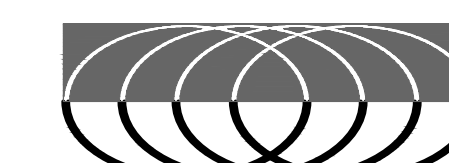
KEYED NOTES:

- 1 EXISTING DOMESTIC WATER HEATER: BRADFORD WHITE, MIN: M17556BN, 75 GAL TANK, 76 MBH GAS INPUT, 5"-14" IN WC GAS PRESSURE.
- 2 EXISTING 1" DOMESTIC HOT & COLD WATER. VERIFY IN FIELD. LOCATION & FIXTURES SERVED IS ASSUMED.
- 3 EXISTING 1" DOMESTIC COLD WATER. ASSUMED TO SERVE FIXTURES AT WEST END OF BUILDING. PLUMBING CONTRACTOR SHALL VERIFY & CAP OFF PIPING ROUTED DOWN TO BELOW FLOOR & ABANDON IN FAVOR OF ROUTING NEW PIPING OVERHEAD AS INDICATED INCLUDING NEW HW & HWR DISTRIBUTION SYSTEM. VERIFY EXTENT OF EXISTING FIXTURES FED FROM UG SOURCE & REPORT FINDINGS & DISCREPANCIES TO GC/AE FOR CORRECTION.
- 4 NEW TOILET ROOM FIXTURES: CONNECT TO NEW DOMESTIC WATER SERVICES. ROUTE NEW SANITARY TO OUTSIDE BUILDING & CONNECT TO EXISTING 3" OR LARGER SAN ASSUMED FROM MOP SINK (V.I.F.) SAW CUT & PATCH FLOOR & WALKWAY. CONNECT 2" VENT FROM LAV TO EXISTING IN ATTIC (V.I.F.)
- 5 REPLACE (E) ELECTRIC WATER COOLER WITH NEW ADA HI/LOW UNIT. REWORK WASTE/VENT & CW SERVICES IN WALL FOR NEW FIXTURE.
- 6 NEW OVERHEAD CW, HW & HWR PIPING TO WEST BLDG FIXTURES. SEE M-11 FOR CONTINUATION.
- 7 EXISTING DOMESTIC WATER SERVICE METER. VERIFY CW RUNOUTS FROM SPACE & CLEAN UP INSTALLATION BY CAPPING & REMOVING ABANDONED PIPING. (V.I.F.)
- 8 REWORK EXIST GAS SERVICE FOR ONE METER. COORDINATE WITH UTILITY COMPANY.
- 9 (E) CW SUPPLY TO EWC IS TO BE MAINTAINED. CONNECT TO CW SUPPLY & REWORK AS REQUIRED.

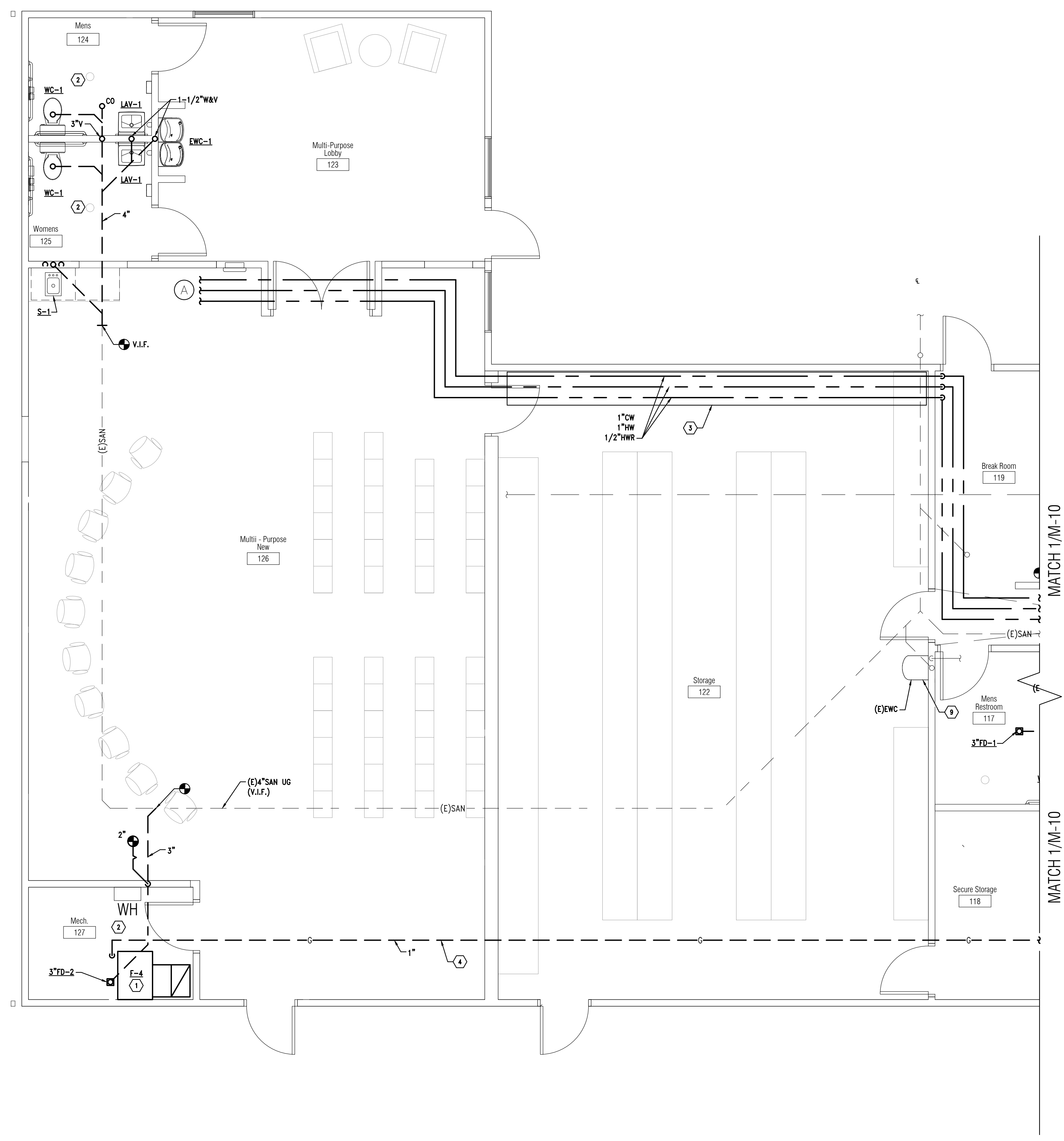
GENERAL NOTES:

1. SALVAGE & REWORK EXISTING SANITARY UNDERGROUND, SAN VENT & DOMESTIC WATER AS MUCH AS POSSIBLE.





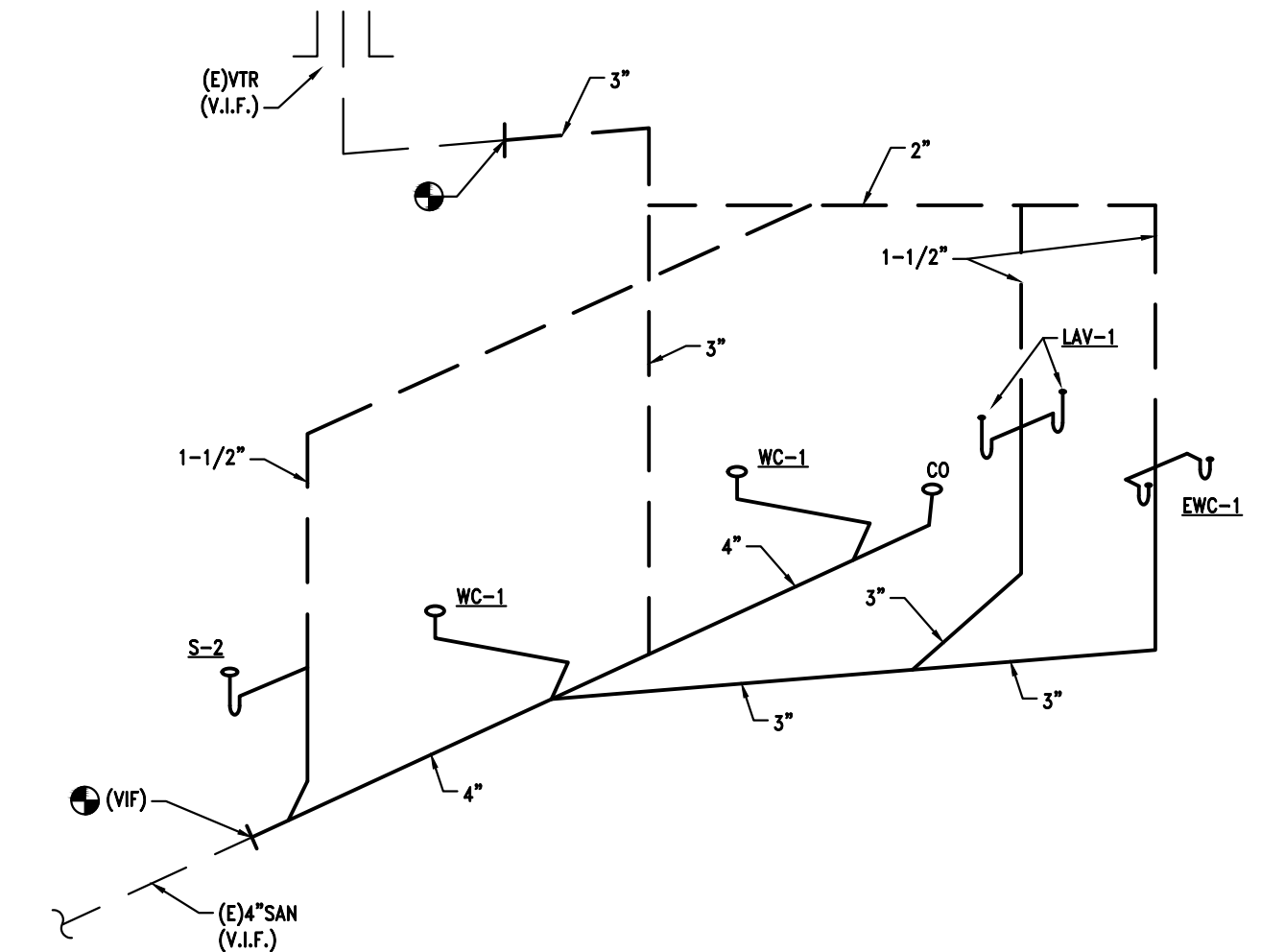
99% CD's	07/15/2020
100% CD's	07/30/2020



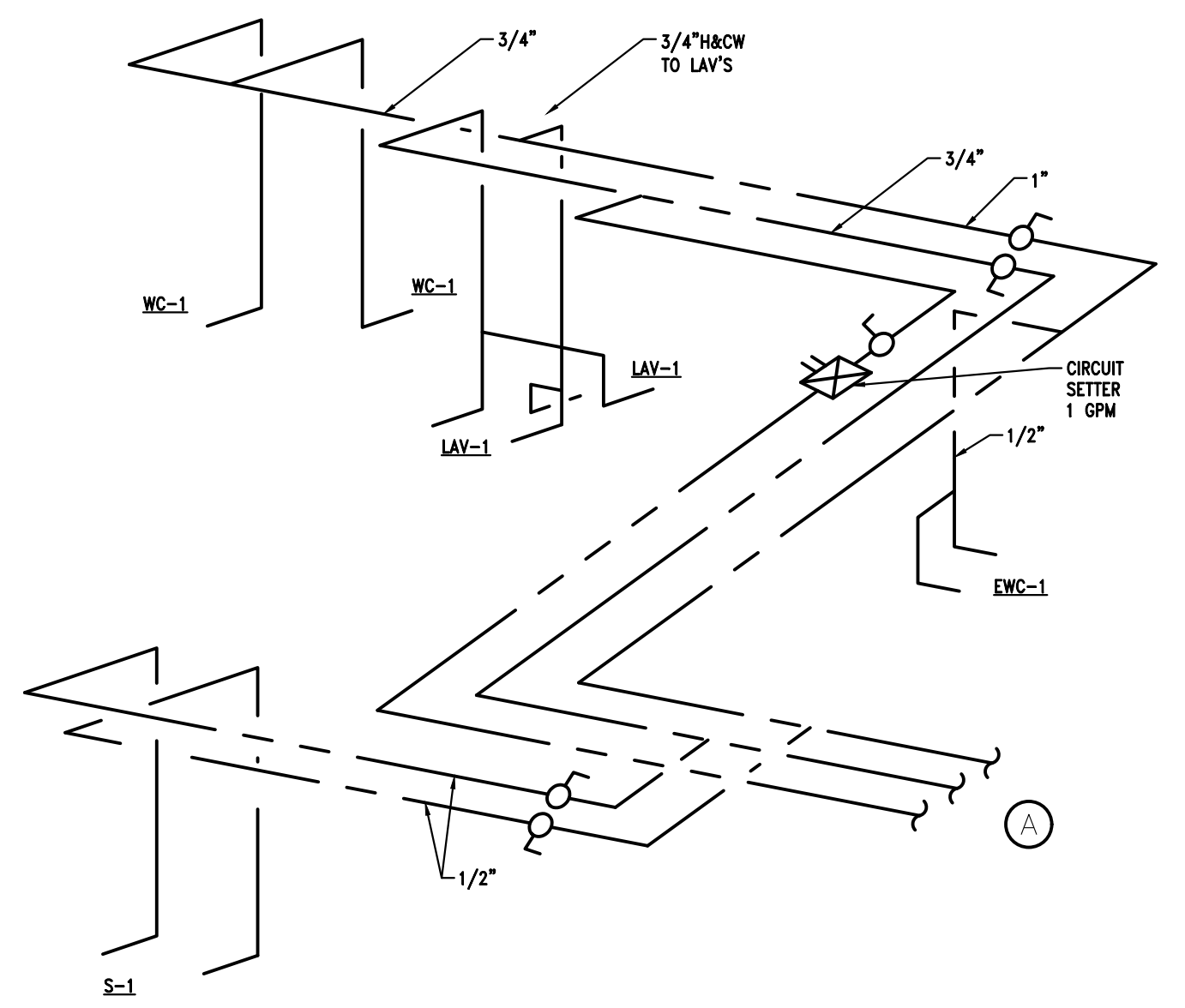
Plumbing Floor Plan - Area 'B'
1/4" = 1'-0"

KEYED NOTES:

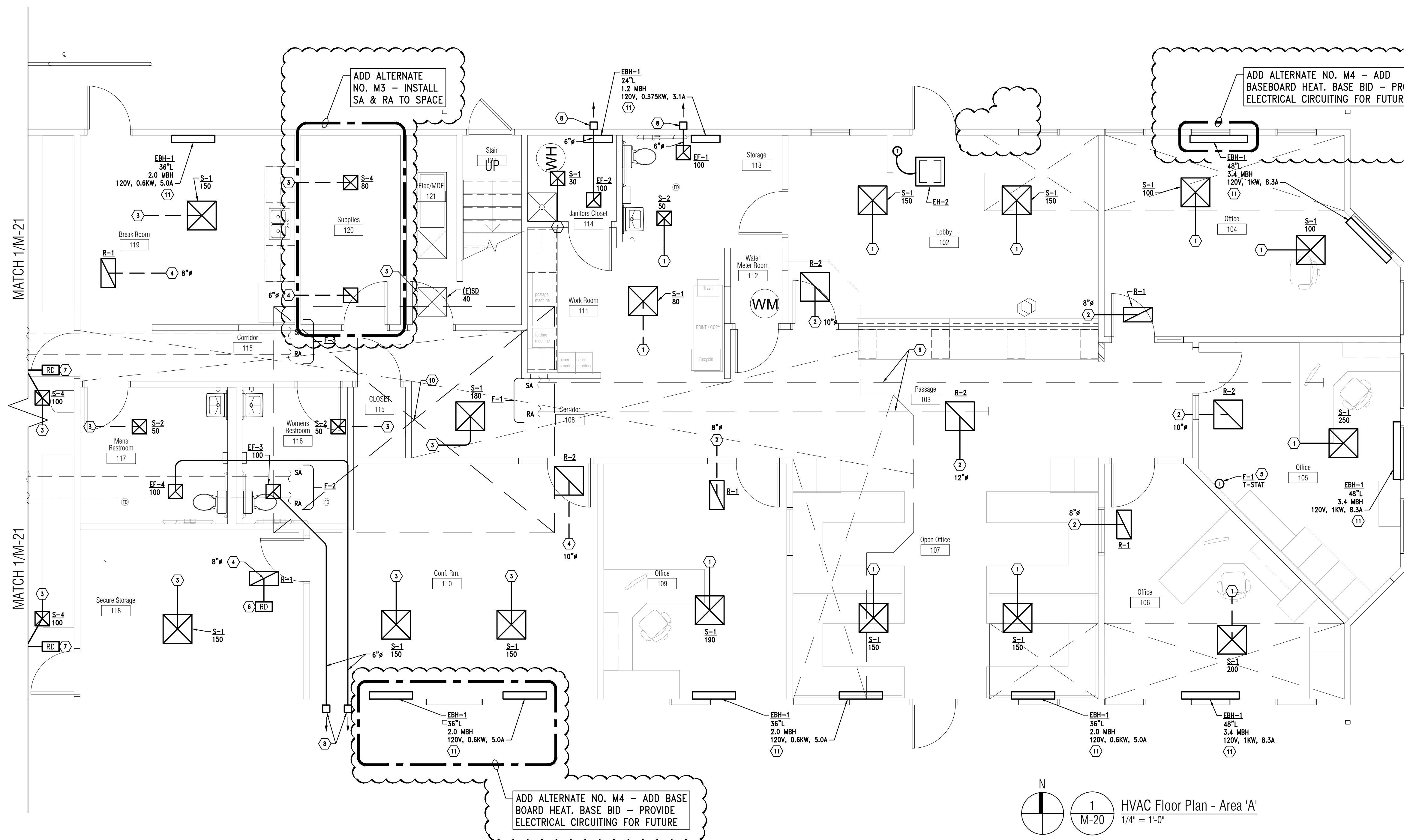
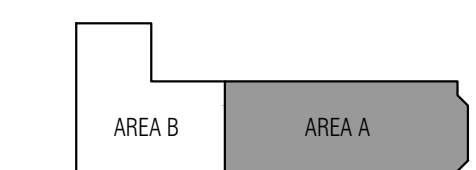
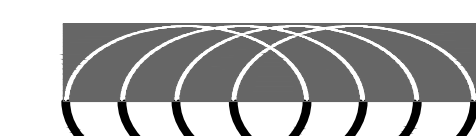
- 1 PROVIDE FLOOR DRAIN FOR NEW HIGH EFFICIENCY FURNACE F-4. PIPE ACID CONDENSATE WITH NEUTRALIZING TANK TO FLOOR DRAIN. CONNECT 2"V TO (E) IN ATTIC.
- 2 SAW CUT & PATCH FLOOR FOR SAN REWORK TO NEW FIXTURES.
- 3 ROUTE PIPING EXPOSED AT CEILING/WALL JUNCTION.
- 4 NEW NATURAL GAS TO FURNACE F-4. ROUTE IN ATTIC OR OTHERWISE DETERMINED IN FIELD.



SANITARY & VENT PIPING DIAGRAM
NO SCALE



DOMESTIC WATER PIPING DIAGRAM
NO SCALE



GENERAL NOTES:

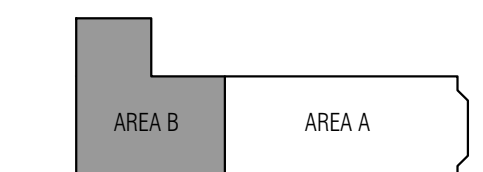
- EXISTING DIFFUSER & GRILLE RUNOUTS MAY BE RE-USED PROVIDED THEY ARE IN GOOD CONDITION & EQUAL TO OR LARGER THAN REQUIRED SIZING.
- REFER TO DIFFUSER, GRILLE & REGISTER NECK SIZING SCHEDULES FOR NECK & RUNOUT SIZING UNLESS OTHERWISE INDICATED ON PLAN.

KEYED NOTES:

- CONNECT RUNOUT TO (E) FURNACE F-1 SA DUCT MAIN.
- CONNECT RUNOUT TO (E) FURNACE F-1 RA DUCT MAIN.
- CONNECT RUNOUT TO (E) FURNACE F-2 SA DUCT MAIN.
- CONNECT RUNOUT TO (E) FURNACE F-2 RA DUCT MAIN.
- NEW LOCATION FOR F-1 T-STAT. REWIRE AS REQUIRED.
- PROVIDE RADIATION DAMPER AT DUCT PENETRATION OF FIRE RATED CEILING ASSEMBLY (ABOVE LAY-IN CEILING ASSEMBLY)
- RADIATION DAMPER IS INTEGRAL TO DIFFUSER/GRILLE.
- CEILING EXHAUSTS FAN WALL DISCHARGE CAP. MIN SIZING PER PLAN. INSULATE EXHAUST DUCT WITHIN 10 FT OF WALL TERMINATION.
- EXISTING FURNACE SA & RA DUCT MAINS IN ATTIC.
- OUTLINE OF ATTIC FURNACE ROOM ABOVE. SEE SHEET M-21.
- EBH-1: ELECTRIC BASEBOARD HEATERS EQUAL TO MARKEL 3700 SERIES ARCHITECTURAL STYLE, WHITE FINISH, INTEGRAL DISCONNECT SWITCH.

1
M-20
HVAC Floor Plan - Area 'A'
1/4" = 1'-0"

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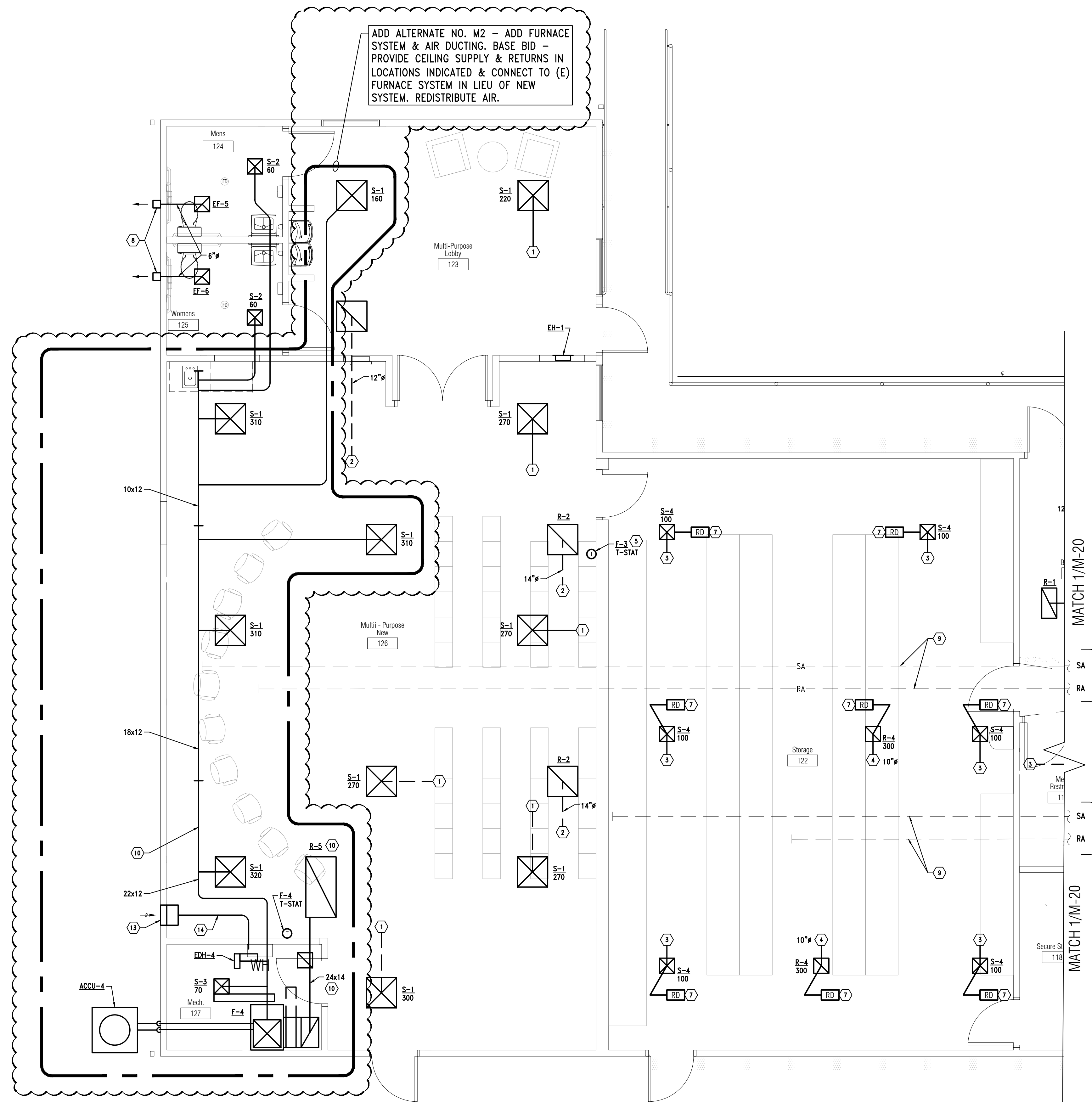
99% CD's	07/15/2020
100% CD's	07/30/2020

GENERAL NOTES:

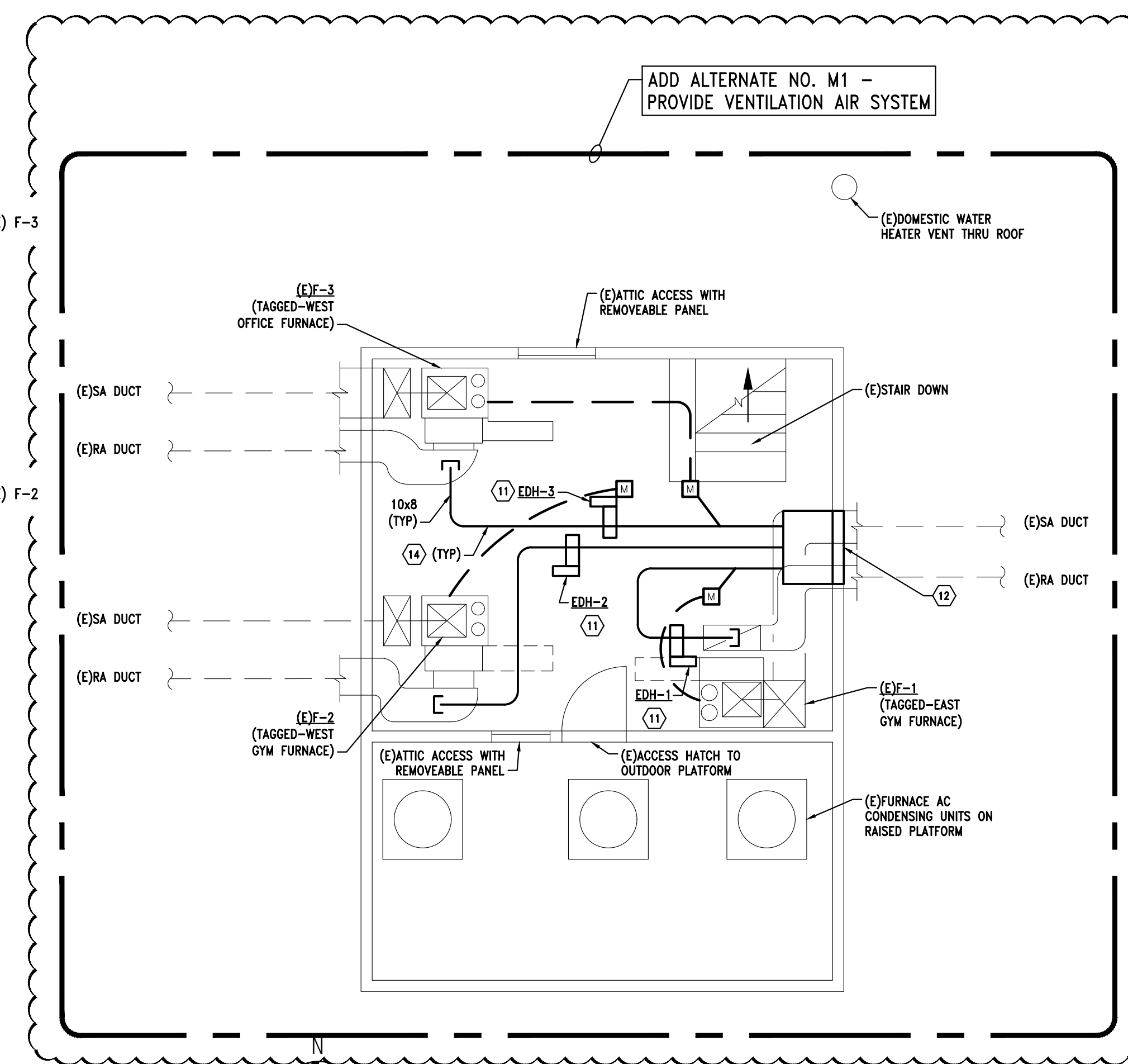
- EXISTING DIFFUSER & GRILLE RUNOUTS MAY BE RE-USED PROVIDED THEY ARE IN GOOD CONDITION & EQUAL TO OR LARGER THAN REQUIRED SIZING.

KEYED NOTES:

- CONNECT RUNOUT TO (E) FURNACE F-3 SA DUCT MAIN.
- CONNECT RUNOUT TO (E) FURNACE F-3 RA DUCT MAIN.
- CONNECT RUNOUT TO (E) FURNACE F-2 SA DUCT MAIN.
- CONNECT RUNOUT TO (E) FURNACE F-2 RA DUCT MAIN.
- NEW LOCATION FOR FURNACE T-STAT. REWIRE AS REQUIRED.
- PROVIDE RADIATION DAMPER AT DUCT PENETRATION OF FIRE RATED CEILING ASSEMBLY (ABOVE LAY-IN CEILING ASSEMBLY)
- NOT USED.
- CEILING EXHAUSTS FAN WALL DISCHARGE CAP. MIN SIZING PER PLAN. INSULATE EXHAUST DUCT WITHIN 10 FT OF WALL TERMINATION.
- EXISTING FURNACE SA & RA DUCT MAINS IN ATTIC.
- F-4 SYSTEM: 1" ACOUSTICALLY LINE SA DUCT TO 10" FROM FURNACE & RA DUCT TO R-5 INCLUDING GRILLE BOOT. INCREASE DUCT SIZING ACCORDINGLY.
- EDH-X: ELECTRIC DUCT HEATER, SLIP-IN OPEN COIL TYPE, 8 KW, 208/3/60, SCR CONTROLLER, DISCHARGE AIR DUCT STAT.
- 6.5 SF O.A. INTAKE LOUVER & 12" DEEP PLENUM.
- 2.0 SF O.A. INTAKE LOUVER & 12" DEEP PLENUM.
- INSULATE O.A. INTAKE PLENUM & DUCT WITH R-C INSUL UP TO FURNACE CONNECTION.



1
M-21 HVAC Floor Plan - Area 'B'
1/4" = 1'-0"



Existing Attic Mechanical Room Plan
1/4" = 1'-0"

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KEY PLAN

OWNER

Marine City
 330 South Water St.
 Marine City, MI 48039

PROJECT NAME

New Marine City Hall
 Renovation

260 South Parker St.
 Marine, MI 48039

PROJECT NO.

20-106

ISSUES / REVISIONS

99% CDs 07/15/2020
 100% CDs 07/30/2020

RE-BIDDING / CONSTRUCTION 09/14/2020

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 MJM

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SHEET NAME

**LIGHTING
 CONTROL MATRIX
 SCHEDULE**

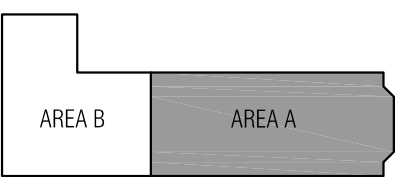
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E0-04

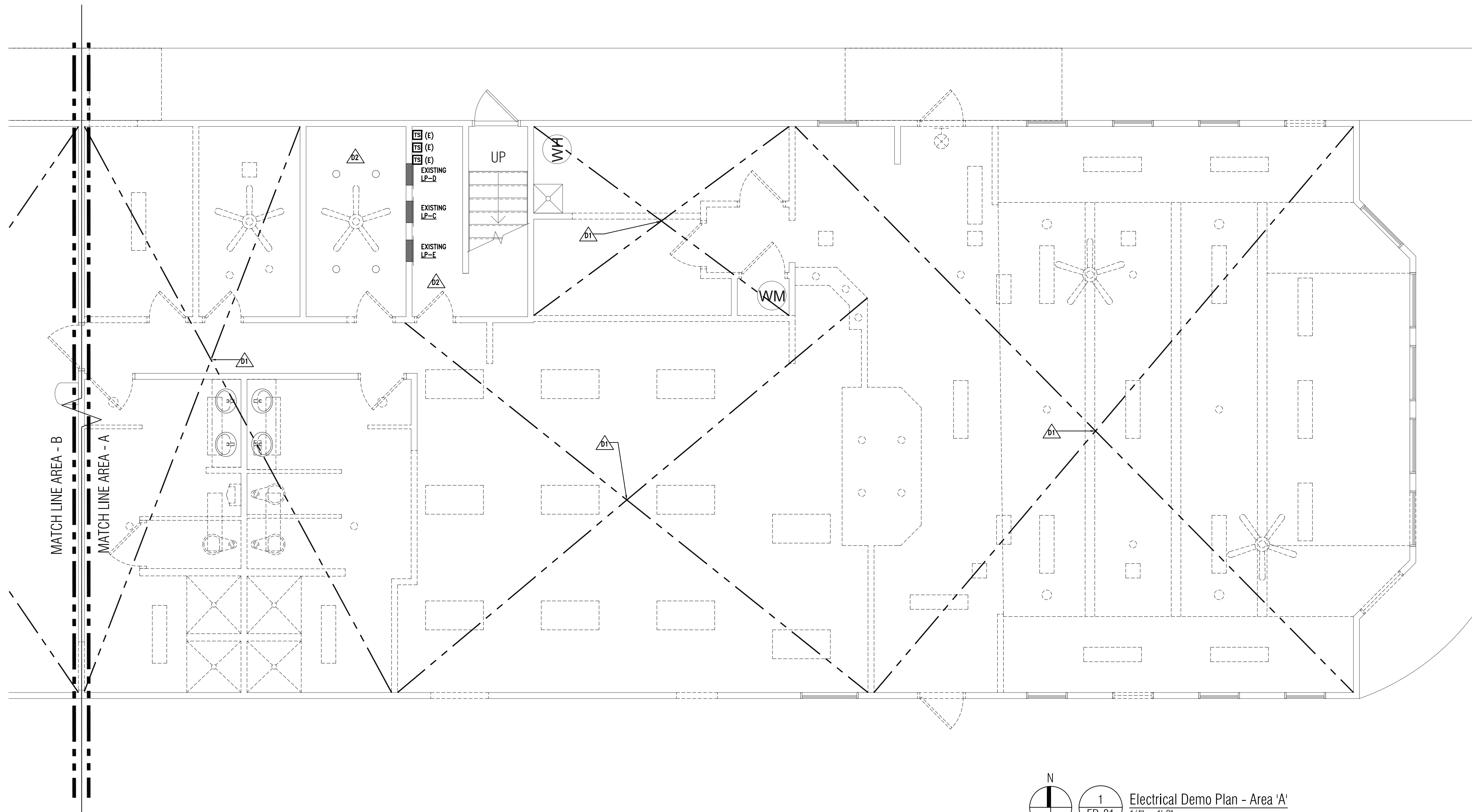
LIGHTING CONTROL MATRIX SCHEDULE														
TAG	ROOM TYPE	CONTROLS		AUTOMATIC ON/OFF CONTROL			PARTIAL OFF		FULL OFF	TIME-CLOCK	DAYLIGHT			NOTES
		SWITCH TYPE	SWITCH CONTROLS	TYPE	SENSOR	TURN ON LIGHTING TO %	TIME	%	TIME	SCHEDULE	SIDE LIGHT	TOP LIGHT	MAINTAIN FC LEVEL	
CIM	CLASSROOM/LECTURE HALL/TRAINING ROOM (ALL OTHER CLASSROOMS/LECTURE HALLS/ TRAINING ROOM)	LOW VOLTAGE	ON-OFF-DIM	OCCUPANCY SENSOR	MANUAL ON	NA	NA	NA	20 MIN	NA	NA	NA		
CMM	CONFERENCE/MEETING/MULTIPURPOSE ROOM	LOW VOLTAGE	ON-OFF-DIM	OCCUPANCY SENSOR	MANUAL ON	NA	NA	NA	20 MIN	NA	NA	NA		
COF	CORRIDOR (ALL OTHER CORRIDORS)	LOW VOLTAGE	ON-OFF	OCCUPANCY SENSOR	FULL ON	100%	20 MIN	50%	20 MIN	NA	NA	NA	AUTOMATICALLY REDUCE GENERAL LIGHTING ≤ 50% WITHIN 20 MINUTES OF OCCUPANTS LEAVING. AUTOMATIC FULL OFF COMPLIES. (OCCUPANCY SENSOR CONTROL)	
CPM	COPY/PRINT ROOM	LOW VOLTAGE	ON-OFF-DIM	OCCUPANCY SENSOR	MANUAL ON	NA	NA	NA	20 MIN	NA	NA	NA		
EM	ELECTRICAL/MECHANICAL ROOM	LINE VOLTAGE	ON-OFF	NA	NA	NA	NA	NA	NA	NA	NA	NA		
LBM	LOUNGE/BREAKROOM (ALL OTHER LOUNGE/BREAKROOMS)	LOW VOLTAGE	ON-OFF-DIM	OCCUPANCY SENSOR	MANUAL ON	NA	NA	NA	20 MIN	NA	NA	NA		
LOF	LOBBY (ALL OTHER LOBBIES)	LOW VOLTAGE	ON-OFF-DIM	OCCUPANCY SENSOR	FULL ON	100%	20 MIN	50%	20 MIN	NA	NA	NA	AUTOMATICALLY REDUCE GENERAL LIGHTING ≤ 50% WITHIN 20 MINUTES OF OCCUPANTS LEAVING. AUTOMATIC FULL OFF COMPLIES. (OCCUPANCY SENSOR CONTROL)	
OE1M	OFFICE (ENCLOSED AND ≤ 250 FT2)	LOW VOLTAGE	ON-OFF-DIM	OCCUPANCY SENSOR	MANUAL ON	NA	NA	NA	20 MIN	NA	NA	NA		
OOM	OFFICE (OPEN PLAN)	LOW VOLTAGE	ON-OFF-DIM	OCCUPANCY SENSOR	MANUAL ON	NA	NA	NA	20 MIN	NA	NA	NA		
RLF	RESTROOM LARGE (ALL OTHER RESTROOMS)	LOW VOLTAGE	ON-OFF	OCCUPANCY SENSOR	FULL ON	100%	20 MIN	50%	NA	NA	NA	NA	AUTOMATICALLY REDUCE GENERAL LIGHTING ≤ 50% WITHIN 20 MINUTES OF OCCUPANTS LEAVING. AUTOMATIC FULL OFF WOULD ENDANGER SAFETY OR SECURITY (OCCUPANCY SENSOR CONTROL)	
STF	STORAGE ROOM (≤ 50 FT2)	LOW VOLTAGE	ON-OFF	OCCUPANCY SENSOR	FULL ON	100%	NA	NA	20 MIN	NA	NA	NA		
STM	STORAGE ROOM (≥ 50 FT2 ≤ 1000 FT2)	LOW VOLTAGE	ON-OFF	OCCUPANCY SENSOR	MANUAL ON	NA	NA	NA	20 MIN	NA	NA	NA		

LIGHTING CONTROL NOTES:

- CONTRACTOR TO PROVIDE MOTION SENSORS, DAYLIGHT SENSORS, ROOM CONTROLLERS, AND ACCESSORIES AS REQUIRED FOR A FULLY OPERATIONAL INSTALLATION PER 2015 MICHIGAN ENERGY CODE. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO REVIEW MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO ROUGH-IN. PROVIDE ADDITIONAL ROOM CONTROLLERS/POWER PACKS AND ASSOCIATED WIRING FOR MULTIPLE SWITCH LEG LOCATIONS. SEE PLANS FOR EXACT SWITCH LEGS WITHIN EACH AREA OR ROOM. ELECTRICAL CONTRACTOR SHALL PROVIDE LIGHTING CONTROL MANUFACTURER'S DEVICE LAYOUT AND SEQUENCE OF CONTROL AS PART OF SHOP DRAWINGS SUBMITTALS.
- ELECTRICAL CONTRACTOR IS TO INCLUDE THE SCOPE OF ALIGHTING CONTROLS DESIGNER/INSTALLER AS SUBCONTRACTOR TO ELECTRICAL CONTRACTOR TO PROVIDE FINAL DESIGN, DOCUMENTATION, PROGRAMMING, AND INSTALLATION OF THE LIGHTING CONTROLS. CONTRACT DOCUMENTS INCLUDE INTENDED FUNCTIONALITY ONLY. PROVIDE RESUME FOR LIGHTING CONTROLS DESIGNER/INSTALLER TO ENGINEER OF RECORD.
- TO PREVENT FALSE ACTIVATION, MOUNT CEILING MOUNT SENSORS AWAY FROM DIFFUSERS AND THE PATH OF STRONG AIR TURBULENCE A MINIMUM OF FOUR FEET FOR STANDARD SENSITIVITY AND SIX FEET FOR MAXIMUM SENSITIVITY.
- LOCATE AND AIM SENSORS IN THE CORRECT LOCATION REQUIRED FOR COMPLETE AND PROPER VOLUMETRIC COVERAGE WITHIN THE RANGE OF COVERAGE(S) OF CONTROLLED AREAS PER THE MANUFACTURER'S RECOMMENDATIONS. ROOMS SHALL HAVE ONE HUNDRED (100%) PERCENT COVERAGE TO COMPLETELY COVER THE CONTROLLED AREA TO ACCOMMODATE ALL OCCUPANCY HABITS OF SINGLE OR MULTIPLE OCCUPANTS AT ANY LOCATION WITHIN THE ROOM(S).
- PROVIDE THE QUANTITY OF ROOM CONTROLLERS AND POWER PACKS NEEDED TO CONTROL SWITCH LEGS AND VOLTAGES INDICATED.
- UNLESS OTHERWISE INDICATED, ADJUST MOTION SENSOR TIME TO TURN OFF CONTROLLED LIGHTING AFTER 20 MINUTES.
- INCLUDE TESTING BY AN INDEPENDENT THIRD PARTY TESTING AGENCY OR INDEPENDENT COMMISSIONING AGENT. TEST, CERTIFY, AND PROVIDE DOCUMENTATION OF LIGHTING CONTROL DEVICES AND CONTROL SYSTEMS TO ENSURE THAT CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANSI/ASHRAE/IES STANDARD 90.1-2013, SECTION 9.4.3 FUNCTION TESTING). CERTIFY OCCUPANCY SENSOR PARAMETERS, (REFER TO 9.4.3-a), CONFIRM AND VERIFY AUTOMATIC TIME SWITCH PARAMETERS, (REFER TO 9.4.3-b), VERIFY DAYLIGHT CONTROLS MEET CRITERIA (REFER TO 9.4.3-c). THE INDIVIDUAL(S) RESPONSIBLE FOR THE FUNCTIONAL TESTING MAY NOT BE DIRECTLY INVOLVED IN EITHER THE DESIGN OR CONSTRUCTION OF THE PROJECT. PROVIDE DOCUMENTATION CERTIFYING THAT THE INSTALLED LIGHTING CONTROLS MEET OR EXCEED ALL DOCUMENTED PERFORMANCE CRITERIA. ALL ROOMS OR AREAS THAT DO NOT COMPLY SHALL BE NOTED AND PROBLEMS RESOLVED PRIOR TO RE-COMMISSIONING.
- PROVIDE DAY LIGHT SENSORS WHERE LIGHTING FIXTURES FALL WITHIN TOP/SIDE LIGHTED AREAS FOR BOTH PRIMARY AND SECONDARY ZONES AS DEFINED BY ASHRAE 90.1-2013, SECTION 9.4.1.1-a AND SECTION 9.4.1.1-4. DAYLIGHT HARVESTING SHALL BE BASED ON 30 FOOTCANDLES UNLESS NOTED OTHERWISE.
- INTEGRATE CONTROLS FOR UNDERCABINET LIGHTING TO PROVIDE AS MANUAL ON/AUTOMATIC OFF BY SAME SENSOR(S) SERVING GENERAL LIGHTING IN SPACE/ROOM.
- IN ROOMS WITH PARTIAL ON CONTROL, PROGRAM ASSOCIATED SWITCH FOR FULL ON AND MANUAL OFF IN ADDITION TO AUTOMATIC OFF VIA OCCUPANCY SENSOR.



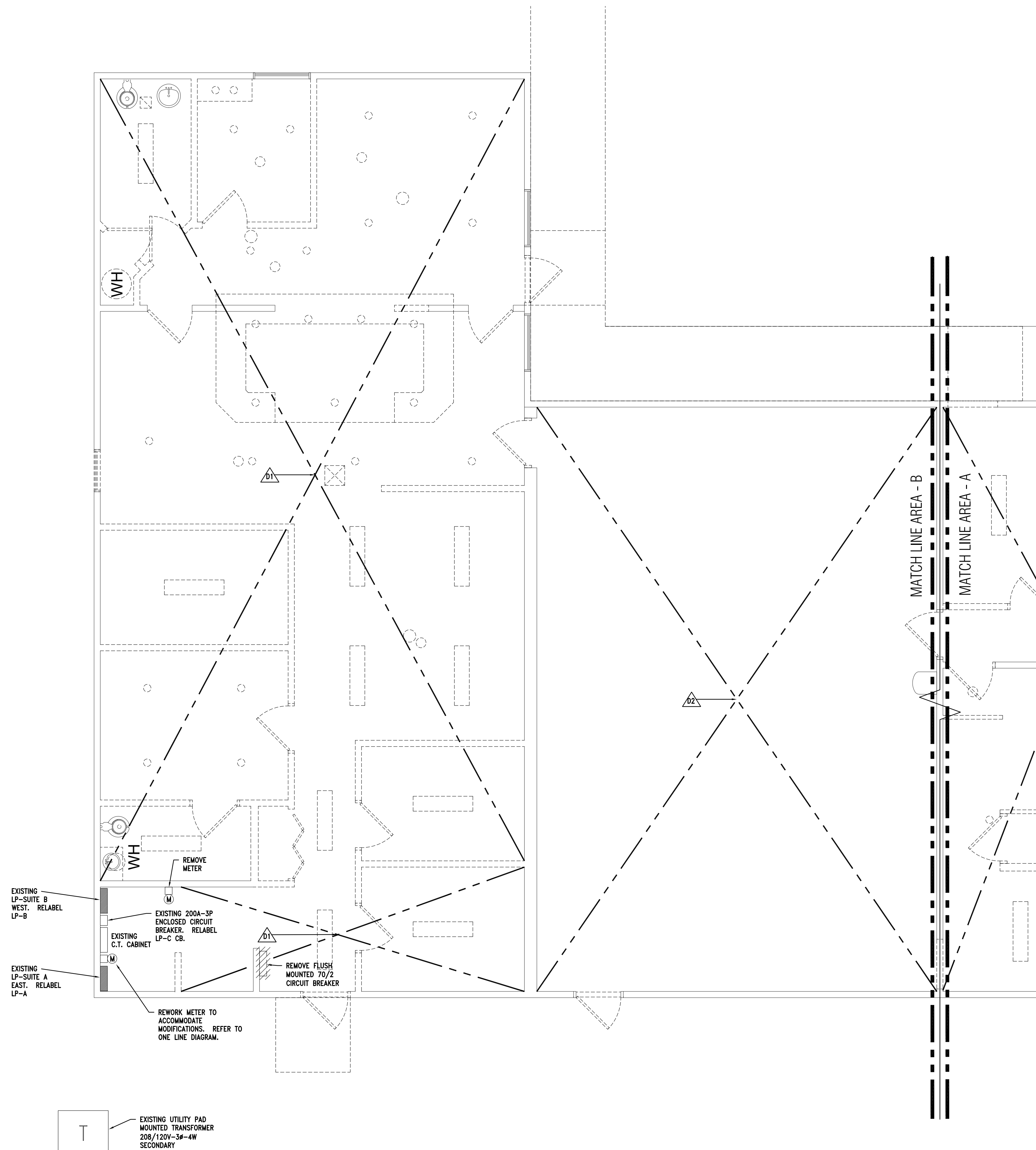
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
KEY NOTES :

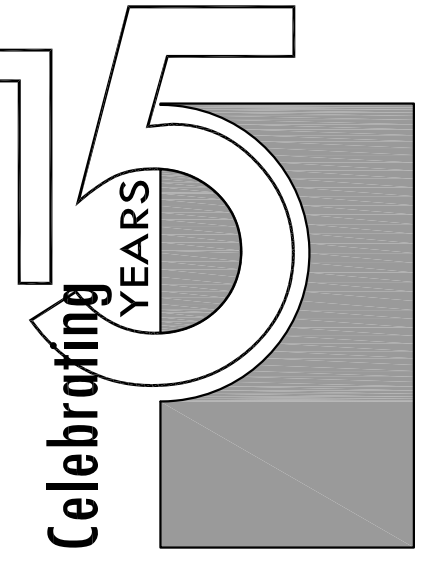
Δ1 REMOVE ALL ELECTRICAL EQUIPMENT INCLUDING LIGHT FIXTURE, SWITCHES, RECEPTACLES AND ALL RELATED BRANCH WIRE AND CONDUIT BACK TO PANEL, UNLESS NOTED OTHERWISE.

Δ2 LIGHTING TO REMAIN.



KEY NOTES :

-  REMOVE ALL ELECTRICAL EQUIPMENT INCLUDING LIGHT FIXTURE, SWITCHES, RECEPTACLES AND ALL RELATED BRANCH WIRE AND CONDUIT BACK TO PANEL UNLESS NOTED OTHERWISE.
-  LIGHTING TO REMAIN.

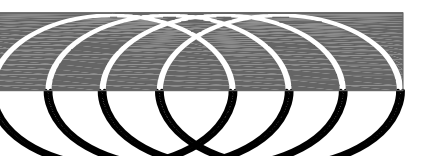


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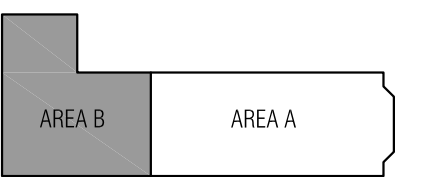
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KEY PLAN



OWNER

Marine City
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Marine City, MI 48039

PROJECT NAME

New Marine City Hall
Renovation

260 South Parker St.
Marine, MI 48039

PROJECT NO.

20-106

ISSUES / REVISIONS

99% CDs	07/15/2020
100% CDs	07/30/2020

RE-BIDDING / CONSTRUCTION

09/14/2020

DRAWN BY

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CHECKED BY

MJM

APPROVED BY

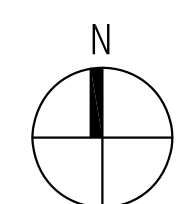
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SHEET NAME

**ELECTRICAL
DEMO PLAN -
AREA 'B'**

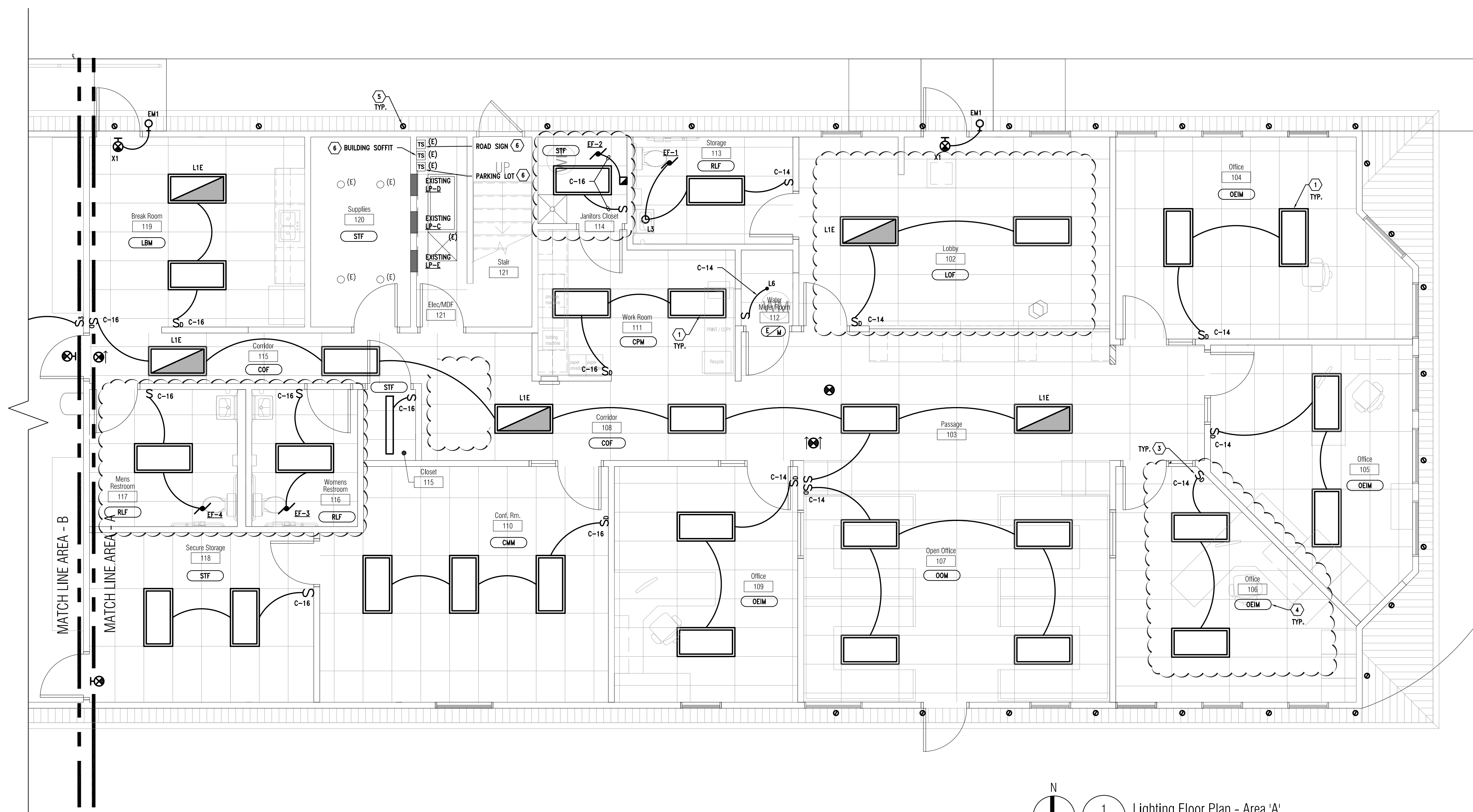
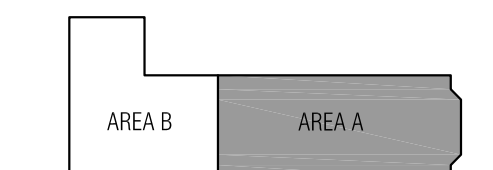
SHEET NO.

ED-02



1
ED-02

Electrical Demo Plan - Area 'B'
1/4" = 1'-0"



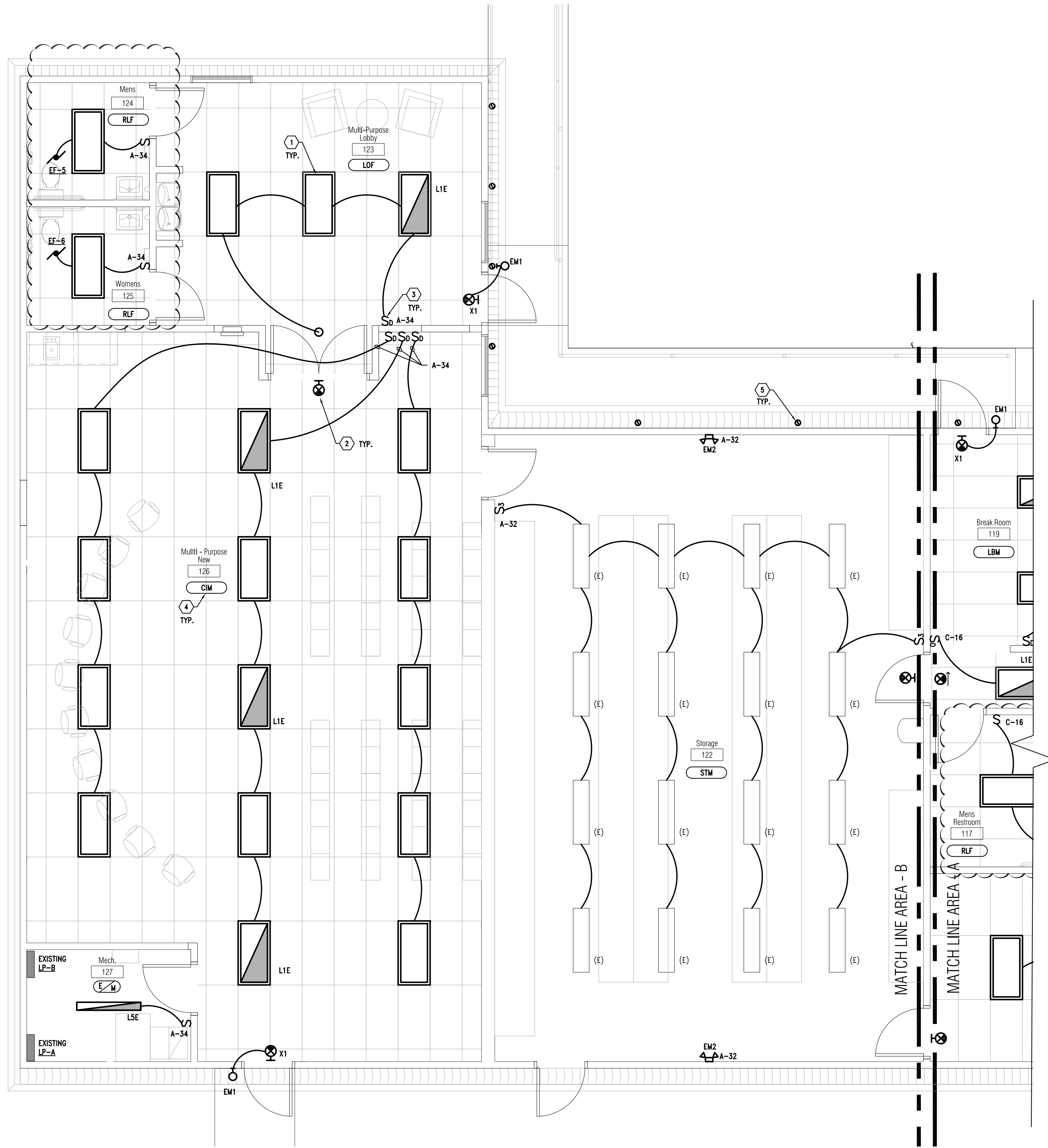
KEY NOTES :

- 1 ALL 2x4 LIGHT FIXTURES ARE TYPE "L1", ALL 2x2 ARE TYPE "L2" UNLESS OTHERWISE NOTED.
- 2 ALL EXIT LIGHT FIXTURES ARE TYPE "X" UNLESS OTHERWISE NOTED.
- 3 MANUAL LIGHTING CONTROL LOCATION. REFER TO LIGHTING CONTROL MATRIX FOR FURTHER LIGHTING CONTROL REQUIREMENTS.
- 4 LIGHTING CONTROL MATRIX TAG - REFER TO LIGHTING CONTROL MATRIX.
- 5 PROVIDE NEW TRIM AND LED LAMP COMPATIBLE WITH EXISTING SOFFIT LIGHT FIXTURE
- 6 RE-USE TIME SWITCHES AS INDICATED. PROVIDE WITH NEW PHOTOCCELL CONTROL.



1
EL-01

Lighting Floor Plan - Area 'A'
1/4" = 1'-0"



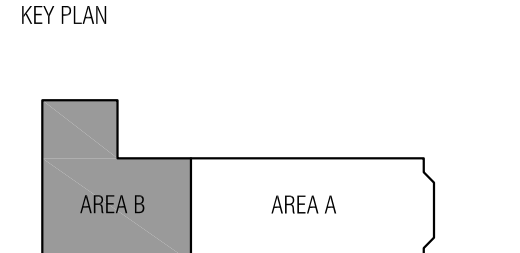
- KEY NOTES :**
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 - ④ LIGHTING CONTROL MATRIX TAG -- REFER TO LIGHTING CONTROL MATRIX.
 - ⑤ PROVIDE NEW TRIM AND LED LAMP COMPATIBLE WITH EXISTING SOFFIT LIGHT FIXTURE
 - ⑥ RE-USE TIME SWITCHES AS INDICATED. PROVIDE WITH NEW PHOTOCELL CONTROL.

1
EL-02
Lighting Floor Plan - Area 'B'
1/4" = 1'-0"



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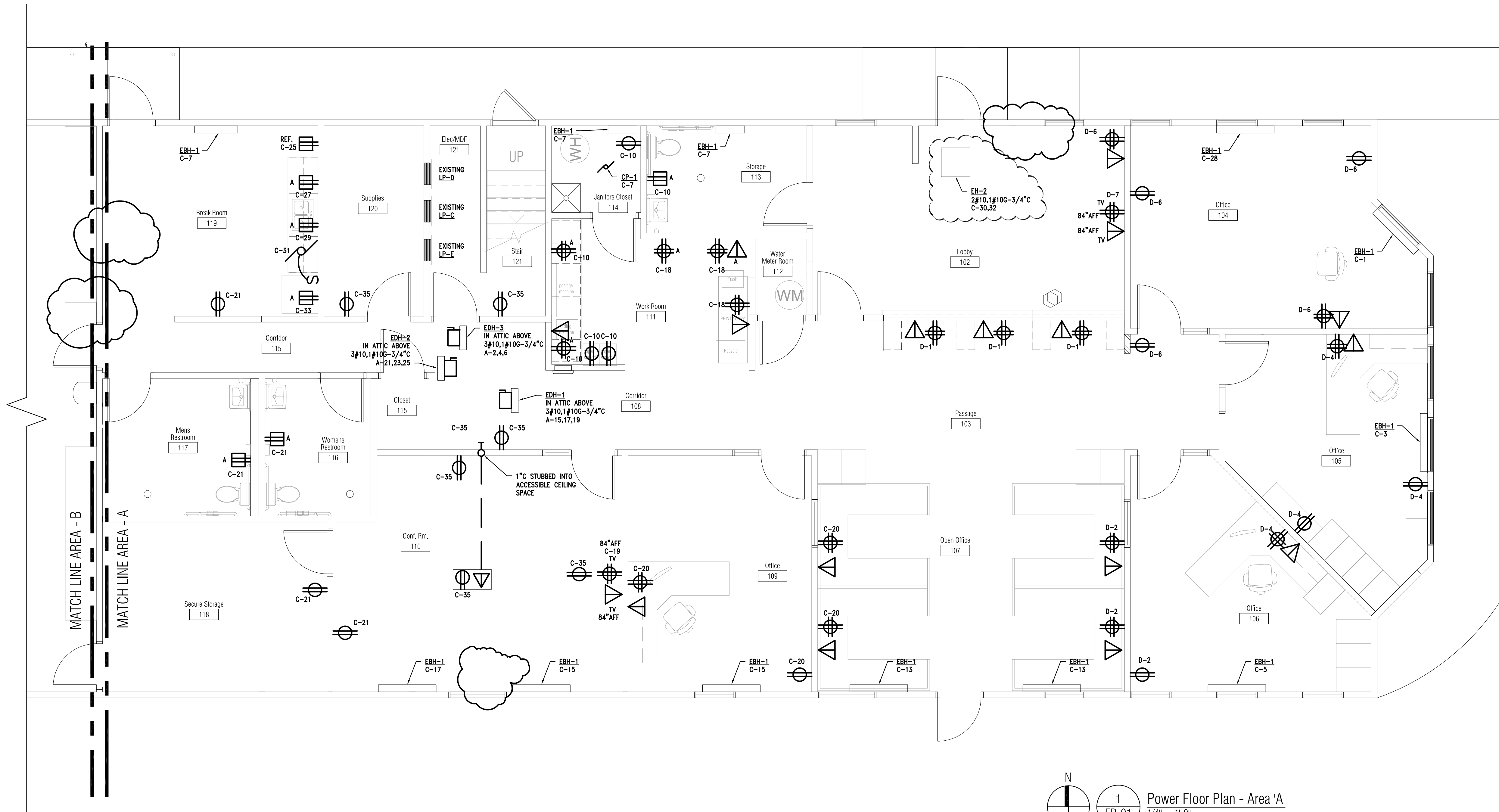
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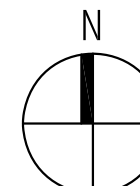
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RE-BIDDING / CONSTRUCTION	09/14/2020

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SHEET NAME
LIGHTING FLOOR PLAN - AREA 'B'

SHEET NO.
EL-02




1
EP-01
Power Floor Plan - Area 'A'
1/4" = 1'-0"



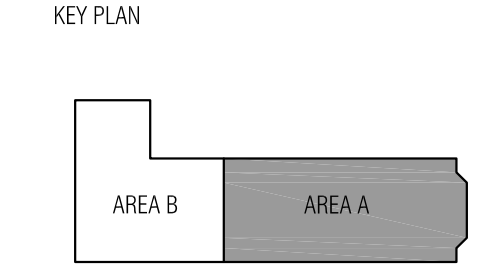
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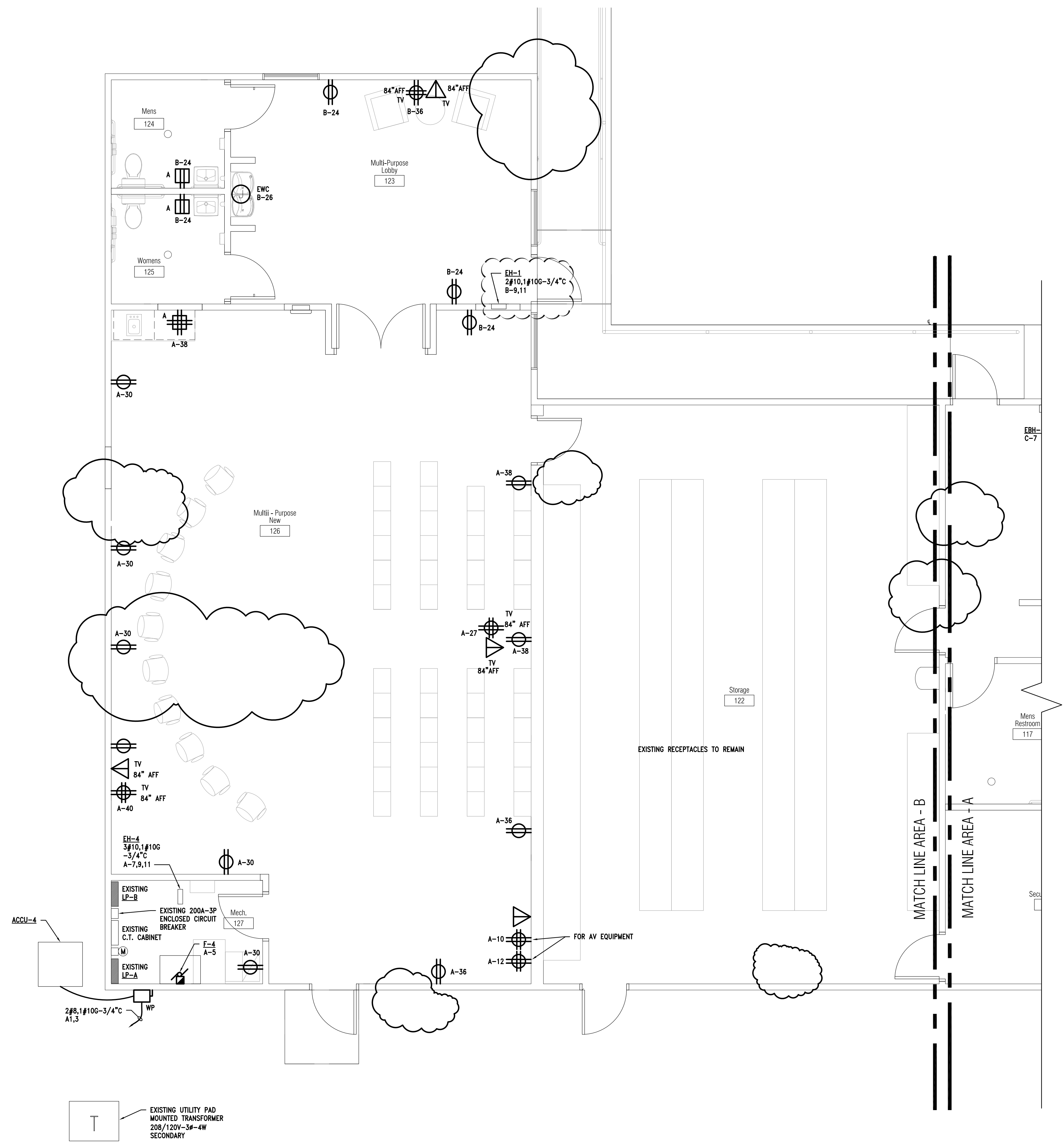
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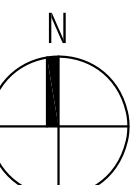
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SHEET NAME
POWER FLOOR PLAN - AREA 'A'

SHEET NO.
EP-01




1
EP-02
Power Floor Plan - Area B'
 1/4" = 1'-0"

PARTNERS



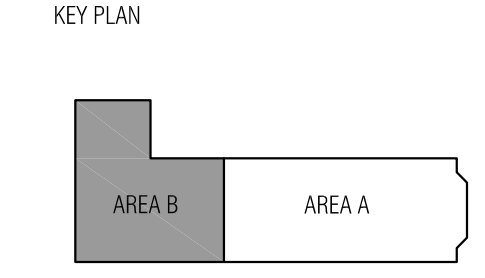
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SHEET NAME
POWER FLOOR PLAN - AREA 'B'

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EP-02